

COMBINED DESIGN & ACCESS STATEMENT AND HERITAGE STATEMENT

SINGLE STOREY OAK FRAMED GARDEN ROOM
EXTENSION TO REAR AND INCORPORATION OF FRENCH
DOORS INTO EXISTING DORMER WINDOW TO SIDE AT
5 MELTON HAMLET, LOWER STREET, UFFORD,
WOODBIDGE, SUFFOLK



Prime Oak,
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WV5 8AP

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Introduction

This combined Design & Access Statement and Heritage Statement has been prepared by Prime Oak to accompany a householder planning application for a proposed oak framed garden room extension to the rear and the modification of an existing dormer window to the side at no. 5 Melton Hamlet, an end terrace dwelling located at the south-eastern edge of Ufford. Ufford is a small village located approximately two-and-a-half miles to the north-east of Woodbridge and two miles to the south of Wickham Market.

No. 5 Melton Hamlet is not a statutorily listed building but it lies within Ufford Conservation Area. The Council's published Ufford Conservation Area Appraisal (March 2016) identifies the property as an unlisted building that makes a positive contribution to the character of the Conservation Area.

This statement should be read in conjunction with the drawings enclosed with the accompanying planning application, including:

- Location Plan (drg. 90624/01);
- Proposed Block Plan (drg. 90624/02);
- Existing Ground Floor Plan, Roof Plan & Elevations (drg. 90624/03);
- Proposed Ground Floor Plan, Roof Plan & Elevations (drg. 90624/04).

Prime Oak will be designing and constructing the proposal on behalf of the property owner. Prime Oak are one of the country's leading specialists in the design and construction of oak framed buildings for all kinds of domestic and other uses, utilising traditional mortise and tenon pegged joint carpentry techniques.

The Proposal

The proposal is to construct a new single storey garden room extension to the rear of the existing property. The proposed extension would be an oak framed structure with full height glazing to its rear and east facing side elevations, and a solid wall to its west facing side elevation which adjoins the attached neighbouring property. The side wall and base and connecting walls would be finished in painted render to match the main house. The extension would have a pitched roof finished in red pantiles to match the main house which would incorporate a glazed panel rooflight. The rear facing gable of the extension roof would be glazed.

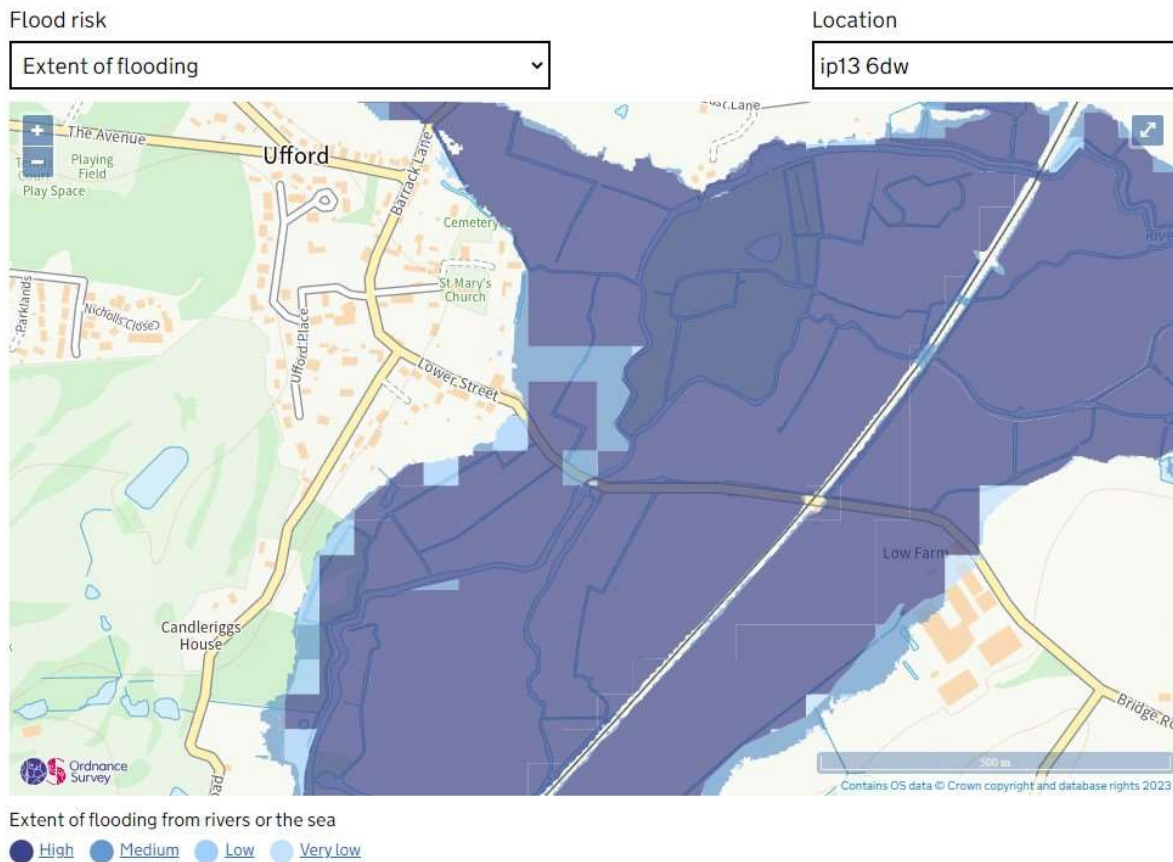
It is also proposed to modify one of the two existing dormer windows in the east facing side roof slope of the house. This would involve replacing the existing window with French doors, which would create a small pocket balcony in the resultant roof cut-out.

No significant structural alterations or new openings are proposed to the existing building. The new French doors would be inserted within the width of the existing dormer window, whilst access between the existing house and the new extension would be created within the width of the existing rear window to the dining room.

Flood Risk

There is an existing watercourse to the east of the application site which is part of the nearby River Deben. The associated areas of flood plain adjoin the application site, but from the published online Environment Agency flood maps the areas of high flood risk (flood zones 2 and 3) do not extend over the area of the proposed extension. The proposed extension would therefore fall within flood zone

1, causing no greater risk to flooding than the existing situation. The relevant extract from the Environment Agency online flood maps is reproduced below.



Extract from Environment Agency online flood maps.

Heritage Statement

No. 5 Melton Hamlet is not a statutorily listed building, but it lies within Ufford Conservation Area. The Conservation Area includes most of Lower Ufford, including the historic core centred around St Mary's Church, plus the surrounding water meadows. It is described in the Council's Conservation Area Appraisal as being a particularly attractive enclave of vernacular buildings, which is somewhat hidden away. There are no main roads through this part of the village and, up until the Second World War, it remained relatively isolated and under-developed.

There are records of archaeological finds in the area from various phases of pre-history, dating as far back as the Palaeolithic period through to Iron Age and Roman pottery finds, and also some Saxon finds, suggesting a long history of human activity and settlement. The parish is mentioned twice in the Domesday survey of 1086 under variations of the current village name of Ufford, which means 'Uffa's enclosure' in old English.

The parish Church of St Mary's has building fabric dating to the C11 or C12 and is the oldest surviving building, sitting at the centre of what can today be recognised as the historic core of the village. It is a Grade I listed building and several other listed buildings immediately surround it. No. 5 Melton Hamlet sits away from St Mary's Church and the buildings which immediately surround it, at the south-east extremity of the developed part of the village and at the end of a run of four neighbouring one-and-a-half storey terraced cottages finished, like no. 5, in painted render. The roof of these cottages is finished in an unusual combination of pantiles at the upper section and plain tiles below. They are

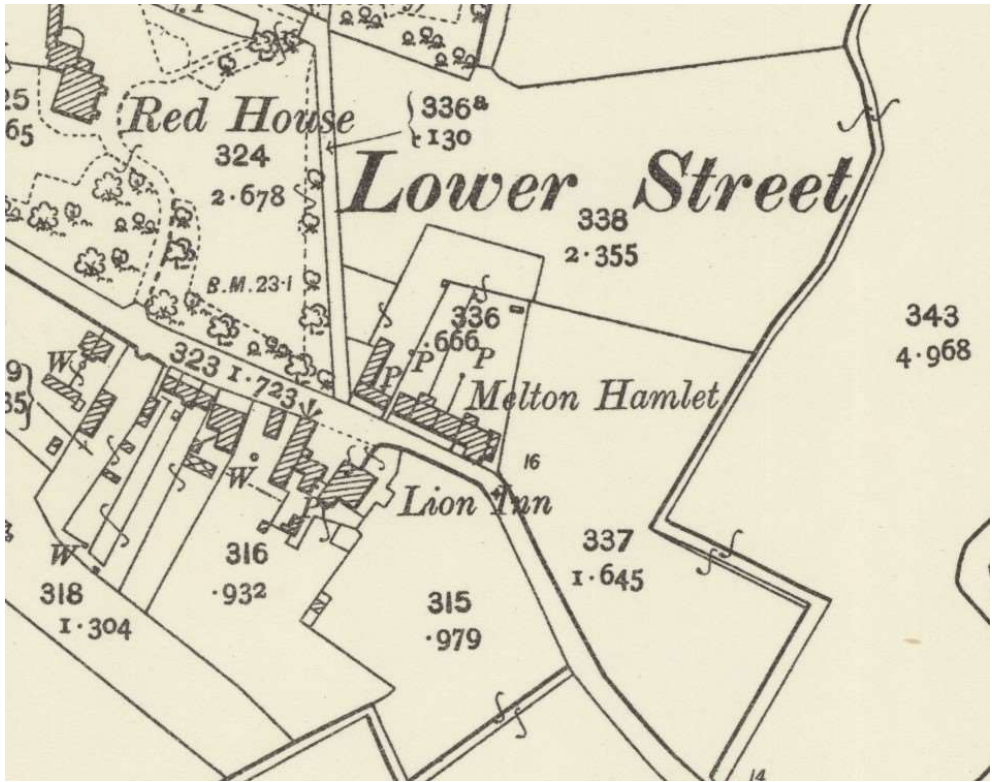
described in the Council's Conservation Area Appraisal as a pleasant, unspoilt composition which retains much of its historic character and charm.

No. 5 Melton Hamlet sits at the east end of, and attached to, the row of four cottages, adding a fifth dwelling to the terraced row. Its roof form, however, cuts across and sits at a right angle to that of the other cottages so that it presents its gable end to Lower Street and a catslide roof dominates its east facing side elevation. Its roof is finished in clay pantiles and includes two flat roofed dormers which, by their form and construction, appear to be much later additions into the original roof plan. The Conservation Area Appraisal concedes that, to a degree, the large flat roofed dormers and the tall modern casement windows undermine the otherwise very traditional composition. The Appraisal goes on to state, however, that the relationship between the terrace of four and the two cottages at either end is very attractive, especially viewed from some distance to the south and east.

From available historic mapping (see below) these buildings date from at least the mid C19. Historic mapping further demonstrates how little this part of the village has changed since that time, with the historic settlement pattern still recognisable and little new development introduced. Historic mapping also suggests that projections/extensions to the rear of the row of cottages were a past feature of these buildings.



Extract from 1887 edition OS map (source: National Library of Scotland – maps.nls.uk).



Extract from 1904 edition OS map (source: National Library of Scotland – maps.nls.uk).



Extract from 1958 edition OS map (source: National Library of Scotland – maps.nls.uk).

Ufford Conservation Area includes an eclectic mix of construction and facing materials including the painted render and red pantiles of no. 5, but also the flint and stone of St Mary's Church, along with other buildings constructed using red brick, plain tiles and some surviving timber frame (including the former water mill and Crown Farmhouse). The proposed extension would also be constructed using a timber frame, which would echo the historic construction of other buildings within the Conservation area, but at the same time would provide a visually lightweight glazed structure to the rear of no. 5 as an obvious addition, ensuring legibility of the different phases of additions to the original building.

In addition the proposed extension would be a single storey and relatively minor, subservient and visually lightweight addition to the existing building, sited to its rear so that it would not be readily visible in views along Lower Street. Therefore the visual contribution the existing principal front and east facing side elevations of no. 5 Melton Hamlet make to Lower Street and the wider Conservation Area would not be compromised. The proposed extension would not be visible within the setting of any of the statutorily listed buildings around St Mary's Church.

The insertion of the proposed French doors into one of the existing dormer windows to the east facing roof of no. 5 would simply amend an existing modern alteration to the roof. It is not considered that this would have any materially greater or harmful impact on views towards the property from the south-east over the existing situation. The clear majority of the existing catslide roof, including its longer unbroken section over the living room closest to Lower Street, would remain unaltered.

It is not therefore considered that the proposed development would have any unduly detrimental impact on the character, appearance or setting of no. 5 Melton Hamlet, or its contribution to any of the character traits of Ufford Conservation Area as identified above. Taking this into account, the following sections of this Statement assess the proposal and its impact further.

Use

The use proposed for the extension is wholly domestic in nature. This is an extension to provide new additional high quality living space that would increase the limited amount of existing accommodation available and make the most of the location, garden and views offered by this existing dwelling. As such the use is entirely appropriate in principle for this existing residential property and the proposed use in itself would not have any impact on the appearance or setting of the Conservation Area.

Amount

The proposal is for a modest extension projecting out less than three metres from the existing rear wall and having a width significantly less than that of the existing house. It would be a subservient and proportionate addition to the floor area and volume of the existing house and would occupy only a small fraction of the long rear garden. The overall size of the dwelling would remain comparable to those which make up the rest of the terraced row.

Eaves and doors would be standard height, and the roof of the extension has been designed to remain below the height of the existing catslide roof to the side. This would ensure that the extension remains largely screened in views from outside the site. The extension would also remain significantly lower than the greater two storey height of the existing house.

The proposal has therefore been designed to appear as a wholly subservient addition to the existing building in terms of the amount of development proposed, being of a size that would appear as a minor extension that would not dominate the appearance of the existing building. Its predominantly

glazed appearance would also visually reduce the perceived prominence of the proposal against the solid form of the existing house.

Therefore in terms of the amount of development proposed, the extension would not unduly harm the appearance or setting of the wider Conservation Area.

Layout

As stated above, the proposed garden room extension would be positioned to the rear of the main house where it would not be readily visible from Lower Street, and where it would not affect the existing principal front and east side facing elevations which contribute most to the setting and character of the Conservation Area. So the proposed location of the extension would have little material impact outside the site.

No trees or visually significant areas of planting would be taken up. Large areas of private garden and amenity space would remain to serve the property.

Internal access between the existing house and the new extension would be provided through the structural opening width of an existing window, so there would be no significant structural alterations or removal of any potentially historic building fabric.

Installation of the proposed French doors would alter only an existing modern flat roofed dormer window and would not alter the layout of the house.

In terms of layout, therefore, the proposal would have minimal impact on the appearance, character or setting of this building and its contribution to the wider Conservation Area.

Access

There would be no alterations to the existing access or parking arrangements at the property. The proposal is for a domestic extension that would create no additional traffic generation and no existing access or parking areas would be affected.

Level access would be provided between the new garden room extension and the existing house. The proposal would be large enough to be adapted for future wheelchair access if required, particularly as the design incorporates wide opening bi-folding doors.

Scale

As described earlier in this statement, the new garden room extension would be a relatively minor single storey addition which would increase the floor area of the main house by a modest amount and which would be lower in height than the main house and the existing catslide roof to the side. The proposal would therefore clearly appear as a minor extension and a wholly subservient addition against the much greater bulk and scale of the main building, not readily visible from outside the site.

Furthermore, the perceived bulk and scale of the new garden room extension would be reduced by its oak framed and largely glazed construction. This would give the new structure a more visually lightweight appearance than an extension finished, say, in solid masonry to match the existing house. The lightweight glazed appearance of the extension would contrast against the solid rendered walls of the existing building. As such, the scale of the proposal would be wholly appropriate to its setting

at the rear of this property and it would not dominate the appearance or character of the larger main house, or alter its contribution to the appearance and character of the wider Conservation Area.

Appearance

The proposed garden room extension would provide a high quality traditional oak framed structure which would provide a sustainable solution with materials that offer a long lifespan. At the same time the oak framed and predominantly glazed nature of the new structure would also mean that it would clearly appear as a subservient, visually lightweight and contemporary addition to the building. Its form of construction and the nature of its design/materials would allow it to be visually differentiated from the original more solid form of the existing house, enabling successive phases of the historic evolution of the building to remain easily read.

Being sited to the rear, the proposed extension would not dominate the appearance of the existing principal front or east side elevations which make the most visual contribution to the character and appearance of the Conservation Area.

The insertion of the proposed French doors into one of the existing dormer windows to the east facing roof of the building would simply amend an existing modern alteration to the roof. This would have no materially greater or harmful impact on views towards the property from the south-east over the existing situation. The clear majority of the existing catslide roof, including its longer unbroken section over the living room closest to Lower Street, would remain unaltered. The contribution the appearance of the building makes to the character and setting of the Conservation area would not unduly change.

The appearance and design of the proposal is therefore considered entirely appropriate to this setting and would not unduly harm the character or appearance of the existing building or that of the wider Conservation Area.

Landscape

No new landscaping is specifically proposed as part of this minor householder application. No trees or visually significant areas of garden/landscaping would have to be removed to accommodate the proposal.

Therefore the landscape setting of the existing building would not be materially affected and the quality/character of the wider Conservation Area in landscape terms would not be harmed.

Sustainable Development

The proposed garden room extension would be constructed of oak sourced from PEFC certified well managed sustainable and renewable forests, whilst the traditional carpentry methods to be employed in oak framed construction rely less on the use of modern power tools and would provide a structure that could be more easily dismantled and reused elsewhere if required. The proposed construction method and materials to be used are therefore inherently sustainable.

Surface water drainage would employ sustainable methods, such as the installation of a water butt for capturing and recycling rainwater.

Conclusions

The above demonstrates that the nature of the design, layout, construction and appearance of the proposed garden room extension and dormer window alteration would not harm the character, appearance or setting of Ufford Conservation Area. The contribution no. 5 Melton Hamlet makes to that character and setting would not be unduly harmed.

The proposed extension would be a relatively minor addition and a wholly subservient structure, located to the rear of the house where it would not be visible from outside the site or within the setting of any nearby listed buildings. It would be constructed from sustainable materials and no significant structural alterations are proposed. The new extension would appear as a visually lightweight contemporary addition, allowing the architecture of the host building to remain clear and its historic evolution to remain legible.

The proposed alteration to one of the dormer windows would simply modify an existing modern addition with no real harm to the contribution the existing building makes to the character and appearance of the Conservation Area.

None of the Conservation Area character traits identified in this Statement would be unduly harmed as a result of the proposed development.