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## Fire Safety Statement

**14 Edgecombe Close, Kingston  
Upon Thames, KT2 7HP**

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## 1. Introduction

This supplementary document, carried out by Base Associates, is in support of a householder application submitted to Kingston Borough Council. This for the works proposed at 14 Edgecombe Cl requiring permission for alterations works to the existing residential dwelling. This Fire Safety Statement should be read in conjunction with all supporting documents and drawings within the referenced householder application.

This document has been prepared in line with the London Plan 2021 – Policy D12 (A), D5 and London Plan Guidance Fire Safety (February 2022). The following fire safety features are proposed to achieve the highest standards of fire safety.

## 2. Means of Escape

The primary escape route for this property will be via the main stairway and through the main entrance door leading towards Edgecombe Cl. See drawing for more information.

## 3. Fire Doors

In accordance with the current building regulations, the property will be fitted with the appropriate rated fire doors. This will be for all corridors and rooms as recommended by an approved building control inspector. This will make certain that there is a protected safe escape route to the main exit.

## 4. Materials

All materials used will be fit for purpose and aligned to be certified for the latest legislation.

## 5. Fire Assembly Points

As part of Policy D12 of the London Plan 2021 it states the property must have suitably positioned external space that can be appropriately used as an evacuation point.

It is recommended that an assembly point should be specified and located outside the property, allowing safe distance from the property in the event of a fire. The assembly point is placed outside the front of the property on Edgecombe Cl allowing a safe distance from the property in the event of a fire.

## 6. Smoke & Carbon Monoxide Detectors/ Alarms

The property will be fitted with new smoke, heat and carbon monoxide detectors, in line with the current Building Control Requirements. These locations will be checked by an approved building inspector to comply with the current building regulations.

Each new habitable room will be fitted with multi sensor alarms, these alarms contain two separate sensing elements – optical and heat detection and from this monitors two different by-products of fire, smoke and heat. All equipment's will be installed by a qualified and professional electrician.

## 7. Firefighting

The main access for the firefighting is via the front entrance accessed from Edgecombe Cl. Edgecombe Cl provides clear and direct access for fire appliances to access the property. The main internal circulation routes through the property will allow fire services easy access to the entirety of the dwelling.

## 8. Building Regulations

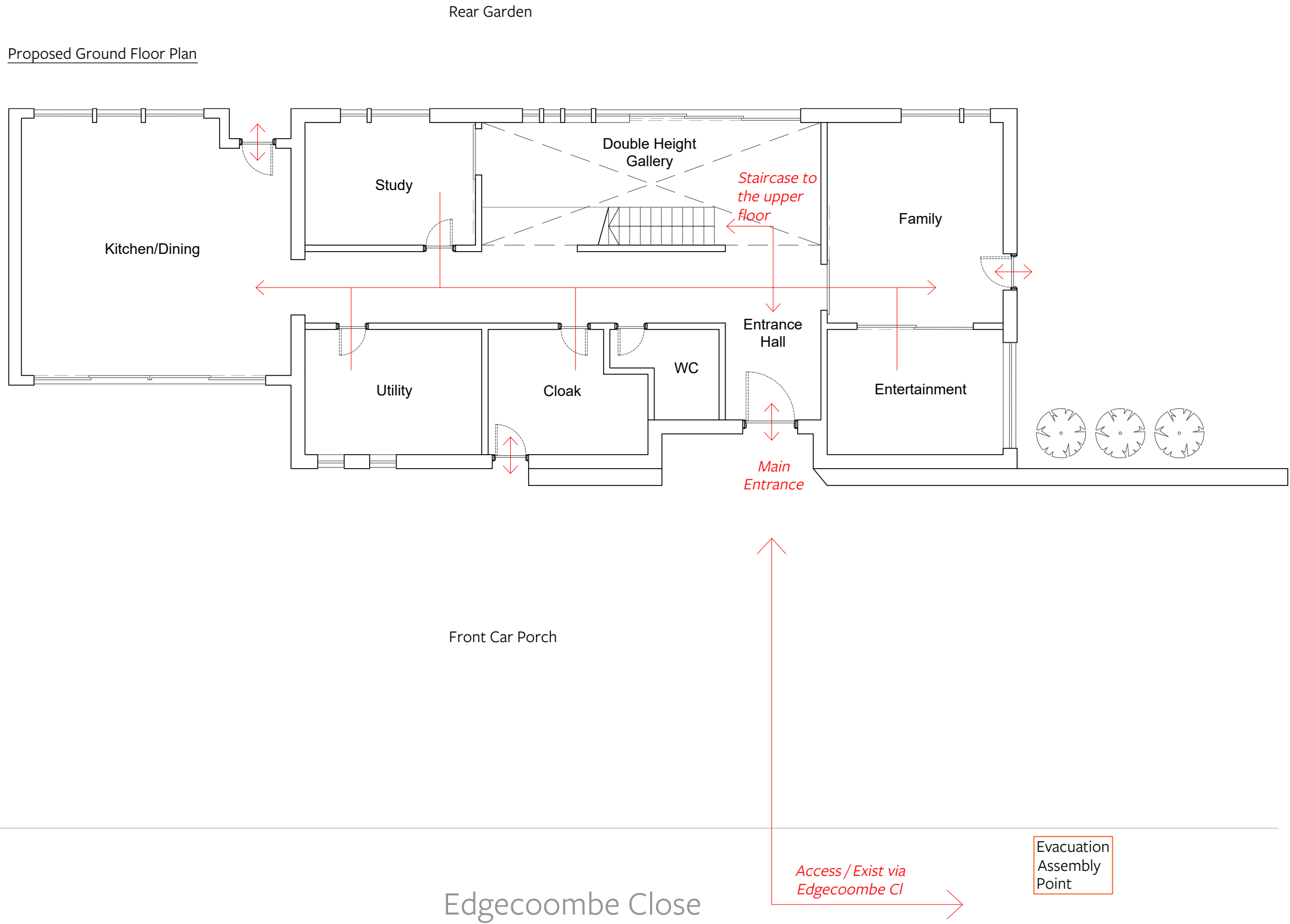
Detailed plans will be agreed and signed off in writing with an approved Building Inspector prior to implementation.

The current scheme is for planning purposes only and subject to detail design and relevant consultant input. Prior to any on site construction, a detailed set of drawing will be worked up. The detailed drawings will be checked and signed off in writing by an approved building control officer.

## 9. Floor Plan Diagrams

In following pages.

Proposed Ground Floor Plan

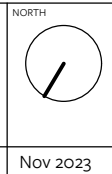


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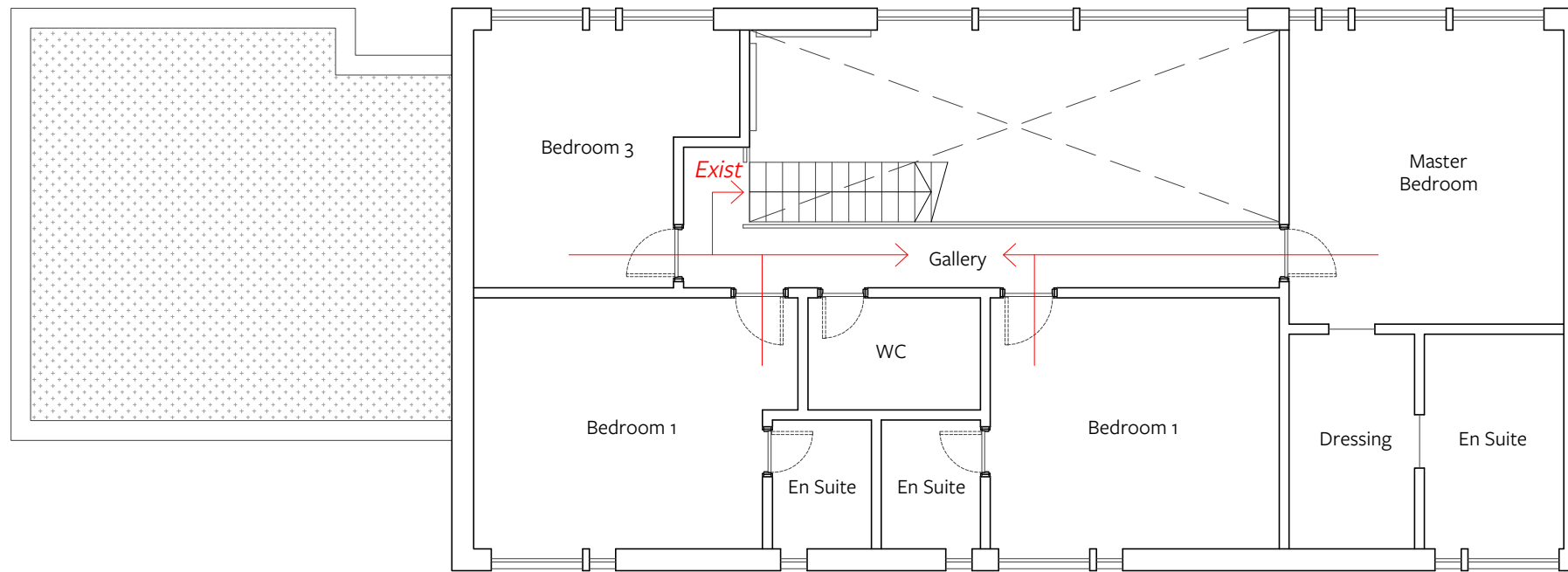
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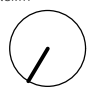
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PROJECT: 14 Edgemoor Close, KT2 7HP			
DRAWING NUMBER: Proposed Ground Floor Plan			
Project No:	RIBA Stage:	Series:	Extension:
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Proposed First Floor Plan



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							<p>DRAWING NUMBER:</p>				
<p>Project No: 0552      RIBA Stage: 3      Series: D</p>		<p>Extension: 1      Drawing No: 101      Revision: 00</p>		<p>Nov 2023</p>		<p>CLIENT: Private Client</p>		<p>PLANNING ONLY</p>			