

THE SCHOOL HOUSE, CRENDON ROAD, SHABBINGTON, BUCKINGHAMSHIRE

HERITAGE STATEMENT



JPHERITAGE

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PROJECT: The School House, Crendon Road, Shabbington, Buckinghamshire

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BIBLIOGRAPHY

THE SCHOOL HOUSE, SHABBINGTON – HERITAGE STATEMENT

1.0 INTRODUCTION

1.1 Purpose

- 1.1.1 This Heritage Statement has been prepared by JP Heritage Ltd on behalf of Ms Shona Arthur to inform proposals for the conversion of an existing garage at The School House, Shabbington. The School House is a Grade II listed building.
- 1.1.2 The document provides an outline description of the historic development and significance of listed building and assesses the heritage impacts of the proposed scheme. This has been undertaken to meet the requirements of the LPA in accordance with paragraph 194 of the National Planning Policy Framework (NPPF, Revised 2023).

1.2 Nature of the proposals

- 1.2.1 The proposal is for the conversion of an existing garage to the north of the listed building.

1.3 Heritage designations



Figure 1: Oblique view of the south and west elevations of The School House

- 1.3.1 The School House was added to the statutory *List of Buildings of Architectural or Historic Interest* at Grade II on 25th October 1951. The list description reads as follows:

School room and masters house, now two houses. C17 centre range with mid C18 west range as house and c1850 school room at east. Timber framed C17 range, rendered to south, C18 house in grey brick with red. School room in brick. Old tile roofs. House 2 storeys, school room single storey. Masters House of 3 bays. Blocked centre door and first floor window. Outer bays have box sashes. Band course between storeys. Cogged eaves. Gable stacks. Box sashes to south gable elevation, blocked box sashes to north elevation. Centre range has south door. Timber framed north gable with 4-light leaded casement. C17 centre stack. School Room (The Old School) of 2 bays. South elevation has two 3-light Gothic arched windows with transoms. East end half hipped with 3-light Gothick window, also transomed. School cloakroom and entry at south east angle with lean-to tile roof. Inside is a curved principle tie beam truss. Modern north east wing is of no historic interest.

- 1.3.2 There is a reference in Pevsner's *Buildings of England: Buckinghamshire*, as follows:

Somewhat north of the church in Crendon Road. C17 timber-framed range with an C18 house to the west. Its front of three bays, vitreous brick with red brick dressings. At the back the schoolroom of c. 1850 with a big pointed east window.

1.4 References in the Buckinghamshire Historic Environment Record (Heritage Gateway)

1.4.1 The Buckinghamshire Historic Environment Record does not include any information in addition to the listing description.

1.5 Planning history

1.5.1 The planning history for The School House is as follows:

09/00406/ALB – Rebuilding of upper gable and insertion of window (Approved).

2.0 POLICY CONTEXT

2.1 NPPF (Revised 2023)

2.1.1 The National Planning Policy Framework (NPPF) sets out national planning policy relating to the conservation of the historic environment. It advises that in determining planning applications *'local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made to their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance* (paragraph 194).

2.1.2 Annex 2 of the NPPF defines a Heritage Asset as being *'a building, monument, site, place area or landscape identified as having a degree of significance meriting consideration in planning decisions.'* Heritage assets are the valued components of the historic environment. They include designated heritage assets and non-designated heritage assets.

2.1.3 In determining planning applications, the NPPF advises that local planning authorities should take account of (paragraph 197):

- The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- The desirability of new development making a positive contribution to local character and distinctiveness.

2.1.4 Specific guidance on the treatment of designated heritage assets (listed buildings) emphasises the need to understand the significance of a heritage asset in order to determine impacts on the historic environment (paragraph 199). It advises that *'when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.*

2.1.5 Paragraph 200 continues by stating that ‘any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification’.

2.2 Vale of Aylesbury Local Plan 2013-33

2.2.1 The following policy is relevant to the proposed development: BE1 – Heritage Assets.

2.2.2 With regards to listed buildings, this policy states the following:

Proposals for development shall contribute to heritage values and local distinctiveness. Where a development proposals is likely to affect a designated heritage asset and or its setting, the significance of the heritage asset and the impact of the proposals must be fully assessed and supported in the submission of an application.

3.0 THE HERITAGE ASSET AND ITS SIGNIFICANCE

3.1 Understanding the history of the heritage asset

3.1.1 The 1st edition of the Ordnance Survey map (1881) shows The School House (west side) with an L-plan footprint, a small square structure to the north-west and an outbuilding (the current garage) to the north. A path leading to Crendon Road is shown on the west side of the house. The school on the eastern side of the house has an irregular footprint and is marked as *School (Boys & Girls)*.

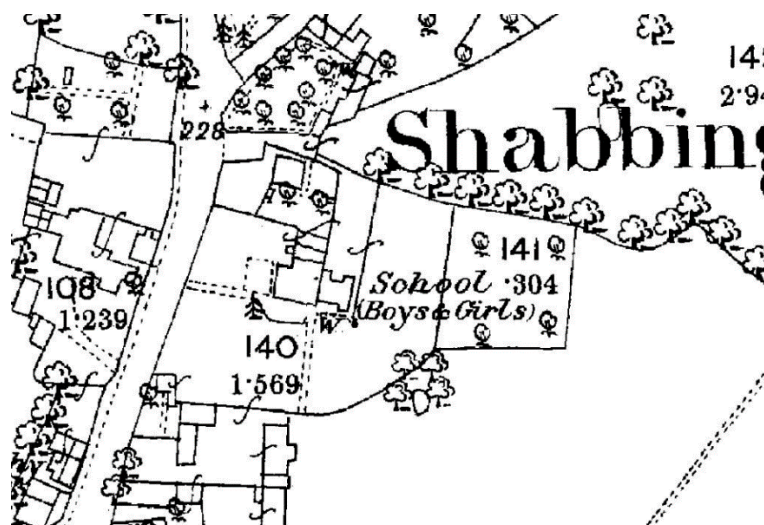


Figure 2: Extract from the 1st edition of the Ordnance Survey map (1881)

3.1.2 The 2nd edition of the Ordnance Survey map (1898) shows very few changes to the layout of The School House. The southern side includes a recessed building line on the eastern side of the main brick-built part of the house. This map also shows two small square outbuildings on the north-western side of the house and more clearly shows an outbuilding with a rectangular footprint on the northern side of the house. The school on the eastern side of the house had been extended by this time.

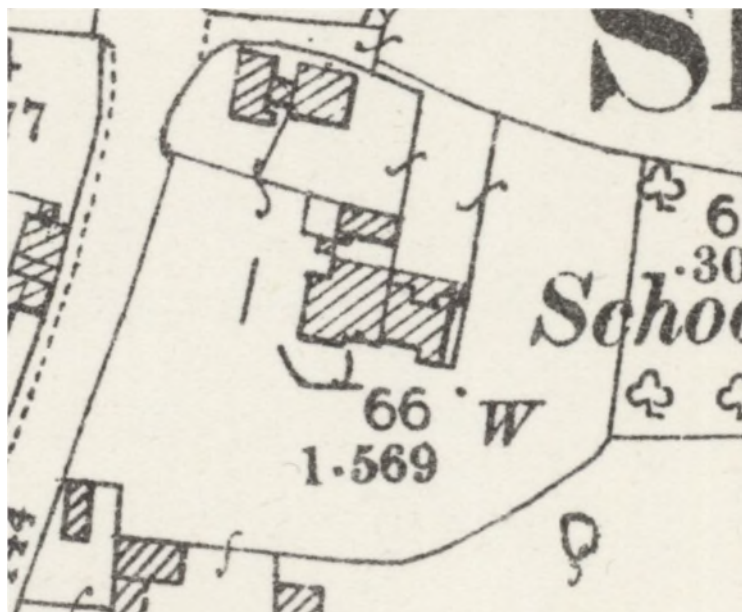


Figure 3: Extract from the 2nd edition of the Ordnance Survey map (1898)

3.1.3 The 3rd edition of the Ordnance Survey map does not show any changes to the footprint of the School House and associated outbuildings.



Figure 4: Extract from the 3rd edition of the Ordnance Survey map (1921)

3.2 Understanding the form of the heritage asset

Outbuildings

- 3.2.1 There are two 19th century brick outbuildings, probably privies, immediately to the north of the house.



Figure 5: Two small outbuildings on the north-west side of the house

- 3.2.17 The garage along the northern boundary of the site has a rectangular footprint and is single storey with a double pitched roof. The south elevation includes a rubble sone plinth with a weatherboard cladding above. The left hand side is of brick construction with a white paint finish. The central door is of 20th century date and the window, which is probably reused, appears to be of late 19th to early 20th century date. The brickwork below the sill of the window looks like infill and suggests that there may have formerly been a double door sized opening in this location. The west elevation is brick in mostly stretcher bond with a concrete lintel over an opening for a vehicle.



Figure 66: West gable end elevation of the garage



Figure 7: South elevation of the garage

3.2.18 The interior is 3-bays as defined by two queen post trusses. Side purlins are clasped between the queen posts and loosely by collars. The northern side of the central bay includes a brick plinth with studs finished externally with weatherboard. The apex of the roof includes a ridge plank. There is a 20th century boarded partition between the central and eastern bays. The internal face of the east gable end is characterised by rubble stone and brick in the apex which may represent two phases of construction. The south wall includes studs.



Figure 8: Interior of the garage looking east



Figure 9: Brick construction of the western side of the south wall



Figure 10: Mixed brick and rubble stone with stud frame over a plinth on the northern side of the garage



Figure 11: East gable end

3.2 Assessment of the significance of the heritage asset

- 3.2.1 The School House was originally constructed as a single unit, 2-storey building of timber framed construction and heated by a stone fireplace with a timber lintel in the 17th century. This was extended to create a 2-unit house in the late 17th to early 18th century. A number of fixtures and fittings, including doors, cupboards and beams within this phase are consistent with this period. The School House was substantially enlarged in the early to mid-18th century with a brick built extension that formed the principal part of the house with a symmetrical front and two principal rooms accessed through a now blocked entrance on the west elevation. This phase includes a rear wing containing a stair that links with the Phase 1 and 2 parts of the house. A number of fixtures and fittings, including doors, beams and corner fireplaces survive which are contemporary with Phase 3 and contribute to the heritage value of this part of the house. Subsequent additions are minor and appear to be of 19th century date. The School House was altered in the 20th century with the insertion of partitions and a fitted cupboard on the first floor and replacement/new windows.
- 3.2.2 Two small brick outbuildings were built in the second half of the 19th century. The garage along the northern boundary of the property is of several phases of construction, as demonstrated by the change from rubble stone construction to brick. The roof structure is characterised by queen post roof trusses and a ridge plank. This probably dates from the late 18th to early 19th

centuries. The garage has been altered with a modern garage door on the west elevation and a 20th century door and window on the south elevation.

- 3.2.3 The existing garage is of some heritage value as a late 18th to early 19th century outbuilding associated with the main house at The School House. The presence of this outbuilding to the north of the listed building makes a positive contribution to the historic context of the site. However, the poor state of repair and the various phases of alterations have had a negative impact on the character of the outbuilding. As such, the garage is considered to make a relatively poor contribution to the character of the setting of the listed building. In summary, the outbuilding is considered to be of some heritage value due to its age and the survival of historic fabric but, due to condition, has a low degree of value in terms of contribution to the character of the setting of the listed building.

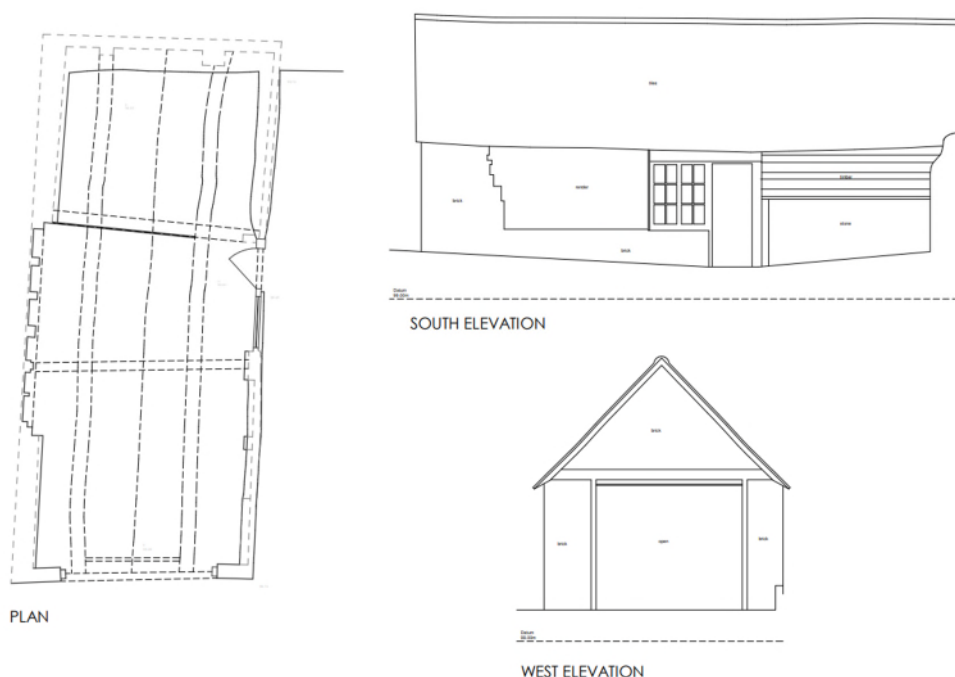


Figure 12: Existing ground floor plan and elevations of the existing garage

4.0 HERITAGE IMPACT ASSESSMENT OF THE PROPOSED DEVELOPMENT

4.1 Proposals

- 4.1.1 The proposed scheme is for the conversion of the garage to a gym. This would include the following works:

- Repair existing oak roof structure;
- Reroof;
- Replacement of existing doors and windows;
- Double doors inserted along south elevation;
- Improvement of thermal performance of walls and roof;
- New insulated floor.

4.2 Roof works

- 4.2.1 The careful removal and reinstatement of the existing clay tiles as part of the proposed insulation works would preserve the established external character of the outbuilding. Replacement tiles would be like-for-like.
- 4.2.2 The works would include the removal of an existing bitumen underfelt and the installation of insulation that would include a ventilation gap and inline vent tiles to preserve the breathability of the existing timber roof structure.
- 4.2.3 Repairs to the existing oak roof structure would be carried out using appropriate methods that would not impact on the surface details or structural integrity of the historic timbers. The existing purlins and trusses would be retained as expressed features.

4.3 Wall works

- 4.3.1 The proposed works to the external walls would typically include repointing, as required, using lime mortar. The walls would be lined internally with insulation and a plaster finish would include a cavity between the new material and the existing internal wall surface. As such, there would continue to be ventilation to the historic fabric internally. The insertion of internal finishes would alter the internal character of the outbuilding but would be reversible.

4.4 Replacement windows and doors

- 4.4.1 The existing window and the door on the south elevation are later alterations and of very low heritage value. It is proposed to replace the window and door with a pair of glazed doors. This would require the removal of a small area of brick which appears to be infill to an earlier door opening in this position. A pair of glazed doors are also proposed to the existing garage entrance. This is a modern opening of no heritage value.



Figure 13: Existing door and window on the south elevation

4.5 Insulated floor

- 4.5.1 The current floor is compacted earth and gravel. The proposed floor construction would require excavation. Exploratory trial holes to determine the depth of the existing footings

would be carried out ahead of the work. The floor would include impermeable materials but, similar to the wall and roof insulation details, could include a gap in the new floor and the external walls.

5.0 CONCLUSIONS

- 5.1.1 This assessment provides a description of the historic development and significance of The School House. This report also provides a heritage impact assessment of the proposed scheme. As such, it is considered that this Heritage Statement meets the requirements set out in paragraph 194 of the NPPF and local planning policy and provides sufficient information regarding the built heritage.
- 5.1.2 The conclusions of this report are that the outbuilding to the north of the listed building is of late 18th to early 19th century date and is of several phases of construction. There are no historic fixtures or fittings which demonstrate the historic function of the outbuilding. The structure was altered in the 20th century, primarily for use as a garage. The outbuilding is in a relatively poor state of repair and is considered to be of relatively low heritage value.
- 5.1.3 The proposed conversion of the outbuilding would secure its ongoing use, repair and refurbishment. The proposals would provide a use that is ancillary to the function of the house. The repair of the exterior and the minimal changes to its character in terms of window and door replacements would preserve the character of the outbuilding and the setting of the listed building.
- 5.1.4 As such, it is considered that the proposed of the existing garage at The School House is sympathetic to the established character of the setting and to the significance of The School House, in accordance with NPPF and the relevant Local Plan policies.

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