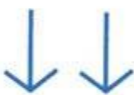







Proposal

05

# Site Context Opportunities

- Long views over Rib Valley 
- Green frontage/ buffer/ biodiversity 
- Sun path – Solar gain 
- Existing buildings to be demolished 
- Grade II Listed Buildings 
- Existing access 

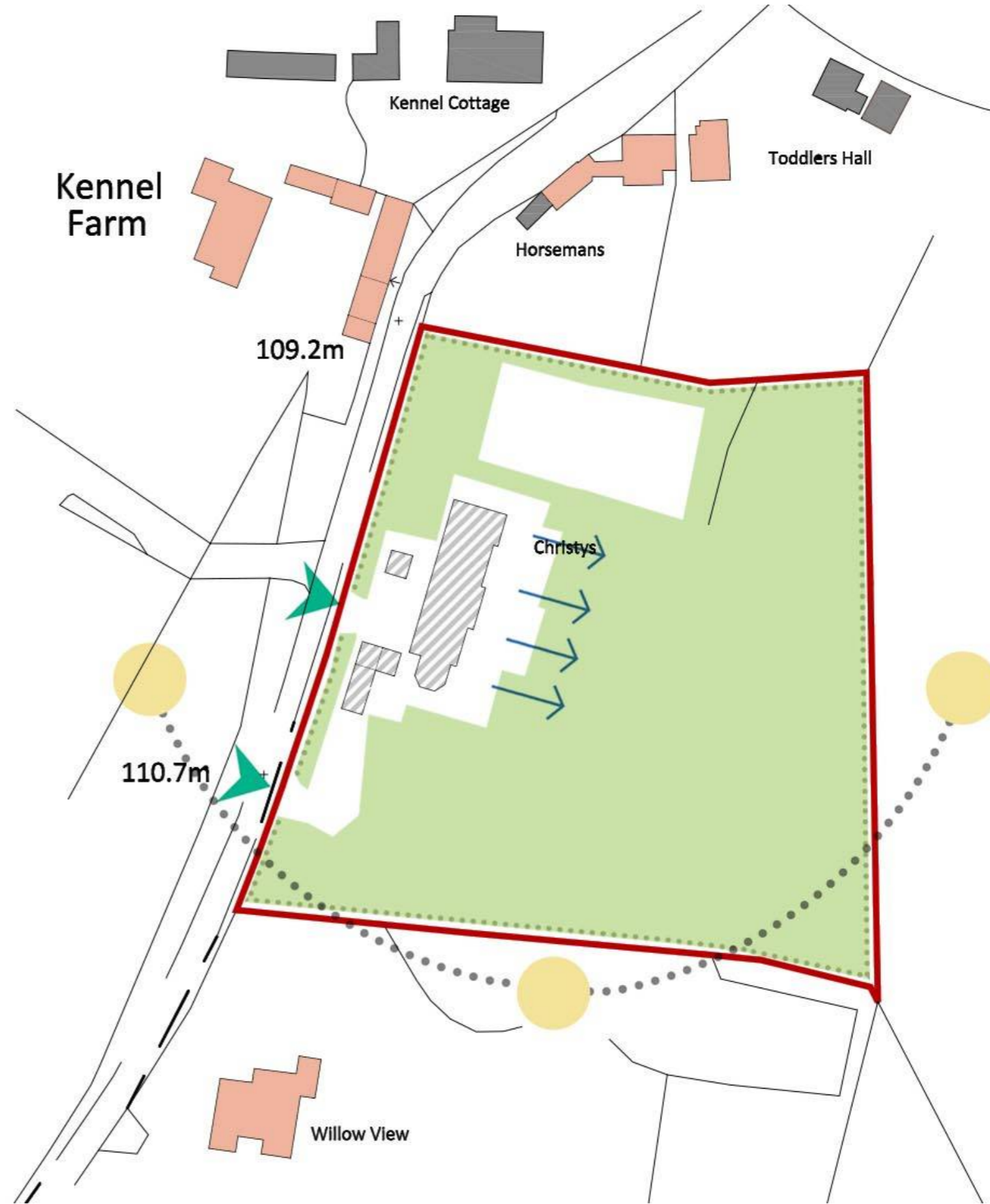


Fig 25. OPPORTUNITIES

# Site Context Constraints





## Concept Sketches

### Early Ideas

#### EARLY IDEAS

- Follow existing grain of development
- Replicate neighbouring front and rear building lines
- Provide mix of house types
- Propose varied building and roof forms that add interest to the street scene
- Create larger built form to north end of the site, respond to larger building to north/ pre-existing dwelling
- Proposed detached dwellings to south end of site respond to existing detached properties to south.



Fig 27. DRAWING 24101 SK05A FEASIBILITY SITE PLAN





# Concept Sketches

## Early Ideas

PLOT 1



Fig 28. EARLY SKETCHES PLOT 1

# Concept Sketches

Early Ideas

PLOT 2



Fig 29. EARLY SKETCHES PLOT 2



# Proposal

## Design Analysis

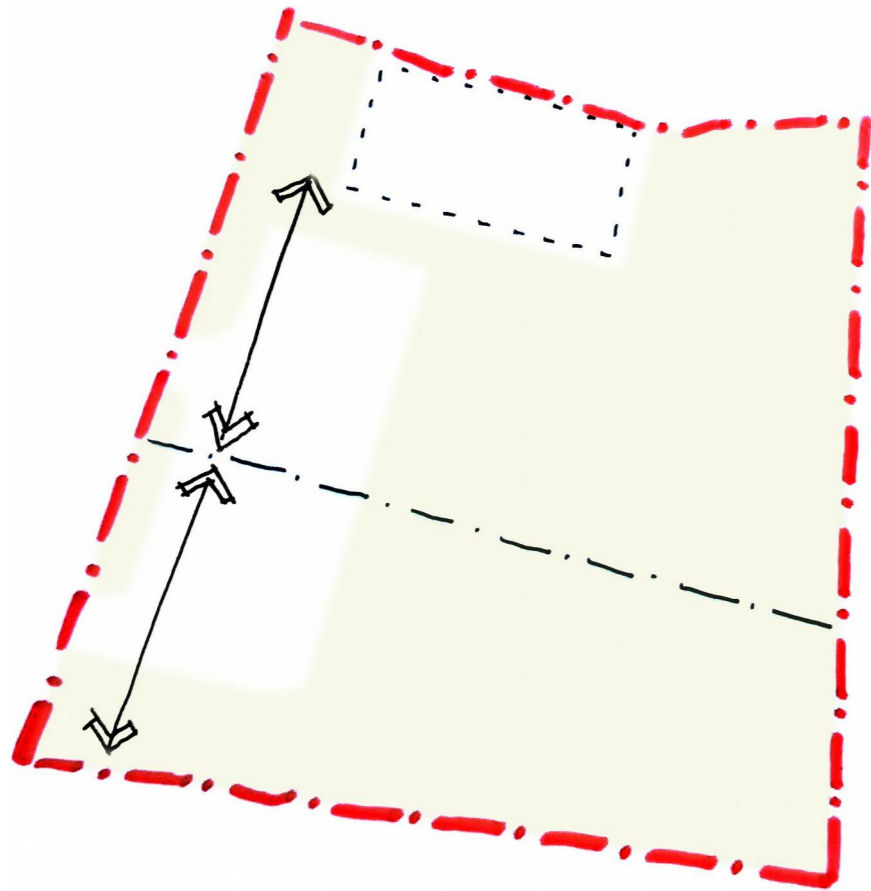


Fig 30.

### GRAIN OF DEVELOPMENT

Plot widths reflect the grain of development of the area

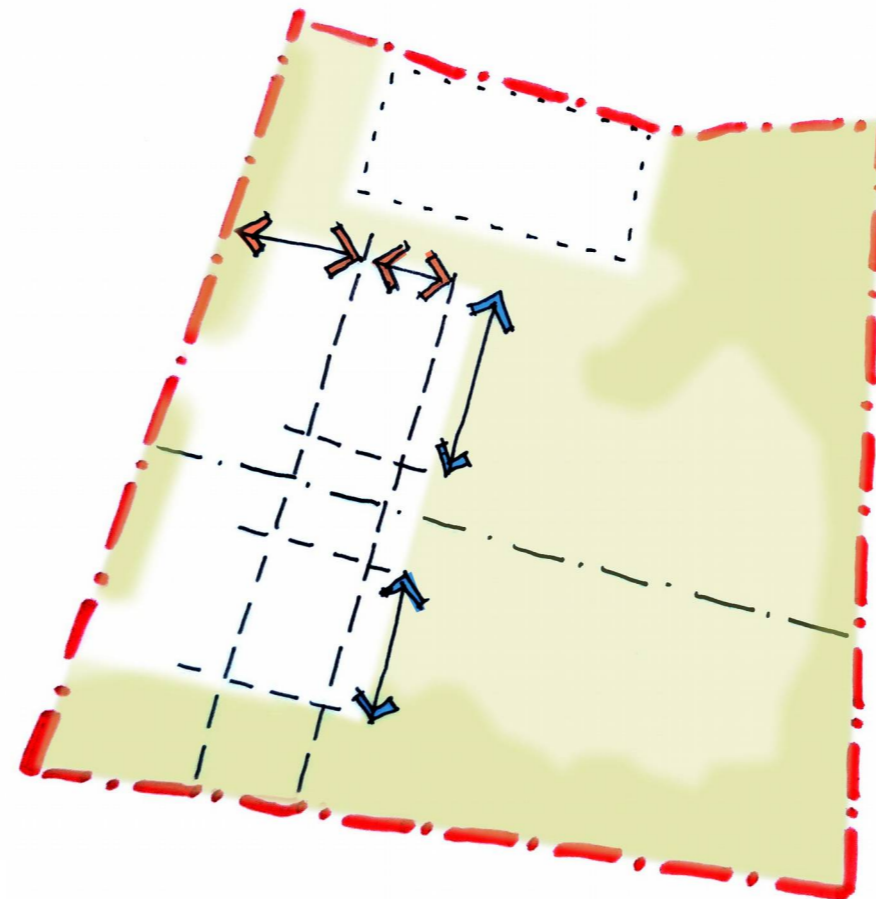


Fig 31.

### SET BACK

The set back responds to the character of the area, ample green frontages. Depth and width of each plot are defined.

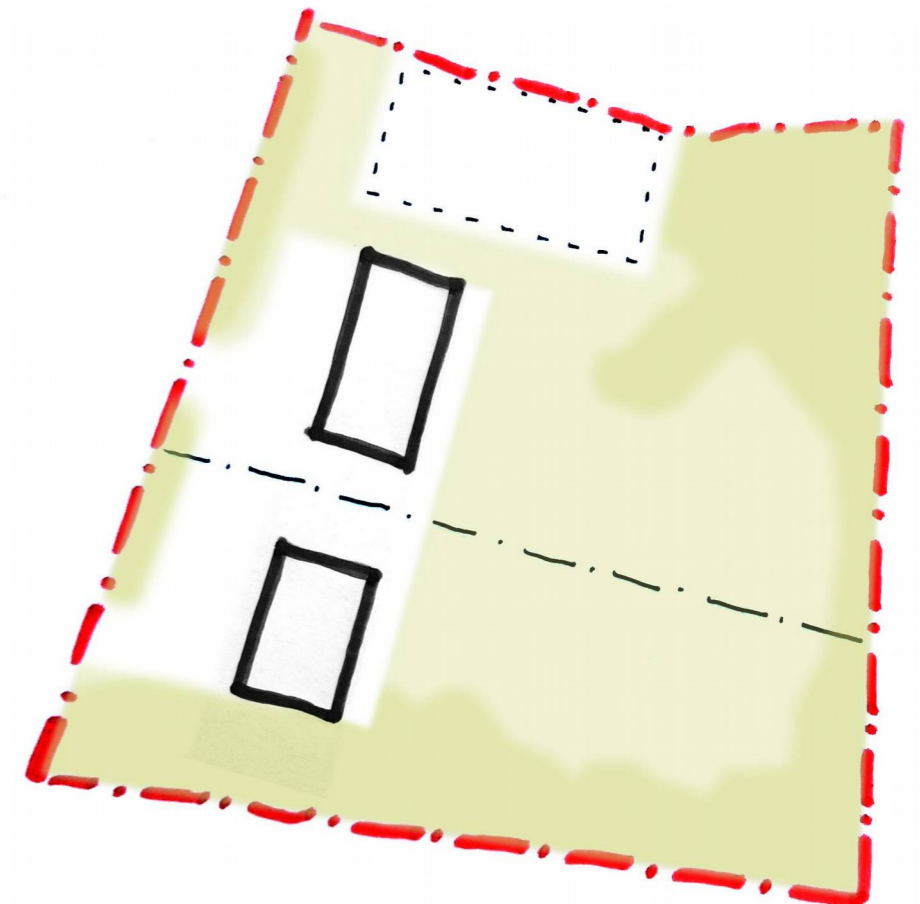


Fig 32.

### BUILDING MASS/ TYPOLOGY

The amount of built form starts to shape. The depth of the buildings responds to neighbouring plots. Two building types begin to emerge

# Proposal

## Design Analysis

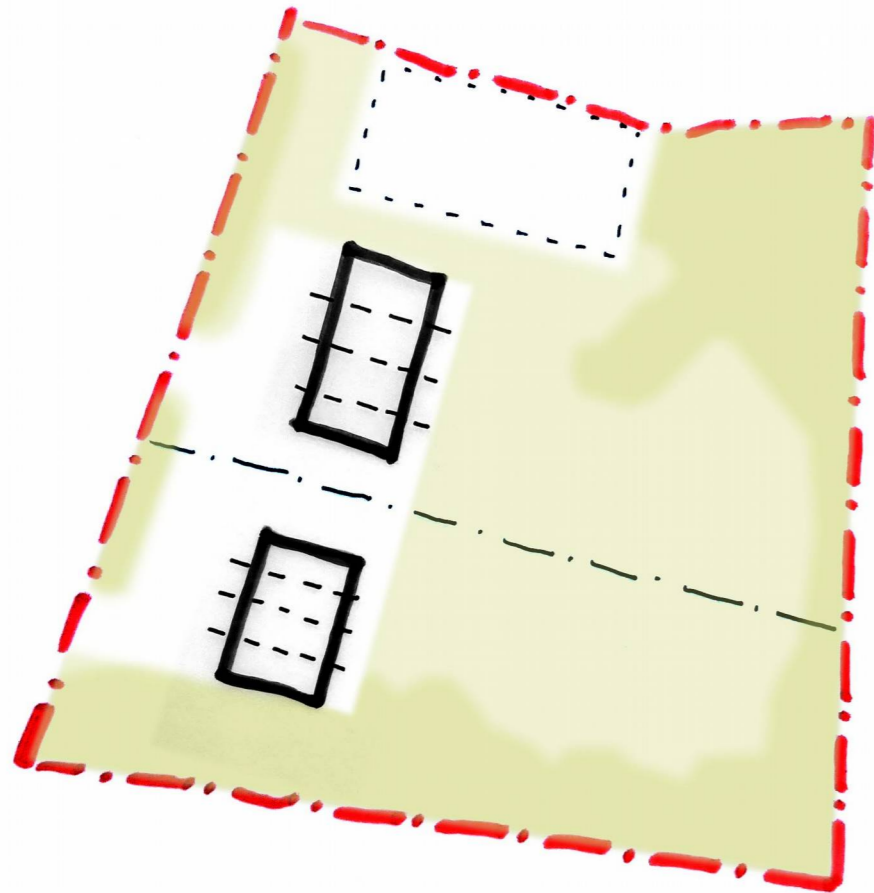


Fig 33.

### BUILDING BLOCKS

Each building is broken up into different sections in order to provide relief and articulate the front elevations.

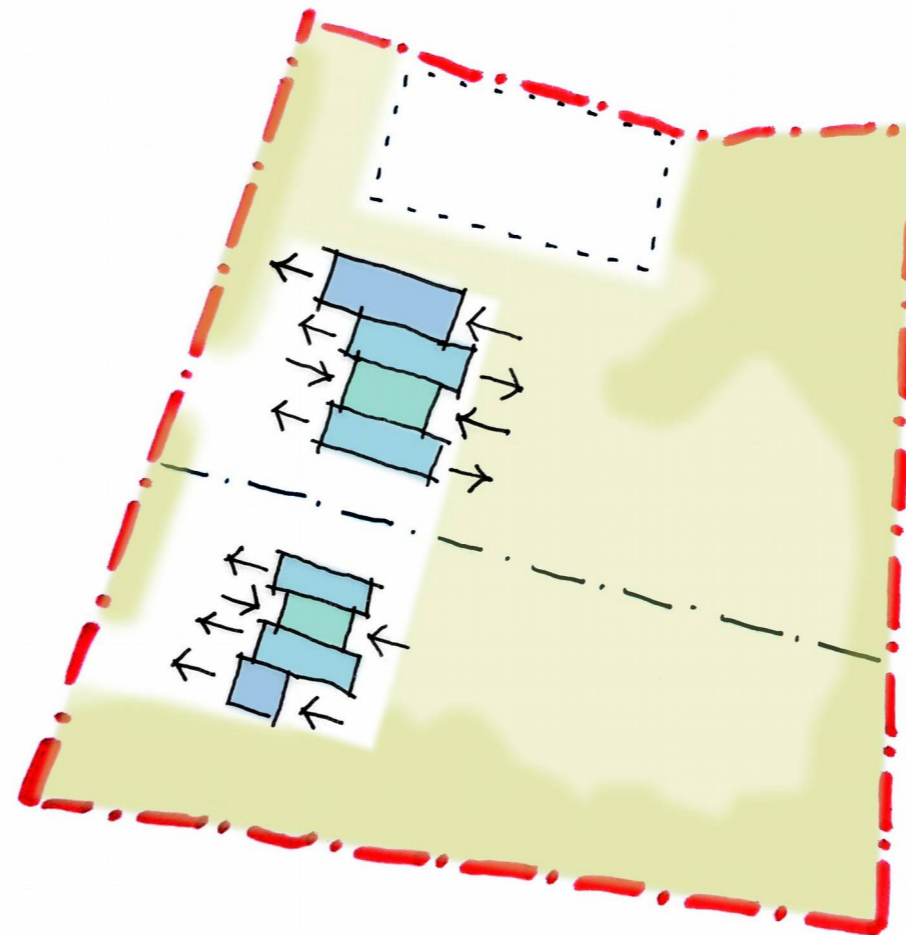


Fig 34.

### CONFIGURATION

Each building part is either set back or brought forward to break up the frontages. The introduction of gables provides character to the design.

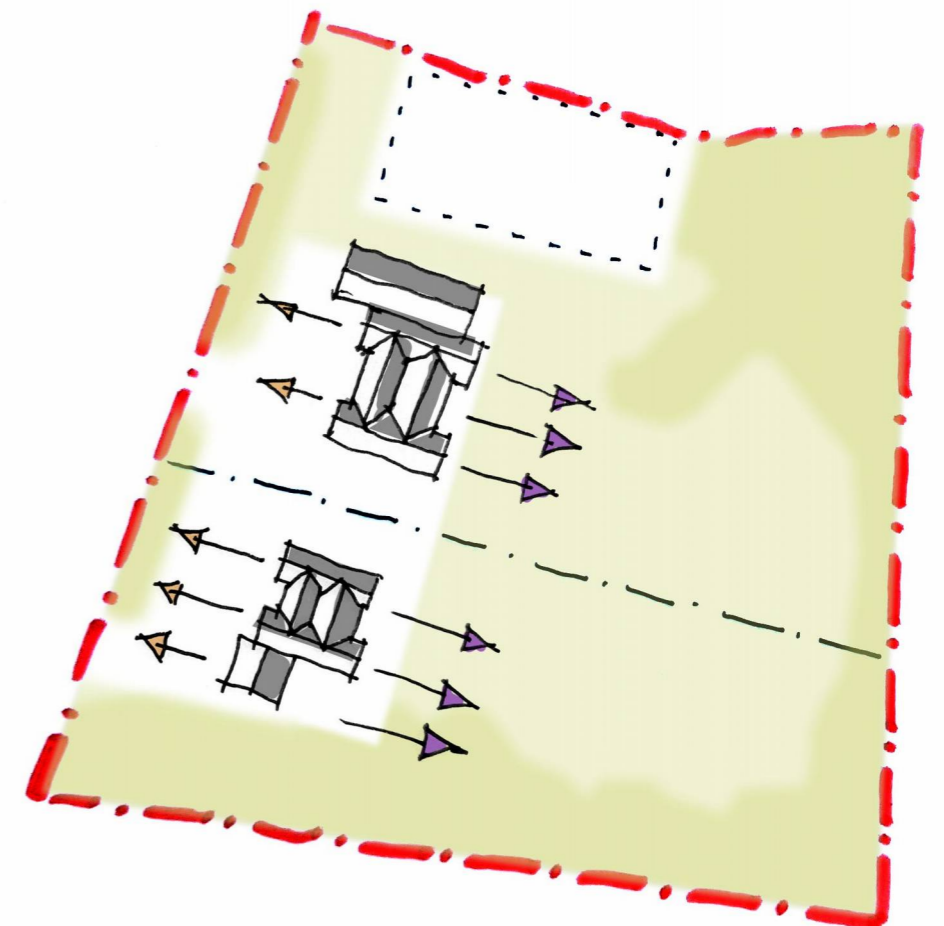


Fig 35.

### ROOF FORMS/ VIEWS

Varying roof forms and facade relief create interest to the street scene.  
Views are towards private rear gardens and front gardens. All dwellings enjoy dual aspect.



# Proposal Site Layout



Fig 36. DRAWING 2410 300 Proposed Site Plan (Extract)

# Proposal

## Site Layout

### SCHEDULE OF ACCOMMODATION

2no. Detached 5 Bedroom Dwellings

Existing vehicular access ①

Entrances to dwellings ②

Enhanced front gardens ③

Rear gardens ④

Mature landscape to be retained ⑤

Garages/ Bike storage ⑥

Proposed hedges ⑦

- 2no Existing vehicular entrances to the site retained/ no new vehicular access proposed
- Existing mature landscape retained
- New buildings marginally relocated further back from the road in order to provide ample green frontages and defensible space
- The primary materials are traditional and inspired by the character of the locality
- Each dwelling enjoys ample private amenity space
- Rear gardens have paved patio areas and new hedges defining boundaries.
- Each dwelling is proposed to have 4no parking spaces, 2no of those in garages. One Electric Vehicle Charging Point (EVCP) is provided per dwelling. The dwellings are provided with secure bike storage in the garages.



# Proposal Floor Plans

Both dwellings provide comfortable overall Gross Internal Floor Area (GIA) and a well-designed, flexible and functional layout, with adequately sized rooms in accordance with the nationally described space standards.

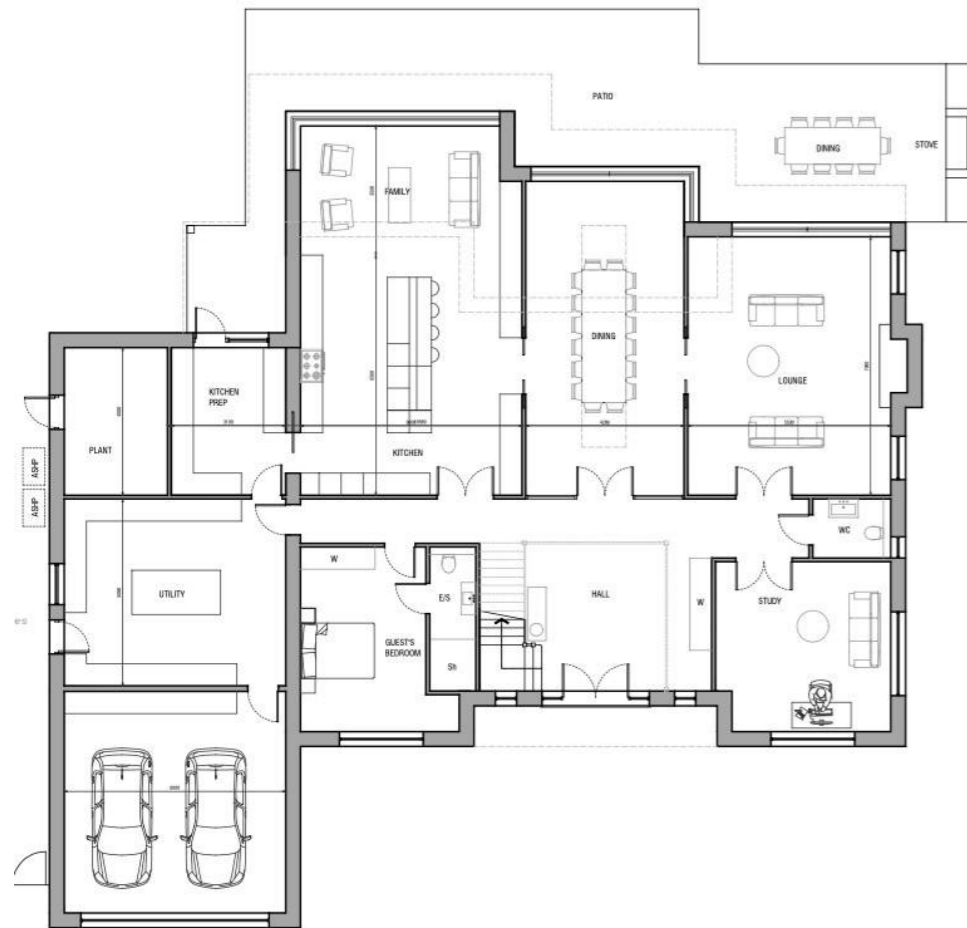
## PLOT 1 – Detached

### Ground Floor

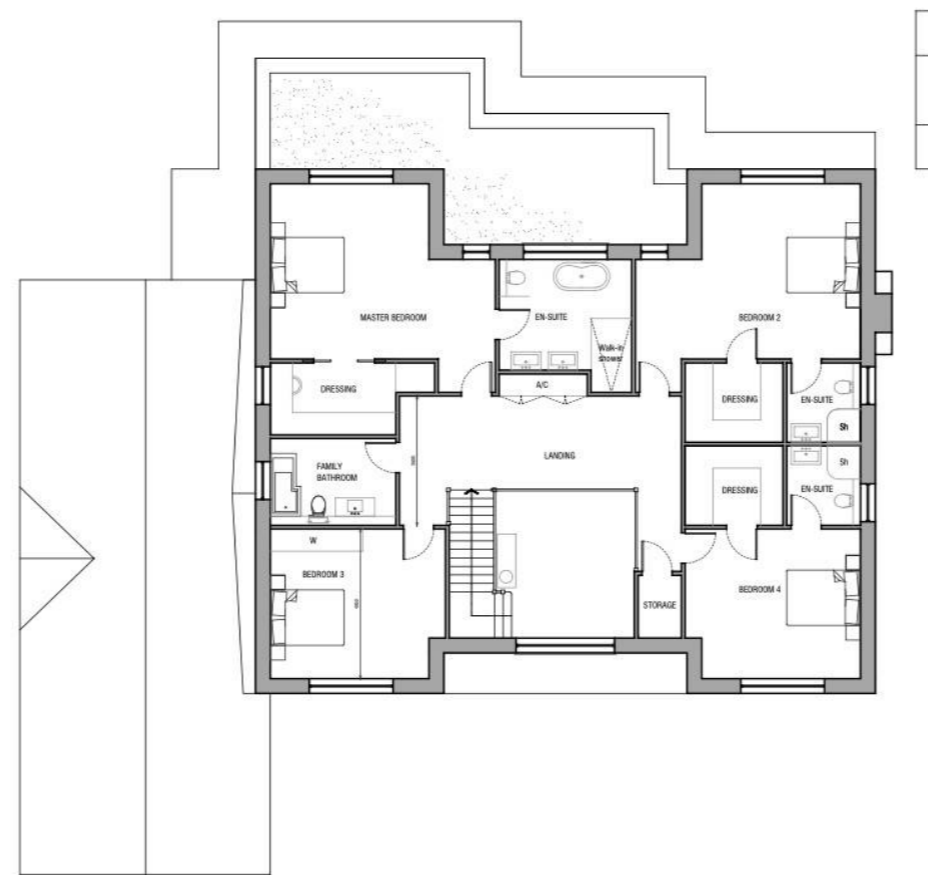
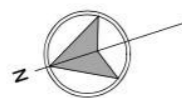
- Covered porch
- Guest's room and study to front
- Service area to left hand within single storey wing – Utility, Plant, Kitchen Prep and Garage
- Open plan Kitchen/ Family Area
- Kitchen/ Dining and Lounge connected through sliding doors

### First Floor

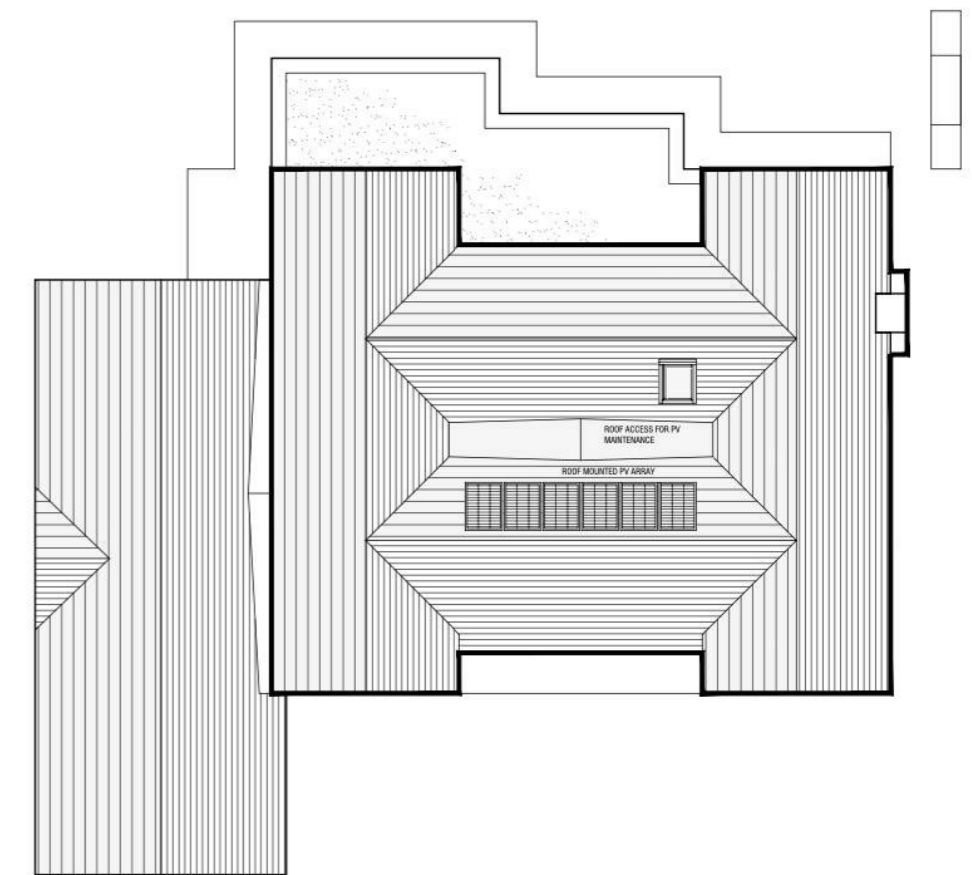
- 4no bedrooms with wardrobes or dressing rooms
- 2no En-suites and Master En-suite
- 1no Family Bathroom



**GROUND FLOOR PLAN**  
Proposed | 1:100



**FIRST FLOOR PLAN**  
Proposed | 1:100



**ROOF PLAN**  
Proposed | 1:100

Fig 37. DRAWING 2410 301 Proposed Plans Plot 1 (Extract)

# Proposal

## Floor Plans

### PLOT 2 – Detached

#### Ground Floor

- Traditional timber porch
- Recreation room and study to front
- Double Garage
- Open plan Kitchen/ Dining/ Family Area
- Separate quiet Lounge/ TV room

#### First Floor

- 5no bedrooms with wardrobes
- 2no En-suites and Master En-suite
- 1no Family Bathroom
- Generous galleried landing

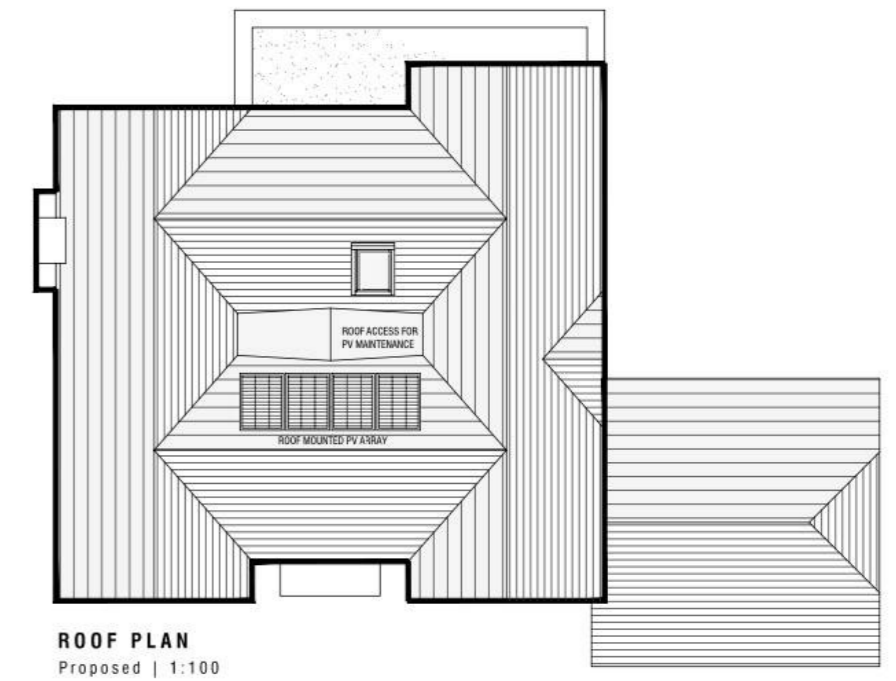
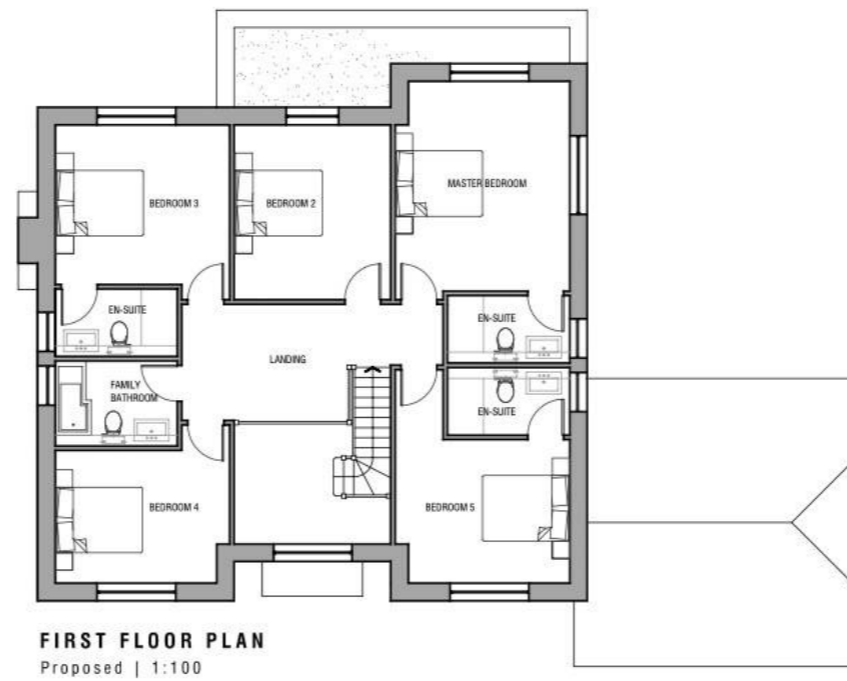
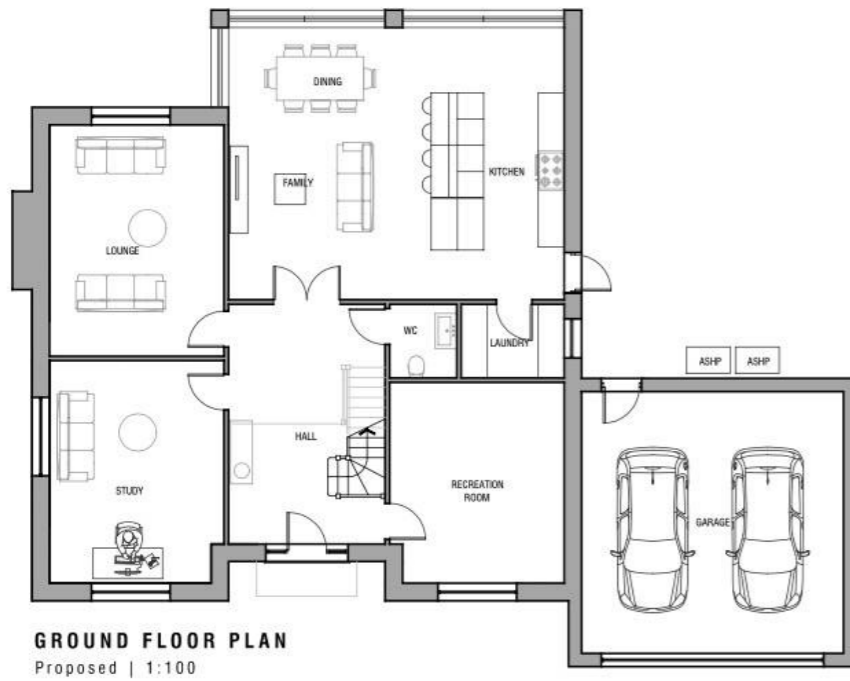


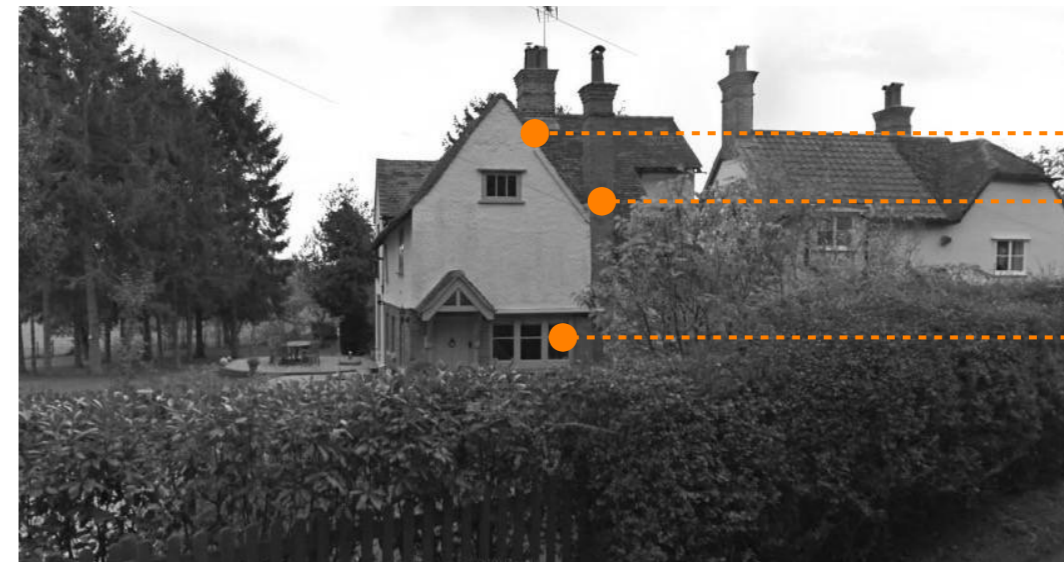
Fig 38. DRAWING 2410 302 Proposed Plans Plot 2 (Extract)



# Local Context

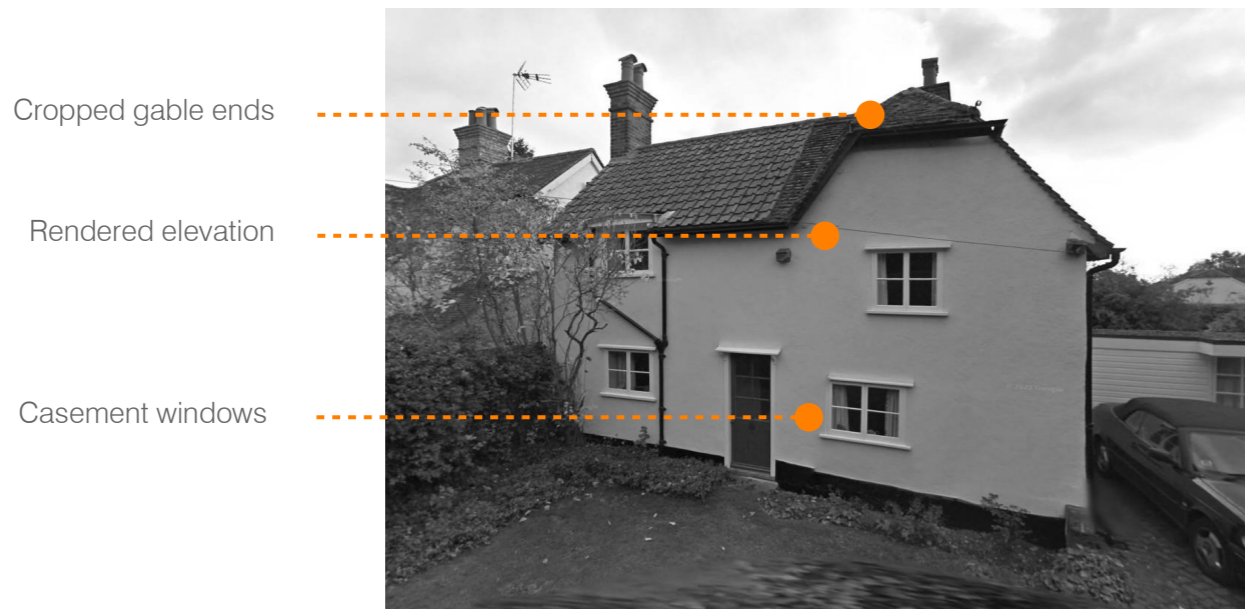
## Character Analysis

The character of the area is typical of rural Hertfordshire - large properties set in generous plots with front and rear gardens. A mixture of buildings from different eras and styles, where the use of traditional materials and forms predominates. We can identify between-wars semi-detached properties, detached properties and a bungalow. Most properties seem to be inspired by an arts and crafts style.



- Steep roof pitch
- Brick Chimneys
- Brick ground floor/  
Rendered first floor

Fig 39. TODDLERS HALL – 1 and half storey/ accommodation in the roof



- Cropped gable ends
- Rendered elevation
- Casement windows

Fig 40. HORSEMANS – 2 storey



- Large brick chimney
- Dormers
- Large front garden

Fig 41. KENNEL FARM FARMHOUSE – 2 and half storey/ accommodation in the roof



- Slate Roof
- White casement windows
- Brick plinth

Fig 42. KENNEL FARM OUTBUILDING – single storey



- Steep roof pitch/ Clay  
tiles
- Double hip roof
- Flat roof front porch

Fig 43. WILLOW VIEW – 2 storey

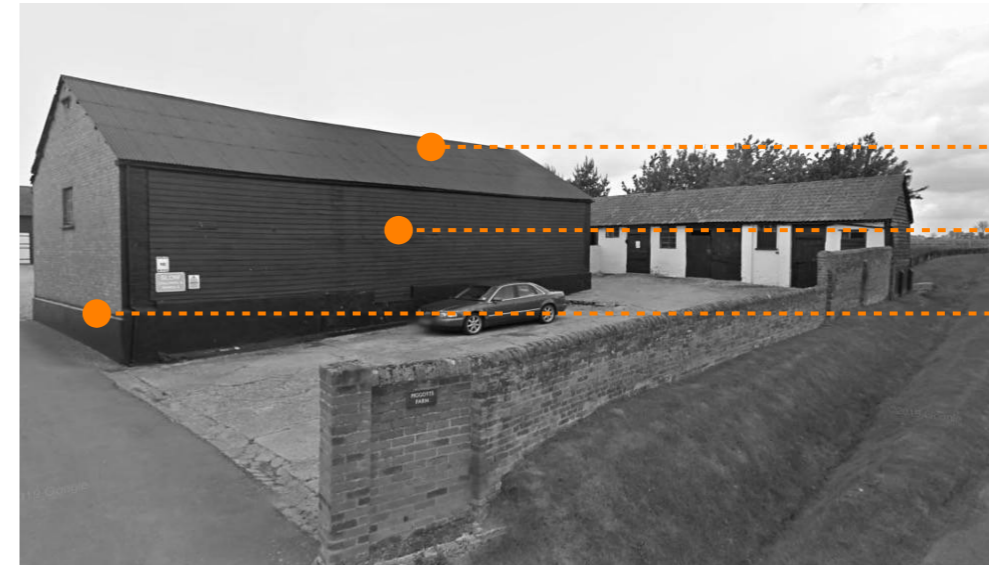


# Local Context Character Analysis

- Cropped gable ends
- Brick elevation
- Large front porch



Fig 44. PIGGOTS FARM – 2 storey



- Corrugated metal roof
- Timber weatherboarding
- Brick flank elevation

Fig 45. PIGGOTS FARM BARNs – 2 storey

- Large roof overhang
- Brick elevation
- Enclosed front porch



Fig 46. PIGGOTS COTTAGES – 2 storey



- Green frontages
- Thatched roof
- Casement windows
- Rendered elevation

Fig 47. POPLAR HALL COTTAGE – 2 storey/ accommodation in the roof



# Proposal

## Design Concept

Design principles outlining key features and high quality design within local context.

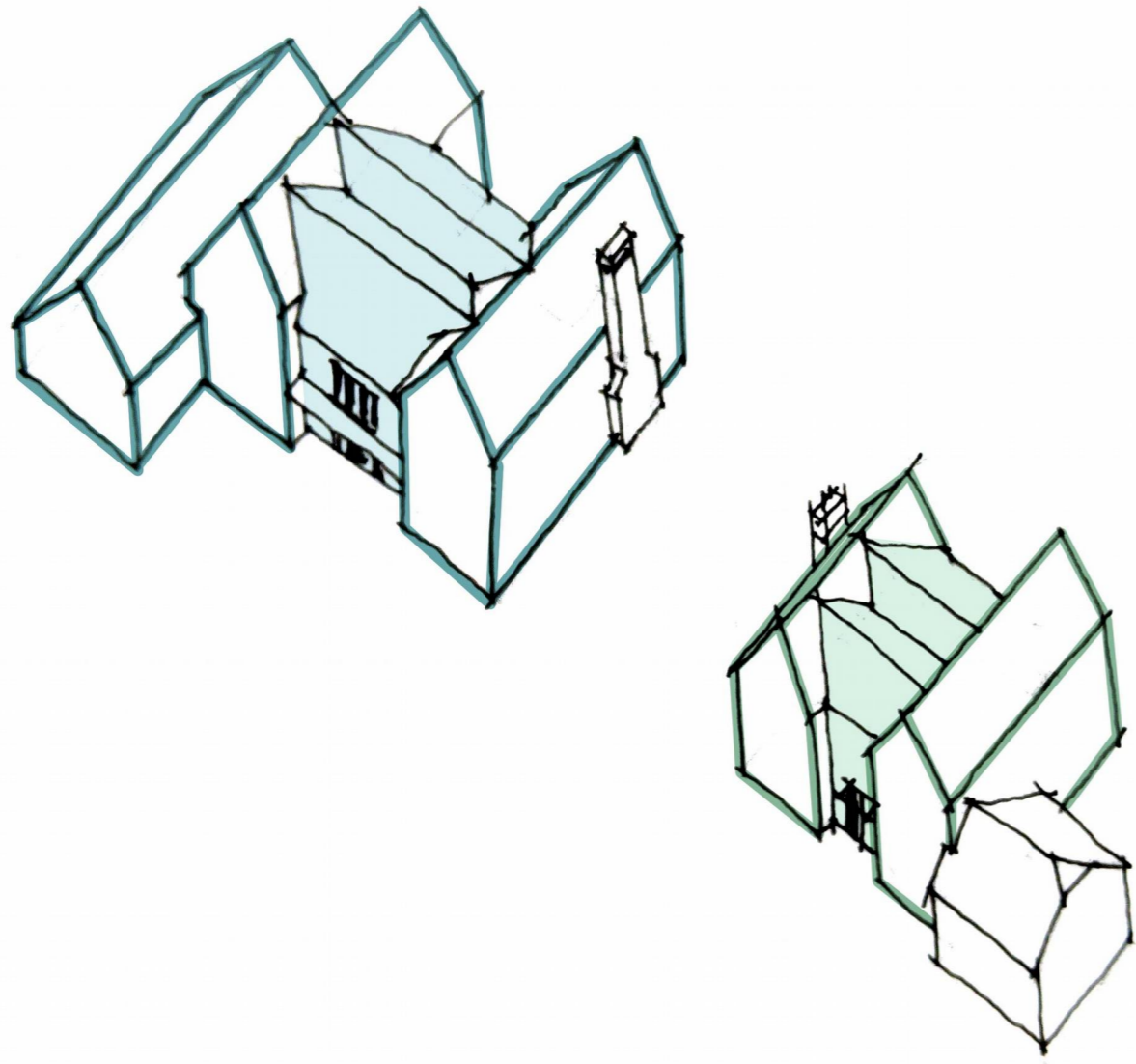


Fig 48 - 1. Form

- Front gables 'slipped position' reduces apparent width of the buildings by pushing and pulling elements of the form
- Breakdown of frontages by dividing linear elements and elevational relief
- Masonry ground floors with lightweight render above/ first floor

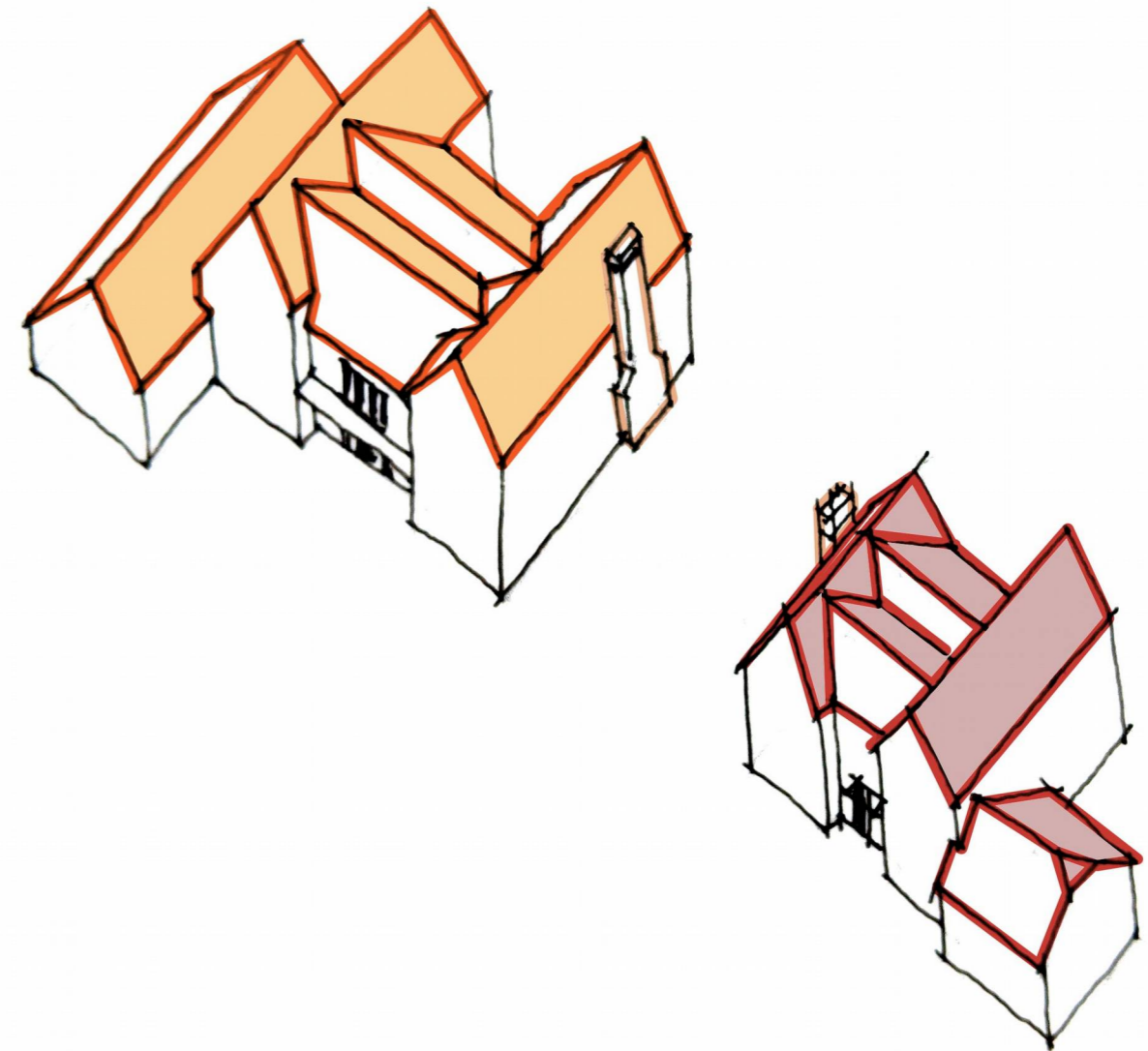


Fig 49 - 2. Roofs

- Varied roof profiles introduce a finer grain
- Break mass up with varying roof forms
- Chimneys add interest and verticality to the design

# Proposal

## Design Concept

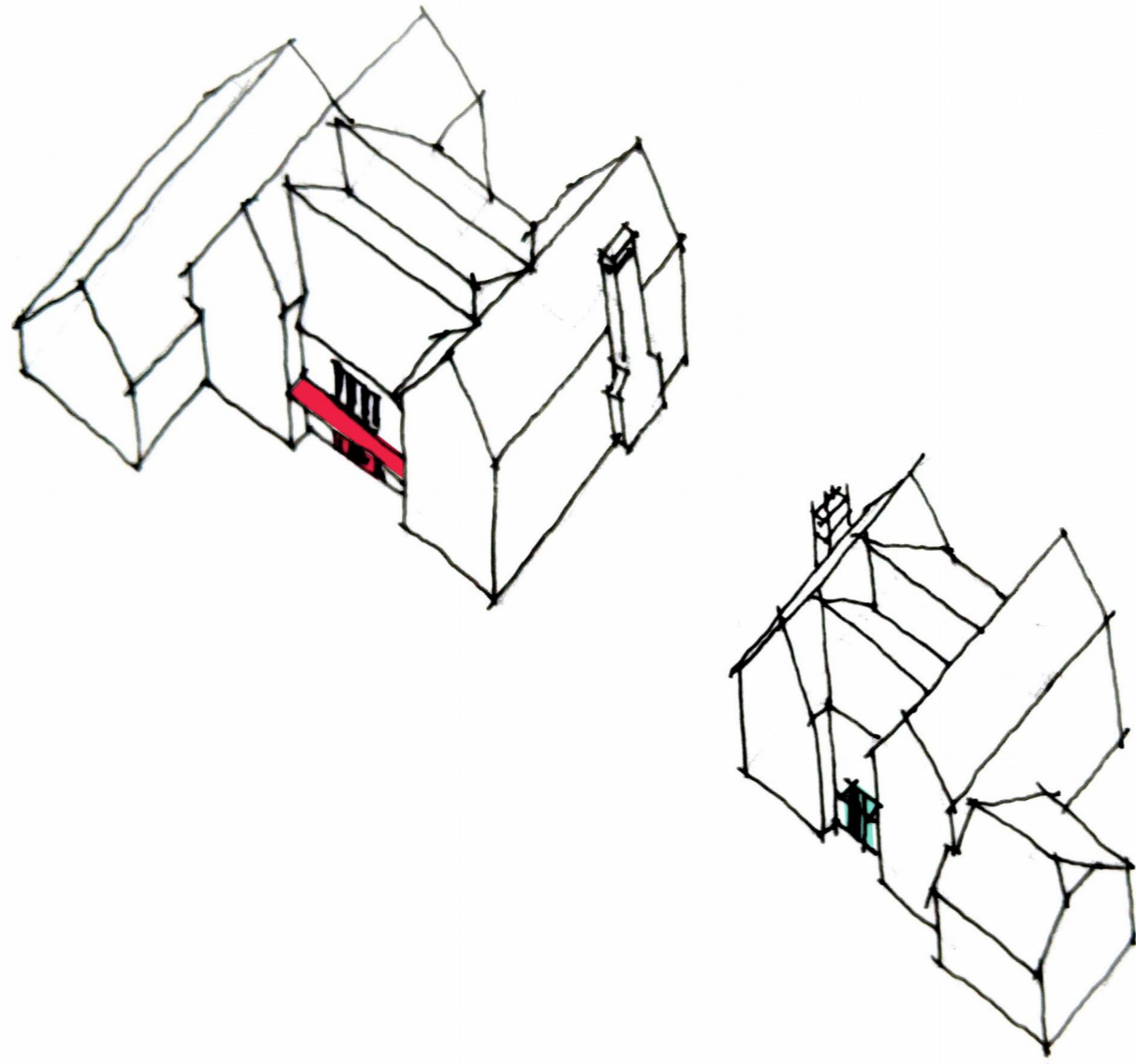


Fig 50 - 3. Main Entrance

- Centrally located main entrance providing symmetry to overall composition
- Entrances with flat canopies as protected cover
- Flush level entrances/ accessibility

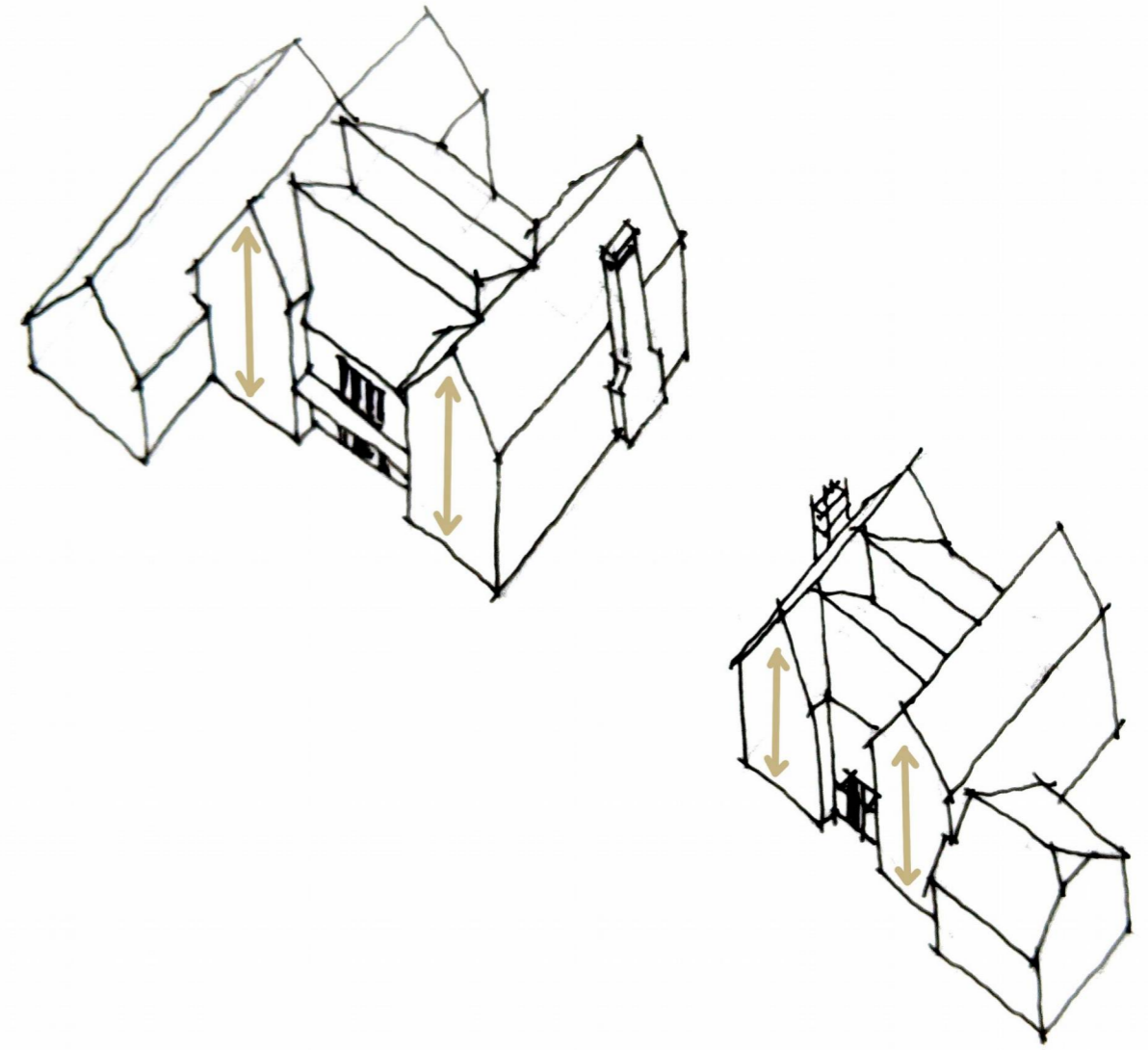


Fig 51- 4. Vertical proportions

- Variation of materials including different brick colours, patterns, textures, render
- Vertical proportion of fenestration – modern vernacular



# Proposal

## Materials & Details

### PLOT 1 - DETAILS

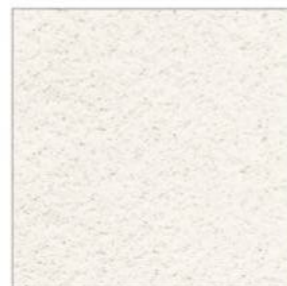
- Front porch – covered entrance
- Gables - order and proportions
- Chimneys – modern vernacular
- Brick plinth and light colour render above
- Simple cast stone window surrounds –modern vernacular
- Dark grey aluminium casement windows – modern vernacular
- Half round black galvanised steel guttering



**BRICKWORK**  
Buff brick plinth and chimney



**ROOF**  
Tiles/ Slates



**RENDER**  
Light colour



**WINDOWS**  
Dark grey aluminium windows



**WINDOW SURROUNDS**  
Cast stone window heads, jambs, and cills



**FEATURE GABLE VENTS**  
Cast stone



**GARAGE DOOR**  
Timber finish sectional door



**FRONT DOOR**  
Solid timber



**GUTTERING**  
Half round black coated galvanised steel gutters and downpipes

Fig 53. DRAWING 2410 304 Rendered Elevation Plot 1 (Extract)



# Proposal

## Materials & Details

### PLOT 2 - DETAILS

- Timber canopy – covered entrance
- Gables - order and proportions
- Chimneys – traditional details
- Brick ground floor and light colour render above
- Brick window heads – traditional details
- White casement windows – traditional details
- Half round black galvanised steel guttering



**BRICKWORK**  
Red brick



**RENDER**  
Light colour



**ROOF TILES**  
Clay



**WINDOWS**  
White casement windows



**WINDOW HEADS**  
Brick lintels



**GARAGE DOOR**  
Timber finish sectional door



**FRONT DOOR**  
Solid timber



**GUTTERING**  
Half round black coated galvanised steel gutters and downpipes

Fig 54. DRAWING 2410 304 Rendered Elevation Plot 2 (Extract)

Details

06



# Details

## Amenity

The proposed green frontages and private amenity spaces provide a substantial green infrastructure together with the retention of the existing landscape features.

The area of soft landscaping at the front of the properties has been increased and enhanced with new planting.

The green spaces are designed to provide attractive visual amenity for residents, to give space for practical use that can be enjoyed, whilst enhancing the appearance and environmental quality of the development.

The proposed amenity space is of high quality and will be planted with nectar rich species that will provide interest all year round.

| PRIVATE AMENITY SPACE | GARDEN DEPTH |
|-----------------------|--------------|
| PLOT 1 = 4,188 sqm    | 57 m         |
| PLOT 2 = 3,010 sqm    | 60 m         |

- Front Garden
- Mature hedges/ landscape
- Private rear gardens
- Permeable paving/ gravel / hardstanding areas



# Details

## Parking Strategy

### PARKING LAYOUT

2no 5 bedroom dwellings – 4no parking spaces/ unit

Proposed EVCP (electric vehicle charging) 2no.

Proposed Passive Charging 2no.





Proposed off-street parking 4no.

TOTAL VEHICLE 8no.

Proposed Cycle Parking 4no.

The development provides ample access and parking which do not, by reason of design or form, adversely affect the quality of the street scene.

The proposed areas of hardstanding do not dominate the appearance of the street frontages or cause harm to the character or appearance of the property or street and will be permeable to mitigate flood risk.

- Passive Electric vehicle charging point 
- Active Electric vehicle charging point (EVCP) 
- Secure cycle parking 
- Garage parking 










## Details

### Refuse Strategy

The development provides adequate refuse storage which does not, by reason of design or form, adversely affect the quality of the street scene.

All bins will be stored in good quality timber bin stores that will also be integrated within the landscape scheme and screened from the street by hedges and soft landscaping.

- Refuse vehicle location 
- Refuse vehicle route 
- Collection point 
- Carry distance householder (less than 30m) 
- Bin store 



# Details

## Sustainability

A Sustainability Statement by Sworders has been submitted with the application but a summary of the proposed measures is provided below:

### ENERGY AND CARBON REDUCTION

- High levels of energy performance through fabric first approach, providing high levels of envelope insulation.
- Adequate energy efficient glazing to provide natural light and ventilation.
- High levels of air tightness to reduce unnecessary heat loss.
- Updated Part L Building Regulations require a 31% reduction in new building emission rates. The proposed development will therefore comply with, if not exceed these rates.
- Solar PV panels are proposed on the roof of both dwellings, along with the provision of air source heat pumps and EV charging.
- All fixed services and fittings will be energy efficient, including low energy lighting. Every attempt will be made to source materials of construction from sustainable sources.

### CLIMATE CHANGE ADAPTATION

- The proposed design ensures adequate natural light and ventilation for all habitable rooms to avoid reliance on artificial lighting or mechanical ventilation.
- In terms of Green Infrastructure, there will be substantial new planting around the site, including trees and hedging to mitigate climate change whilst also significantly improving biodiversity.
- Sustainable drainage and permeable paving will be adopted wherever possible.

### WATER EFFICIENCY

- It is proposed to install water efficient infrastructure within both dwellings to reduce water consumption. This will be limited to 110 litres per head per day to comply with Policy WAT4.

### POLLUTION

- The site lies in a relatively rural location and therefore private vehicles will still be used regularly. However, provision is made for EV charging to encourage use of electric vehicles, along with cycle infrastructure to encourage sustainable transport.

- 

### BIODIVERSITY

- Extensive planting is proposed to enhance biodiversity. This includes tree and hedge planting, along with spring flowering bulbs. Native and wildlife friendly species will be prioritised, with the overall effect being a net gain in biodiversity. Bird and bat boxes can also be provided on site and secured by condition.

### SUSTAINABLE TRANSPORT

- The site is located in a relatively rural location, and therefore opportunities to maximise the use of public transport are limited. EV charging is therefore proposed, along with cycle storage in garages to encourage cycling



Summary

07

## Summary

The proposals seek full planning permission for the demolition of an existing unsustainable dwelling and the erection of 2no detached replacement dwellings and associated landscape and parking.

The site is occupied by a single storey dwelling and large gardens to the north, south and rear, but a number of permissions have been granted provide an additional storey and an additional dwelling in the first floor. The proposed scheme is a carefully designed alternative to those previous applications, that will deliver the same amount of development but with better design quality.

The application site is adjacent to residential properties to the north and south and agricultural fields to the east. To the west of the site is adjacent to the road from which the plot is accessed by two existing vehicular accesses.

All dwellings provide comfortable overall Gross Internal Floor Area (GIA) and a well-designed, flexible and functional layout, with adequately sized rooms in accordance with the London Housing Design Guide. The dwellings also meet Lifetime Homes Standards (now building regulations M4(2)).

The dwellings external design is modern vernacular and is informed by the character of the locality. The scale, bulk and massing respond to the particular characteristics of the site and surroundings.

The external design of each plot adopts a slightly different language, palette of materials and details, providing each dwelling with its own character and individuality, avoiding repetition.

The primary materials are inspired by the character of the locality and are of traditional nature. Plot 1 provides a modern vernacular approach, with brick plinths, flat roof front porch, cast stone window surrounds, rendered elevations, dark grey aluminium windows, slate roofs and chimneys of simple design. Plot 2 is more traditional in its appearance featuring a timber flat roof porch, red brick ground floor and a rendered first floor, clay tiles and traditional brick chimney.

Each dwelling enjoys ample private amenity space. Rear gardens incorporate hedges, wildlife friendly trees and spring bulbs that will promote biodiversity. Mature quality trees within the rear gardens will be retained as far as possible.

The existing vehicular entrances to the site are retained. Each unit has 4no parking spaces, 2no in garages. One Electric Vehicle Charging Point (EVCP) is provided per dwelling. The second parking space will be Passive EVCP. All dwellings are provided with secure cycle storage in the garages and bin stores.

The development proposes many sustainable initiatives that will deliver a high quality scheme. PV panels, highly insulated envelopes, permeable paving and air source heat pumps are amongst some of the measures proposed.

The development is a sensitive, sympathetic and an appropriate design response for the development of the site and will enhance the character of the area.

We hope that the Officers at the Council will share our enthusiasm for this scheme of carefully crafted architecture.

KIRBY COVE ARCHITECTS | KCA

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