

Mark Hinsley

Arboricultural Consultants Ltd.

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Established 1994



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25th November 2016

Mr P Shillaw
Dolphin Holdings (Poole) Ltd
The Park House
75 Parkstone Road
Poole
BH15 2NZ

Dear Sir

TREES AT 6 PINWOOD ROAD, POOLE. BH13 6JS

Brief: Inspect the trees at 6 Pinewood Road, Poole, comment upon their condition, indicate the constraints that they would place upon any new development upon the site and consider the potential impact of the proposed new development on the plan provided.

Date of inspection: 21.11.16.

Inspected by: Mark Hinsley MSc Res Man (Arb). OND(Arb). F.Arbor.A.

Inspection method: Ground level visual; desk top.

Given information: The mature Sycamore is the only tree on site that is the subject of a Tree Preservation Order (TPO).

Desk Top survey: According to the interactive mapping on the Borough of Poole website, 6 Pinewood Road is also standing within a Conservation Area.

The TPO Sycamore (T1): This is a mature specimen that has a trunk diameter at breast height of 690mm, which equates to an initial BS5837:2012 Root Protection Area of radius 8.4m. The canopy spread of the tree is 8m west and east, 6m south and 6.5m north and the canopy clearance is 6m. The tree should have a useful remaining life on the site of over 40 years and its Survey Category is 'A'. The tree does bifurcate at approximately 2m however the fork is wide with no sign of compression or included bark and is therefore regarded as non-threatening to the future reliability of the tree. This is an important amenity feature of this immediate area.

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The Conservation Area: The remainder of the trees and large shrubs are mostly part of mature hedges. There is a young Sycamore to the west of T1 that is multi-stemmed and in a poor condition. There is a clipped Bay in the south-west corner of the site, a holly in the hedge just in front of the existing garage and a topiarised Holm Oak to the south of the existing entrance. None of these items have any significance regarding visual amenity. There is a row of recently planted trees along the rear boundary, none of which are large enough to be protected by the Conservation Area.

Visual amenity: The most important visual feature on of this site other than the TPO tree is the front boundary hedge.

Arboricultural Constraints: Clearly the mature Sycamore is an important feature that must be respected by any new development on this site. The existing solid patio on the southern end of the existing building may give some scope for developing outside the footprint of the bungalow in the space between the dwelling and T1. Despite its lack of statutory protection, we also feel that it is important for the success of any proposal on this site that the front boundary hedge is not compromised.

Some of the young trees along the rear boundary could successfully be retained as screening from what is a fairly unattractive wall on the property to the rear.

Arboricultural Impact Assessment: For the purposes of this assessment we have taken the original supplied drawing and worked it up into a plan on our system. The scale is approximate please check all dimensions on site.

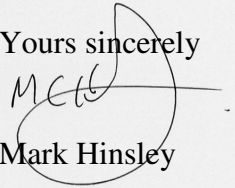
The proposed new building extends to the edge of the existing patio. Above ground this will have no detrimental impact upon T1. The actual encroachment into the RPA of T1 is minimal and acceptable provided that the required foundation trench is the limit of any such encroachment. There can be no new patio, no garden access door or any new services or drainage within the RPA of T1.

The enclosed plan indicates the location of required Tree Protection Barriers to protect the tree during demolition and construction, it also indicates the location of additional ground protection to protect the area of RPA outside the protective fencing. The remainder of the Tree Protection Barriers will be required to protect the existing hedges.

NOTE The Protective Fencing and the additional ground protection will need to be in place prior to any demolition on this site and then maintained in place throughout building operations.

Conclusion: The proposed development could be constructed without detriment to the important Arboricultural features on this site; however, it would be reasonable for the Local Planning Authority to place a condition upon any such approval requiring the production of a detailed Arboricultural Method Statement prior to any works being started.

If you require any further information at this time please do not hesitate to contact us.

Yours sincerely

Mark Hinsley

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