

Reroofing:
Remove existing tiles and bitumen underfelt and replace with new Type 1F felt and roof tiles (re-use existing tiles). Fit 25mm RECTICEL EUROTHENE GP insulation between rafters, ensuring min. 50mm ventilation gap above. Fit 100mm RECTICEL EUROTHENE GP insulation beneath rafters with 12.5mm foiled back plasterboard and skim finish

new double glazed conservation rooflight by "The Rooflight Company" or similar

Existing oak purlins and cross beams to be restored using a low impact micro-strip sandblasting to gently remove paint and stain. By PROTINUS or similar. Oak beams to be retained as expressed features between new roof insulation

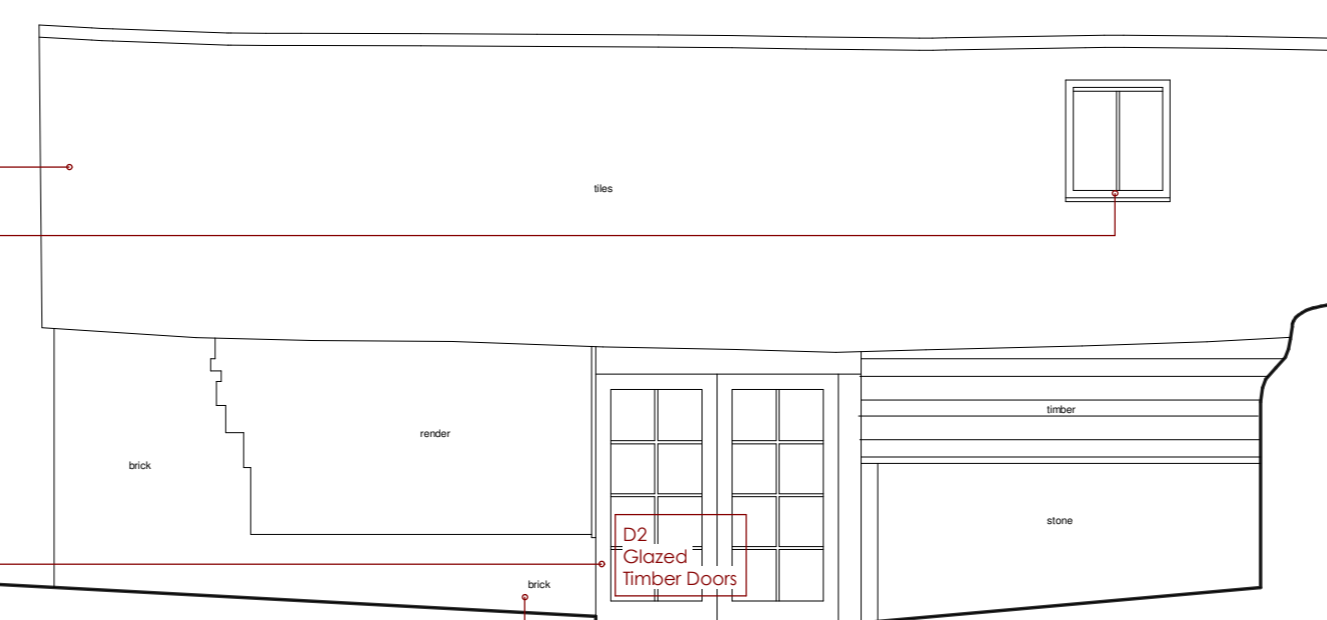
New double glazed timber doors installed within existing garage door opening

Existing timber door and casement side windows replaced with double glazed double timber doors. Modern brickwork below existing windows removed to allow reinstatement of double doors

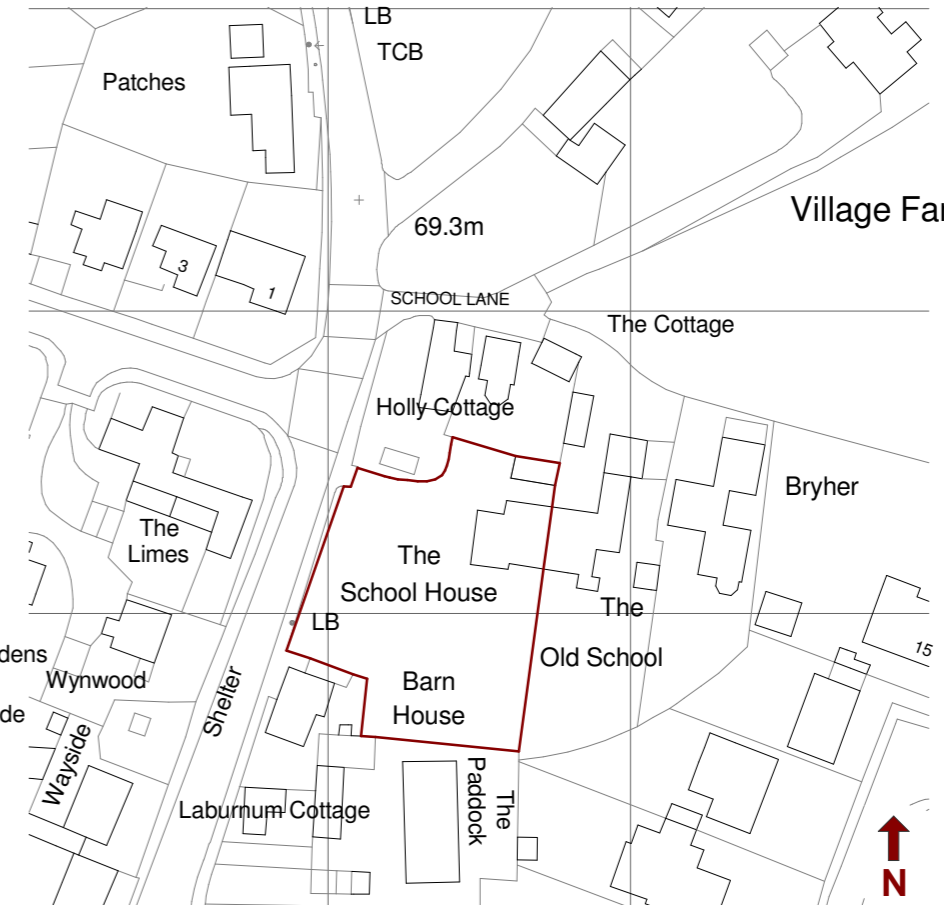
Dry-lining:
Allow 50mm minimum clear cavity to inside face of existing walls with breather membrane to L.A approval. Form 100mm x 50mm treated softwood studwork independently fixed top and bottom. Infill studwork with 100mm Celotex GA 400 insulation batts (or similar approved) between studs. Internal face finished with 30 + 12.5 mm Celotex PL4030 (or similar approved) insulated plasterboard (taped and sealed to form VLC) with plaster skim coat

existing mix of brick, render, stone, and timber boarding to be retained externally and restored/repaired as required

Section B-B
1 : 50



South Elevation
1 : 50

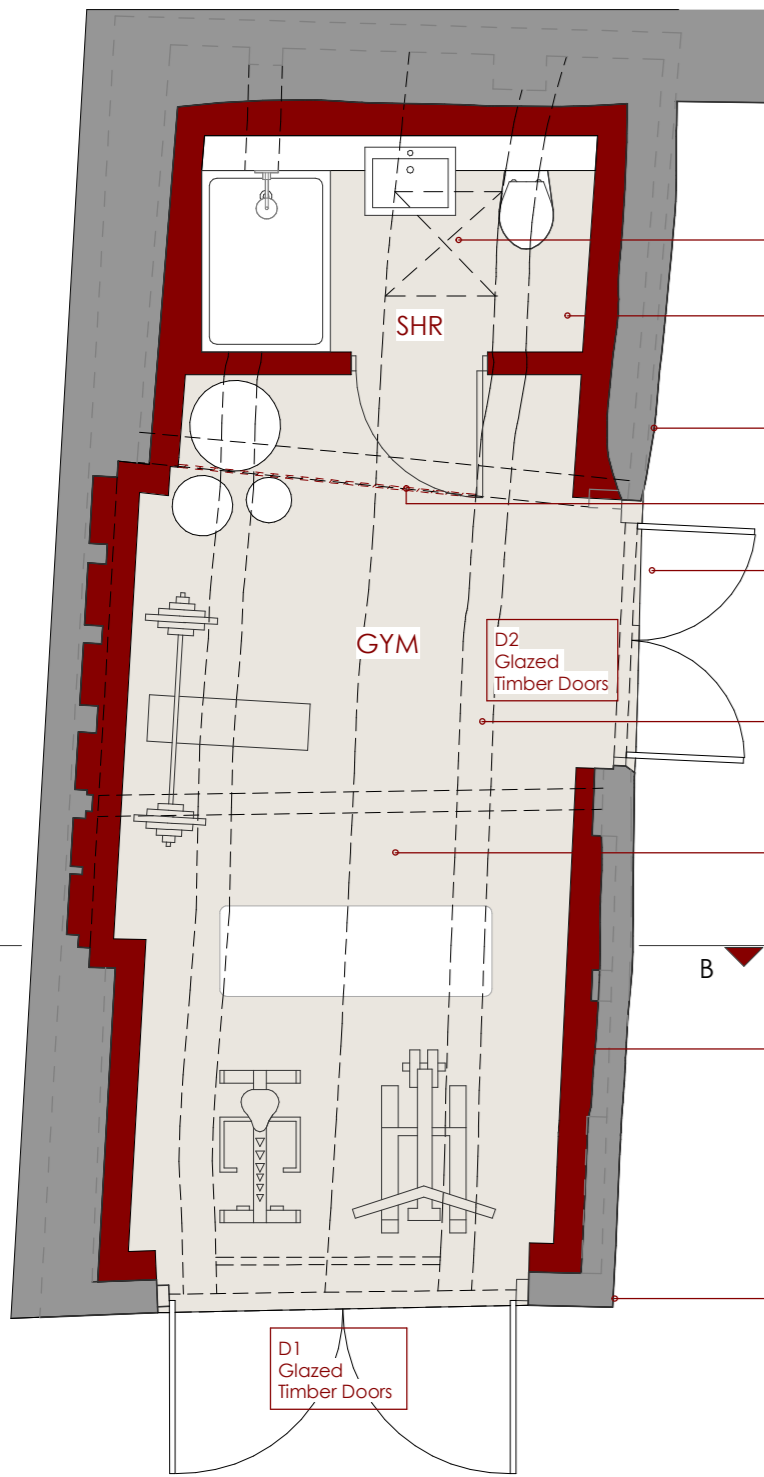


Location Map
1 : 1250

0 0.5 1 1.5 2 2.5
VISUAL SCALE (m) 1:50

NOTE:
ALL DIMENSIONS MUST BE CHECKED ON SITE AND NOT SCALED FROM THIS DRAWING.
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SCHOOL HOUSE



New double glazed timber doors installed within existing garage door opening

new double glazed conservation rooflight by "The Rooflight Company" or similar

New mechanical extract to tile vent to match existing roof tiles

existing assortment of external finishes to be retained and repaired where required

existing modern boarding beneath beam to be removed

Existing timber door and casement side windows replaced with double glazed double timber doors. Modern brickwork below existing windows removed to allow reinstatement of double doors

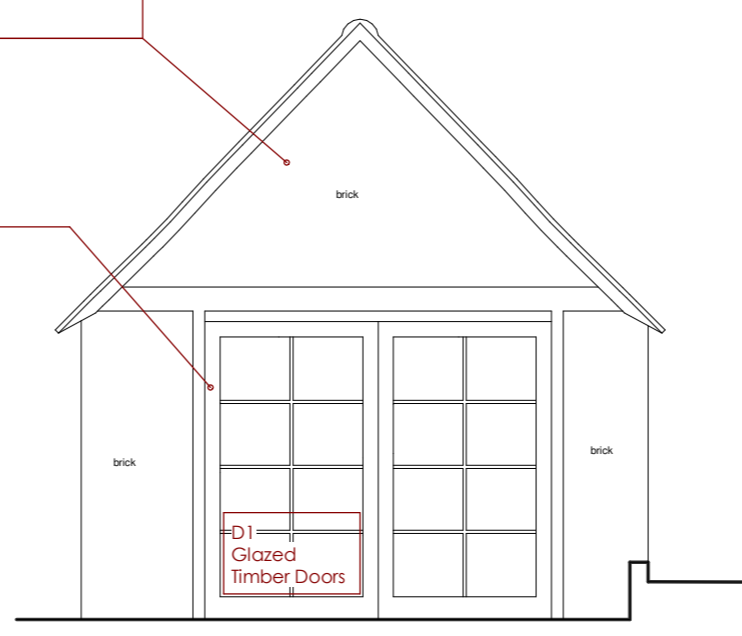
Existing oak purlins and cross beams to be restored using a low impact micro-strip sandblasting to gently remove paint and stain. By PROTINUS or similar. Oak beams to be retained as expressed features between new roof insulation

Insulated Solid Floor:
Existing dirt floor to be dug out to lay new floor slab with DPM over, 75mm rigid insulation board and 75mm screed. New floor finish TBC by clients. Structure to be assessed by SE to determine whether underpinning is required.

Dry-lining:
Allow 50mm minimum clear cavity to inside face of existing walls with breather membrane to L.A approval. Form 100mm x 50mm treated softwood studwork independently fixed top and bottom. Infill studwork with 100mm Celotex GA 400 insulation batts (or similar approved) between studs. Internal face finished with 30 + 12.5 mm Celotex PL4030 (or similar approved) insulated plasterboard (taped and sealed to form VLC) with plaster skim coat

existing mix of brick, render, stone, and timber boarding to be retained externally and restored/repaired as required

Ground Floor Plan
1 : 50



West Elevation
1 : 50

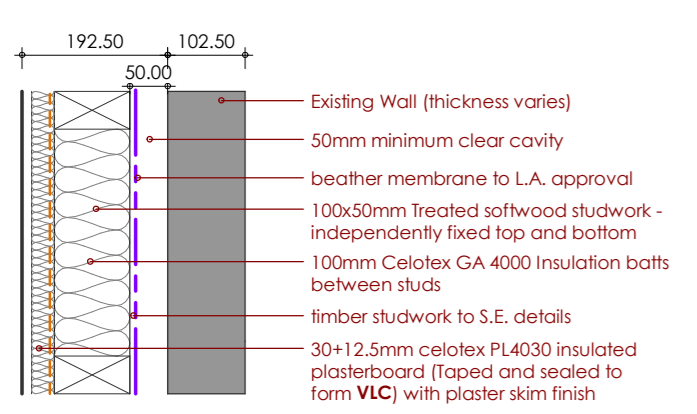
DOOR AND WINDOW SCHEDULE

No.	Size (mm)	Description	Elevation - as Proposed (1:50)
D1	2290 W x 2040 H	<ul style="list-style-type: none"> New double glazed timber doors installed within existing garage door opening 	
D2	1605 W x 1650 H	<ul style="list-style-type: none"> Existing timber door and casement side windows replaced with double glazed double timber doors. Modern brickwork below existing windows removed to allow reinstatement of double doors Existing timber lintel retained and restored 	

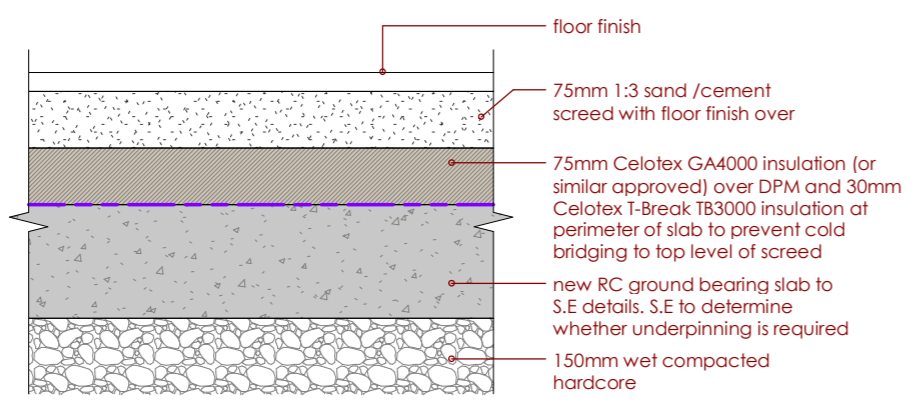
SCHEDULE OF WORKS

OVERVIEW	<ul style="list-style-type: none"> Convert existing outbuilding to home gym Existing oak purlins and beams to be restored Reroof Existing windows and doors to be replaced Double doors installed in existing opening Improve thermal performance of walls and roof New insulated solid floor
WALLS	<p>Dry-line internal face of existing walls:</p> <ul style="list-style-type: none"> Allow 50mm minimum clear cavity to inside face of existing walls with breather membrane to L.A approval. Form 100mm x 50mm treated softwood studwork independently fixed top and bottom. Infill studwork with 100mm Celotex GA 400 insulation batts (or similar approved) between studs. Internal face finished with 30 + 12.5 mm Celotex PL4030 (or similar approved) insulated plasterboard (taped and sealed to form VLC) with plaster skim coat
FLOORS	<ul style="list-style-type: none"> Existing dirt floor to be dug out to lay new floor slab with DPM over, 75mm rigid insulation board and 75mm screed. New floor finish TBC by clients. Structure to be assessed by SE to determine whether underpinning is required.
DOORS & WINDOWS	<ul style="list-style-type: none"> Existing timber door and casement side windows (D2) replaced with glazed double timber doors. Brickwork below existing windows removed to accommodate double doors New double glazed timber doors (D1) installed within existing garage door opening New rooflight to shower room
CEILINGS	<ul style="list-style-type: none"> Existing oak purlins and joists to be restored using a low impact micro-strip sandblasting to gently remove paint and stain. By PROTINUS or similar Insulate between and under existing rafters. Retain purlins as expressed feature
HEATING & PLUMBING	<ul style="list-style-type: none"> Extend existing heating and hotwater services from the house, TBC subject to building survey and heating engineer design New plumbing fixtures to newly formed shower room.
ELECTRICS	<ul style="list-style-type: none"> Complete rewiring + improved lighting. To electrical engineers specification
VENTILATION	<ul style="list-style-type: none"> Extraction to be ducted via flexible ducting to roof tile vents. Tile Vents to be match tiles in colour and style. Tile vents to be situated on South facing roof slopes (facing away from the street)

PHOTOGRAPHS AS EXISTING



Internal Studwork Lining Detail



New Solid Floor Detail

hatch indicates proposed structure

hatch indicates existing structure

hatch indicates structure to be removed

revision date description

project title
The School House, Crendon road, Shabbington, Aylesbury HP18 9HE

drawing title
GARAGE CONVERSION - PROPOSED

first issued 10/11/23 drawn scale @ A2 1:50

job/drawing no/revision

23_017 - SK301 -

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