

CHRISTYS Albury End SG11 2HS

Demolition of existing dwelling and development of site to provide 2 No. new replacement dwellings and associated landscape and parking

Design & Access Statement - Full Planning

KIRBY COVE ARCHITECTS November 2023



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Introduction

01

Introduction and Historical Maps

This design and Access Statement has been prepared by Kirby Cove Architects in support of the detailed planning application for the demolition of an existing dwelling and the erection of 2no new replacement dwellings and associated landscape and parking.

The application site is situated on the South East side of Albury End.

As delineated on the 1896 Historical Map, Albury End is a historic settlement, with the majority of buildings depicted on the map persevering in the village's contemporary landscape. The majority of these structures are grade II listed, contributing to the preservation of the village's heritage.

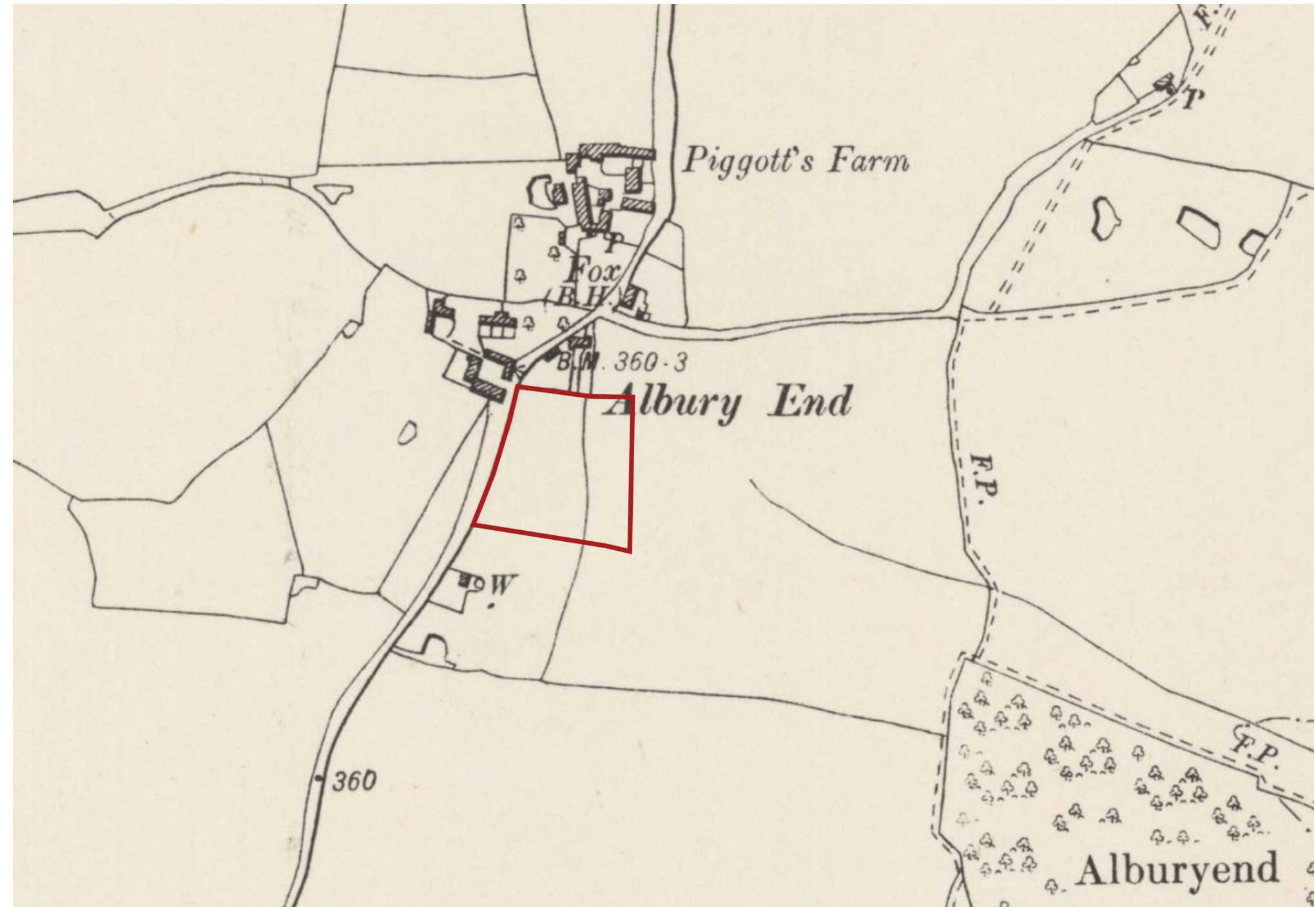


Fig 1. 1896 HISTORICAL MAP

Site Context

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Site Context

Site Location

The application relates to a detached single storey dwelling constructed in the 1950s, pursuant to planning permission 3/58/1812/FP. Later side extensions were granted in the 1970s.

The building lies within extensive grounds, surrounded by other large detached dwellings.

The site is adjacent to residential properties to the North and South, agricultural fields to the East and road to the West from which the plot is currently accessed via established vehicular accesses.



Fig 2. AERIAL IMAGE



Surrounding Area – Character appraisal

LISTED BUILDINGS

As mentioned previously, Albury End has numerous Grade II listed buildings that conform the landscape and character of the area . These buildings are worthy of mention and study as they will serve as the primary local reference for the design proposals.

1 - TODDLERS HALL – GRADE II

Listed Building Official list entry:

GV II C17 cottage, timber-framed, lower floor clad in flint with red brick dressings, upper floor rendered. Modern tiled roof. Two storeys and attics, casement windows. Modern extensions to side and rear.



Fig 3. TODDLERS HALL – North Elevation



Fig 4. HISTORIC ENGLAND MAP

Surrounding Area – Character appraisal

LISTED BUILDINGS

2 - HORSEMANS

Listed Building Official list entry:

C17 cottage, extended and altered in C19, timber-framed, plastered, half hipped tiled roof, casement windows, central doorway with small canopy. One axial and one gable chimney stack. Modern single storey link to earlier plastered outbuilding with corrugated iron roof.



Fig 5. HORSEMANS – North Elevation

3 – KENNEL FARM - FARMHOUSE

Listed Building Official list entry:

C17 or earlier, timber-framed and plastered, roof tiled, south end faced brickwork. Two storeys and attics, the upper storey jettied and supported by five brackets, the joists are exposed. Full range of eight C18 double hung sash windows, central timber door and doorcase with curved head. Three tiled dormer windows, two central axial chimney stacks.



Fig 6. KENNEL FARM FARMHOUSE – East Elevation

Surrounding Area – Character appraisal

LISTED BUILDINGS

3 – KENNEL FARM - OUTBUILDING

Listed Building Official list entry:

GV II C18 range of timber-framed and weatherboarded buildings with slate roofs on brick plinths. Metal windows with curved heads.



Fig 7. KENNEL FARM – OUTBUILDING East Elevation

4 – WILLOW VIEW (WATTS)

Listed Building Official list entry:

C17 cottage, timber-framed and plastered, tiled roof. Two storeys, single storey lean-to addition to the north. Two double hung sash windows, three casements. Large exterior gable chimney stack. Large modern wing at rear.



Fig 8. WILLOW VIEW - West Elevation

Surrounding Area – Character appraisal

LISTED BUILDINGS

5 – PIGGOTS FARM

Listed Building Official list entry:

Piggotts Farmhouse and boundary wall to east - II Probably of C17 origin, brick clad, half hipped and gabled tile roof, L-shaped plan. Two storeys, range of three three-light centre opening casements on upper floor, two Victorian bay windows on lower floor, central entrance doorway with canopy. Main range has one central and one gable chimney stack. Rear wing of brick and tile, large central brick stack modern casement windows. Red brick boundary wall, with half round brick coping.



Fig 9. PIGGOTS FARM East Elevation

6 – THREE BARNES AND OUTBUILDING TO NORTH OF PIGGOTS FARMHOUSE

Listed Building Official list entry:

C18 group of barns and outbuildings, timber-framed and weatherboarded on rendered plinths. Two tiled, one slated and one corrugated iron roof.



Fig 10. PIGGOTS FARM BARNES East Elevation

Built form analysis

03

Site Context

Red Line Boundary

The OS Map shows more clearly the building on the site and its relationship with the surrounding buildings. The application site area extends to approximately 0.84ha.

The building is set in a large plot, which is probably larger than most neighbouring plots.

The grain of development of the area, is that of a ribbon development along the road. The buildings are typically large, 2 storey detached cottages and farmhouses combined with single storey outbuildings, now converted to residential properties, that would have originally been part of a farm.

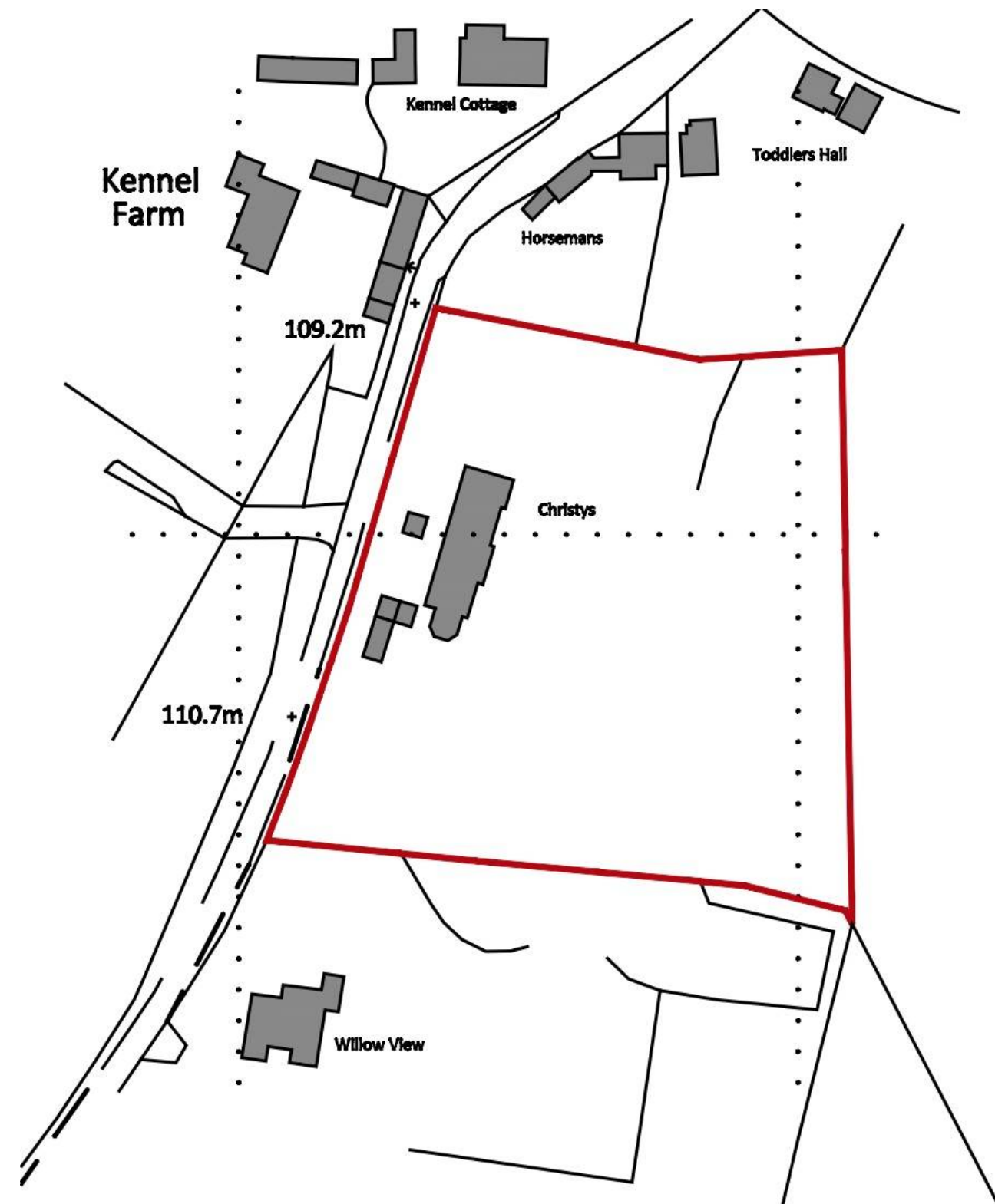


Fig 11. OS MAP

Site Context

Building Heights



Fig 12. BUILDING HEIGHTS



Site Context Photographs



Fig 13. ACCESS ROAD – (looking North)



Fig 14. ACCESS ROAD - (looking South)



Fig 15. SITE BOUNDARIES - Secondary vehicular access, mature hedge along the front and landscape along south boundary



Fig 16. FRONT BOUNDARY – top corner of the site, mature hedge and gate (looking South)

Site Context

Photographs



Fig 17. MAIN ACCESS Drive and landscape frontage



Fig 18. EXISTING DRIVE Parking and outbuildings



Fig 19. NEIGHBOURING PROPERTIES – Vehicular access to Kennel Farm



Fig 20. EXISTING DRIVE Verge, hedge and outbuildings

Existing Building

04

Existing Dwelling

- Single storey
- Dual pitch roof with several front and rear gables
- Large gardens – larger than the average in the area
- Modest/unremarkable construction and no features worthy of retention.
- Detached single storey dual pitch garages to the front and flat roof outbuilding

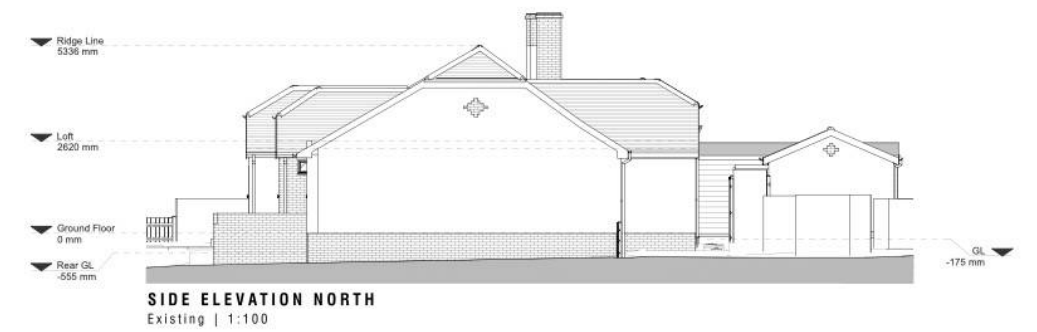
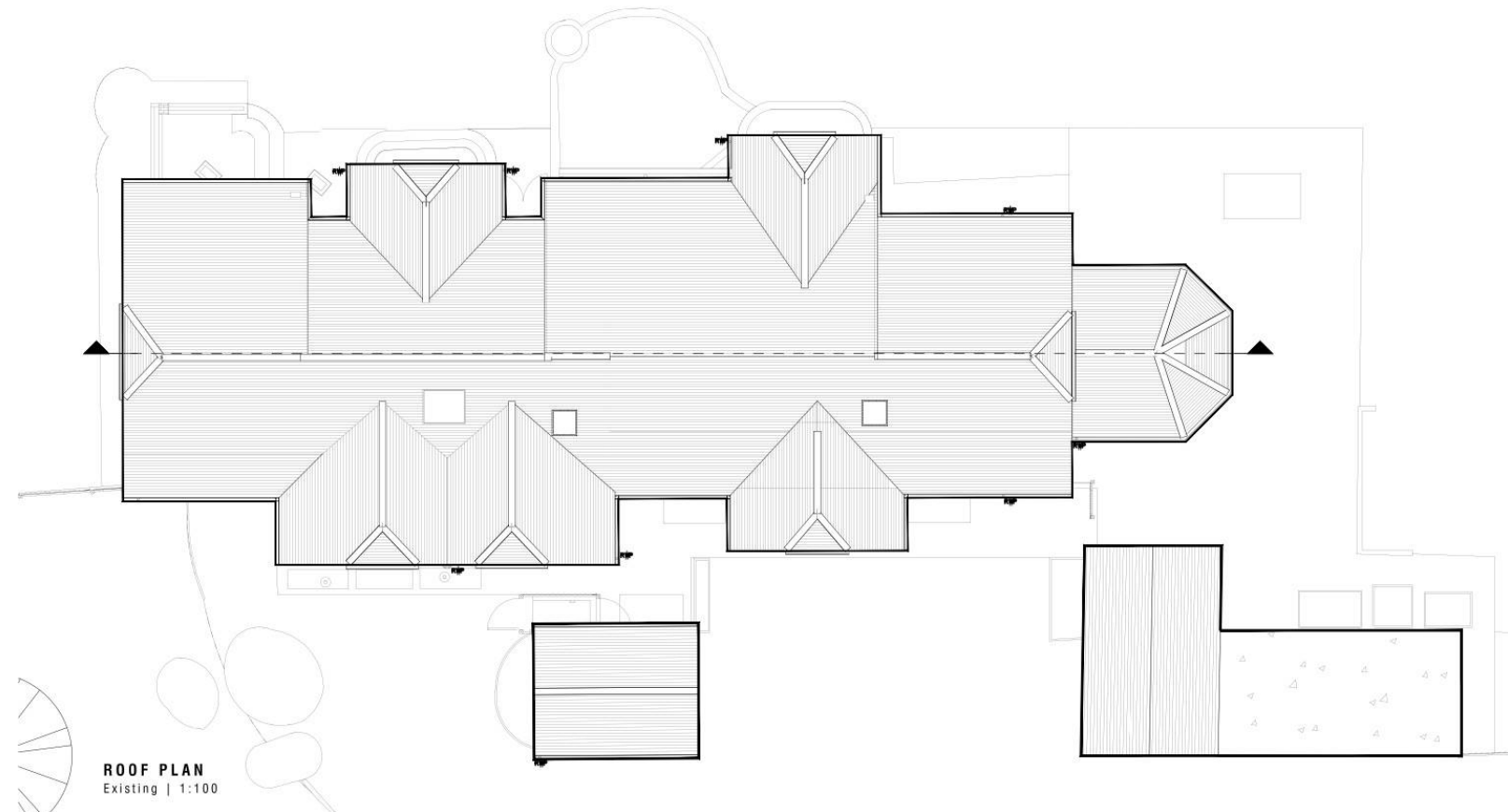


Fig 21. DRAWING 2410 101 and 102 EXISTING PLANS AND ELEVATIONS (EXTRACT)

Poor Energy Efficiency and Unsustainability of Existing Dwelling



Fig 22. DRAWING 2410 102 EXISTING ELEVATIONS (EXTRACT)

POOR SUSTAINABLE QUALITIES

- Single glazed or High U-value windows – Heat loss
- Poorly insulated walls/ High U-Value – Heat loss
- Uninsulated / Poorly insulated floors/ High U-Value
- Minimal roof insulation/ High U-Value- Heat loss
- Inefficient Heating System/ Fossil fuels – Higher energy demand/ Carbon emissions
- Low air tightness – Heat loss
- Inefficient built form/ Single storey – Heat loss

LAYOUT

- The dwelling has an outdated general arrangement with a lot of space used in long corridors.
- The kitchen is small for modern standards and separated from the dining room and family room, contrary to modern living where the kitchen is the central focal point of the home
- The garages to the front are small for modern cars and disconnected from the dwelling

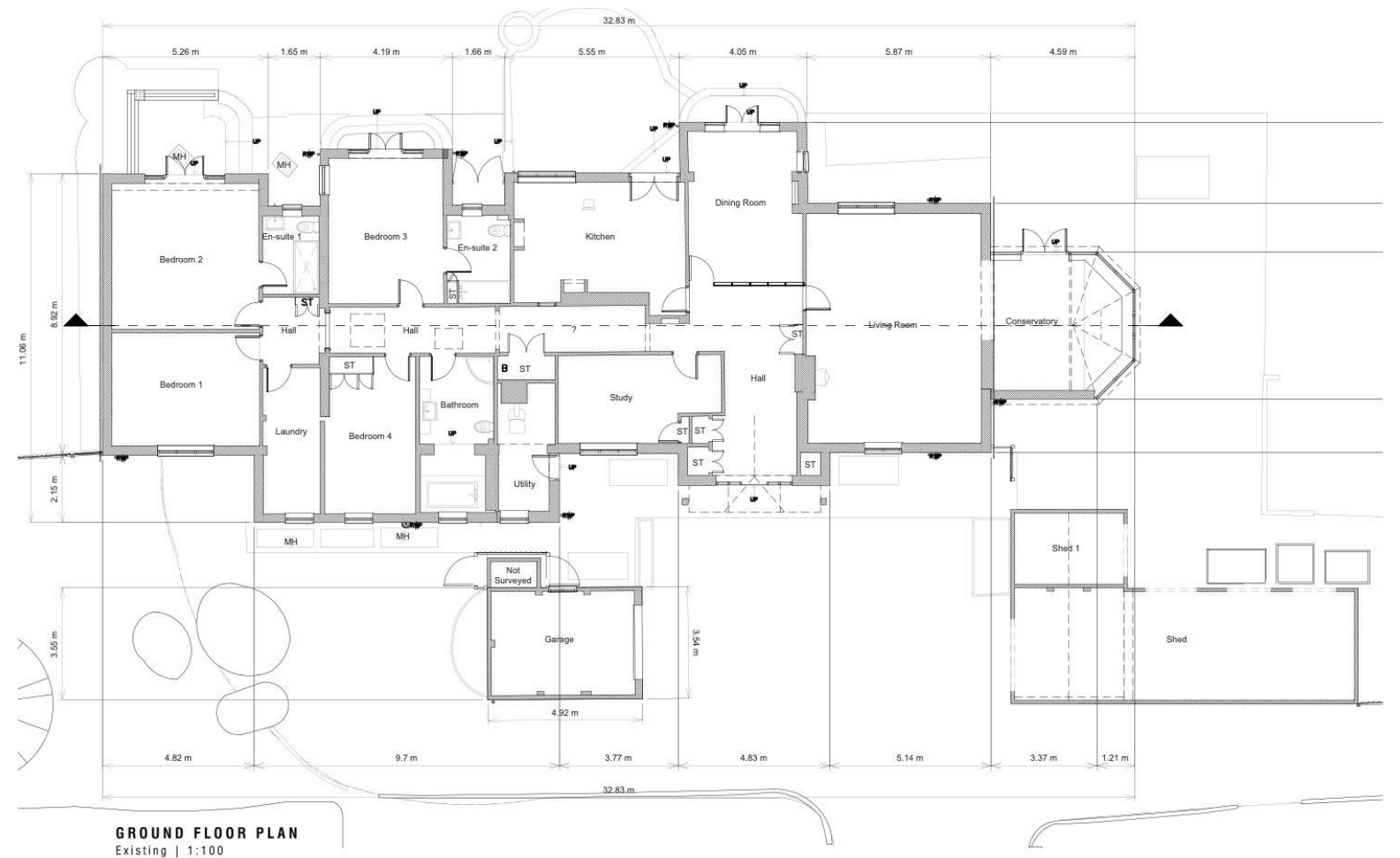


Fig 23. DRAWING 2410 101 EXISTING PLANS (EXTRACT)

Extant Permissions 3/21/1927/ASDPN and 3/23/1063/FOFPN

- The proposed scheme emerges as an alternative to the extant permission 3/21/1927/ASDPN
- The permission approved construction of one additional storey to the existing dwelling, to increase the height from 5.34 metres to 8.0 metres.
- Subsequently a permitted development class AD was granted for the additional storey to be used as a separate dwelling – 3/23/1063/FOFPN.
- The current scheme proposes to split the two houses into separate dwellings by making them look a lot better and in keeping with the surrounding area.



SITE SECTION
Existing | 1:150

Fig 24. DRAWING 2410 304 SITE SECTIONS (EXTRACT)