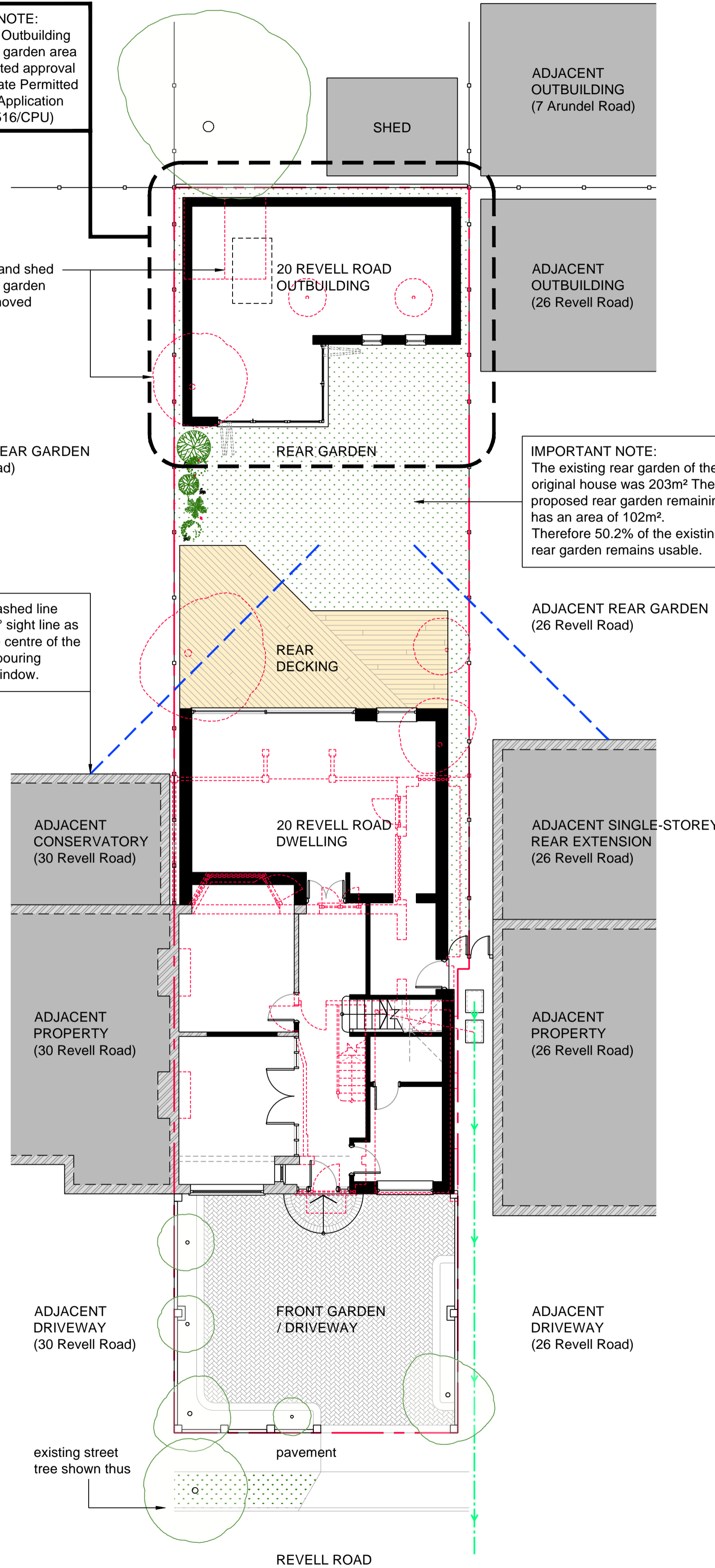


IMPORTANT NOTE:
The proposed Outbuilding within the rear garden area has been granted approval under a separate Permitted Development Application (ref. no 22/01516/CPU)

existing trees and shed within the rear garden area to be removed

ADJACENT REAR GARDEN (30 Revell Road)

NOTE: blue dashed line indicates a 45° sight line as taken from the centre of the nearest neighbouring ground floor window.

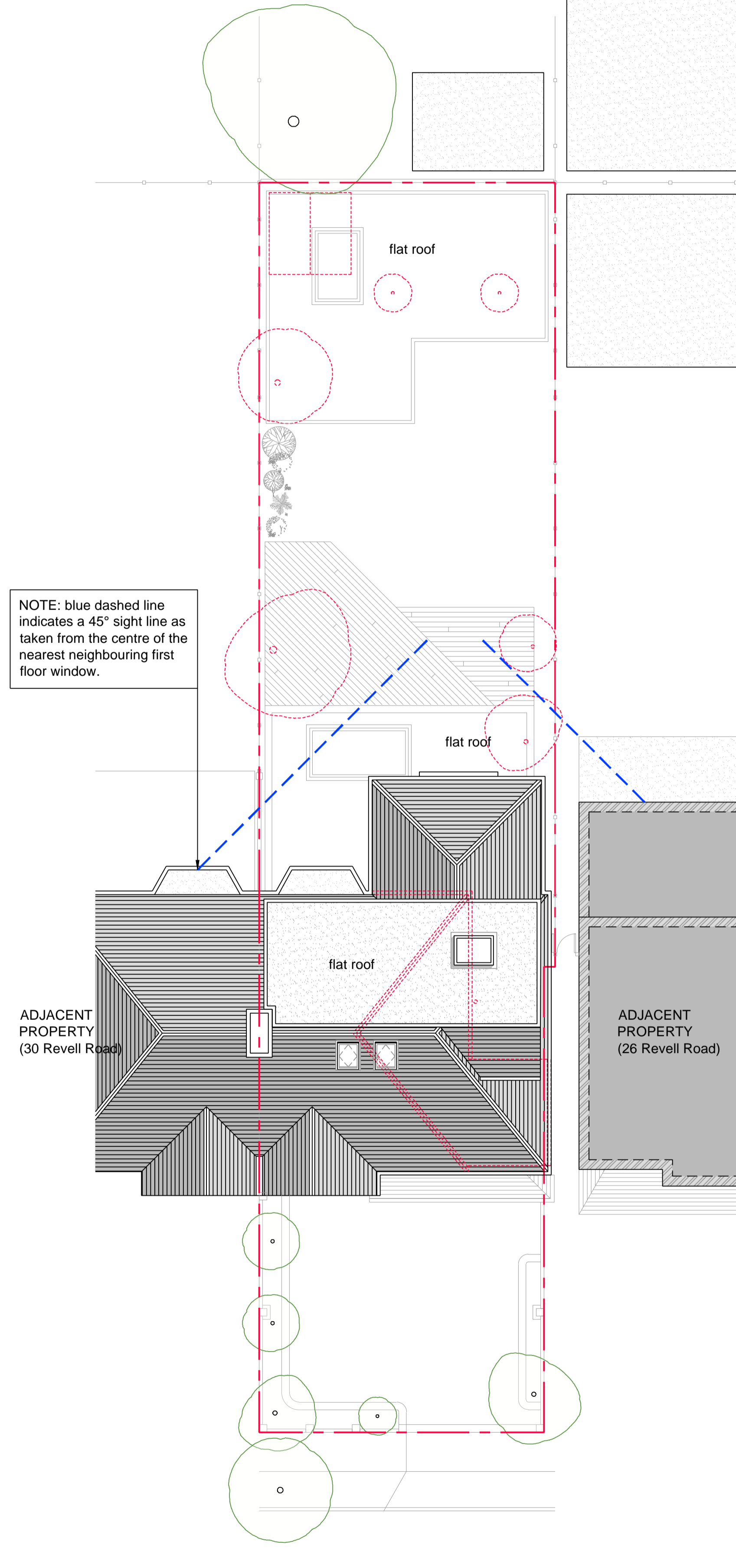


PROPOSED SITE PLAN
(indicating ground floor plan)

IMPORTANT NOTE:
The existing rear garden of the original house was 203m². The proposed rear garden remaining has an area of 102m². Therefore 50.2% of the existing rear garden remains usable.

ADJACENT REAR GARDEN (26 Revell Road)

NOTE: blue dashed line indicates a 45° sight line as taken from the centre of the nearest neighbouring first floor window.



PROPOSED SITE PLAN
(indicating roof plan)

DRAWING, CONSTRUCTION AND MATERIAL NOTES :

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4. IF YOU ARE NOT CERTAIN OF ANYTHING INDICATED ON THE DRAWINGS ASK!

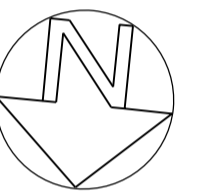
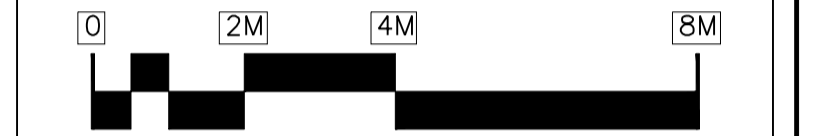
DRAWING KEY & SYMBOLS

- existing wall / structure (tbc if structural by engineer)
- proposed structural wall (tbc if structural by engineer)
- proposed partition (tbc if structural by engineer)
- existing foul water drainage run (tbc)
- proposed structural beam (tbc by the engineer)
- direction of staircase (arrow in upwards direction)

ABBREVIATIONS

- cbd cupbaord
- ic inspection chamber
- rwp rain water pipe
- spp soil vent pipe
- rl roof light / window

SCALE BAR 1:100



| | | | |
|--------|--|-------|------------|
| [E] | PLANNING APPLICATION SUBMISSION | [TW] | [20.07.22] |
| [D] | PRE-APPLICATION ADVICE SUBMISSION TO COUNCIL | [TW] | [06.05.22] |
| [C] | pre-application advice drawings to client | [TW] | [04.05.22] |
| [B] | drawings generally updated following meeting | [TW] | [19.04.22] |
| [A] | drawings generally updated ahead of design meeting | [TW] | [07.04.22] |
| [*] | preliminary issue for client review and comment | [TW] | [06.04.22] |
| [REV.] | [DESCRIPTION] | [BY.] | [DATE] |

STATUS: PLANNING APPLICATION SUBMISSION

PRINGLE.DESIGN

est. 2015 UK / SE
32 The Drive
Wallington
Surrey
SM6 9LX

28 Revell Road
Kingston-Upon-Thames
KT1 3SW

SITE: 28 REVELL ROAD
Kingston-Upon-Thames
KT1 3SW
TITLE: PROPOSED SITE PLAN

| | | | |
|--------------|-------------|-----------|----------|
| SCALE AT A1: | DATE: | DRAWN: | CHECKED: |
| 1:100 | 06/04/22 | TW | CP |
| PROJECT NO: | DRAWING NO: | REVISION: | |
| PD-0356 | A1-12 | E | |