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**Tree Inspection Report for
Maltings Cottage, Malt Close, Laxfield. IP13 8DZ**



Client: Mrs P Maskery
Email: N/A
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Date of Inspection: 14/08/2023

Date of Report: 30/08/2023

Weather at time of inspections: Sunny and Clear

2 Red House Farm Cottage, Pixey Green, Stradbroke Suffolk. IP21 5NJ
Maltings Cottage, Malt Close, Laxfield. IP13 8DZ V1

Arboricultural Consultants:	Treeology Services Ltd
Richard Fox	30 years experience within the Arboricultural industry and a Lantra and NPTC Instructor/Assessor. Lantra Professional Tree Inspector.
Rebecca Rose	20 years experience within the Horticultural industry NVQ3. 8 years within the Arboricultural training industry. Lantra Professional Tree Inspector.

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TREEOLOGY
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Appendix A: Site map of trees relating to the detailed tree survey report

Appendix B: Detailed tree survey report



1. Aim

To undertake a Visual Tree Assessment Survey at Maltings Cottage, Malt Close, Laxfield. IP13 8DZ. The site consists of a grassed area with 7 trees.

There are 4 main reasons for undertaking a tree survey:

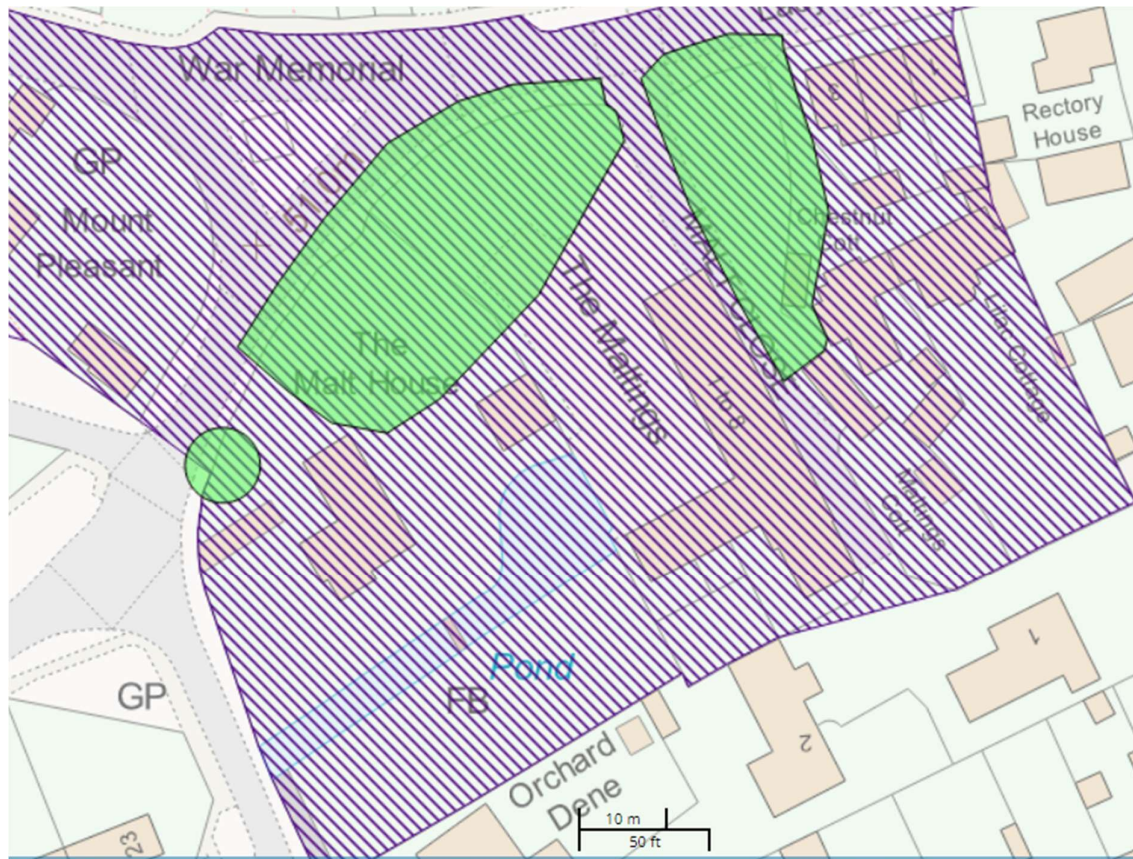
1. To provide documented evidence that a property owner/occupier is complying with their legal obligations to provide an adequate duty of care for visitors and users of the property.
2. To reduce the risk of harm to people or property to as low as possible by managing the trees effectively.
3. Provide a plan to aid budgeting and allocation of resources.
4. To identify tree defects and recommend remedies to extend the life of the tree and preserve the natural amenity and wildlife habitats provided by them.

2. Inspection methodology

2.1 Tree inspections were made from ground level with non-invasive methods and tools. A hammer test was used when deemed necessary to test the base and stem of the trees, to check for difference in sound to indicate any cavity areas. A probe was used where necessary to inspect cavity depths or topsoil area of the base of the trees. Heights were measured using a clinometer.

3. Local Authority Tree Constraints

- Maltings Cottage falls under Mid Suffolk Council jurisdiction. Information gained from their website confirms that the site is in a designated Conservation Area.
- The site is subject to an area Tree Preservation Order. Reference Mid Suffolk Council TPO number MS42/G1. For any of the recommended works to be carried out prior permission must be sort from Mid Suffolk Council.
- Enquires on the DEFRA 'MAGIC' website confirms the site is not within a Site of Special Scientific Interest



Mid Suffolk Council conservation area and TPO map of Maltings Cottage, Laxfield.

4. Survey Key

Additional notes of survey:

All trees on the site have been plotted and inspected. Any recommendations for individual or groups of trees have been recorded on the tree survey report. Each tree has been recorded with the following information.

- **Tree ID** – The individual numbering system that has been given to the tree or group of trees for identification reference to the survey details and map provided with the survey.
- **Tree Species** – Tree identification for individual tree species for the purpose of the survey.



- **Age Class** – The tree/trees will be given an age class rating based on the reference and description as below:

NP – Newly Planted

Y – Young, in 1/3rd stage of life

SM – Semi-Mature, 2/3rd stage of life

M – Mature, 3/3rd stage of life

OM – Over Mature, 4/3rd stage of life

D – Dead tree

- **Height** – Recorded with a clinometer in meters
- **Diameter** – Measured with a diameter tape in millimetres
- **Crown spread** – Measured in meters at the widest point
- **Physical Condition** – The health and structure of the tree
- **Notes/Observations** – Any comments from the inspections from the survey will be detailed and additional referencing to further documentation within the report will be given if deemed necessary
- **Recommendations** – Any tree work recommendations, further investigations or other relevant recommendations will be commented on in this section
- **Priority** – If required a time frame will be given in this section for any of the recommendations and recorded as follows:

Priority Rating	Description
Critical	Recommendations to be completed as soon as possible to avoid an immediate hazard
High	Recommendations to be completed within 3 months of report to avoid significant hazard
Medium	Recommendations to be completed within 6 months of the report to avoid hazard
Low	Recommendations to be completed within 12 or 24 months (as specified in the detailed tree survey report) of report to avoid low level hazard



- **Next survey** – If required a date will be specified in this section for the recommended date of the next survey. Where a recommendation for a tree is to be removed there will be no survey date.
- **Tree Tags** - For identification purposes trees in the survey can be identified by a small, numbered tag placed visibly on the tree usually to the side for aesthetic reasons.

5. Limitations:

Whilst the findings have been noted on my visual inspections it should be added that in some circumstances **such as extreme weather conditions, no tree can be considered to be safe and, in these conditions, would make any findings in the survey invalid.** It is also recommended that following any extreme weather circumstances to the site within this report that the areas and trees should be resurveyed due to any potential hazards or issues that may have occurred from the extreme weather.

Should there be a change to the surrounding site environment, then the current results will be invalid, and it is recommended that a new survey is undertaken.

If trees have been noted to have Ivy growing on them then a visual inspection is only clear to what is possible to see at the time of inspection and any defects may be visually impaired by the masking of the Ivy. Whilst Ivy acts as an important source of habitat, in amenity areas and for survey purposes it may be best to be removed or cut at the base of the tree for future management and assessment.

Old wounds or cavities found at the base, main stem or branches of the trees may have been noted if able to spot from visual inspection and condition of them are only given to the opinion of the tree assessor if stated.

Findings/Comments from inspection:

- 7 trees on site were surveyed.
- 0 trees in the survey have recommendations categorised with critical priority.
- 0 trees in the survey have recommendations categorised with high priority.
- 0 trees in the survey have recommendations categorised with medium priority.
- 6 trees in the survey have recommendations categorised in the low priority as referenced in Appendix B

FINDINGS:

The grassed area is situated on the entrance to the Maltings. The trees on site are subject to a 1980 area TPO, REF: MS42/G1 covering 4 Limes, 2 Horse Chestnut and 1 Beech. The Beech tree has been previously removed. Remaining are 4 Limes and 2 Horse Chestnuts both of which have had previous works through TPO applications.

- T1 is a Lime pollard with a major cavity North side from basal area up to 1m with decay extending deep into the stem creating a hollow area. Hammer test gave hollow resonance from basal area up to approximately 2.5m. The tree is situated at the entrance to the site and is within falling distance of the road and entrance driveway. Due to the location and extent of decay this tree is recommended for removal.



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- T2 and 3 are Lime pollards. The original pollard height is 5m, works carried out after reduced them to 10m therefore now have unmanaged growth on old pollard point. Various areas of the original pollard point are showing signs of cavities and decay. T2 has apical dieback with major dead wood and a cavity South side at 4m. T3 has a cavity East at 5m and a failed secondary stem, this tree is also showing early signs of apical dieback. Recommendation for both trees is to re pollard to original pollard height of 5m. There is limited space within the area, this will allow for future growth and development of the trees and enable a future maintenance regime.



- T4 Horse Chestnut (Height:18m) bifurcates at 2.5m, this tree has previously been reduced. There is major deadwood throughout the crown. There is a cavity West @ 12m showing signs of decay. Visual signs of apical dieback in the canopy. The tree is located 3.8m from the boundary fence with neighbouring properties on the other side. Recommendation would be to reduce limbs past cavities, remove major deadwood and balance crown to shape to allow for future growth, development and light and shading to neighbouring trees and properties.



- T5 Horse Chestnut situated on the Eastern edge of the plot growing within the hedge line. The tree is predominately weighted East towards the neighbouring properties. There are major cavities and decayed areas on the South limb 4m and 6m from old pruning wounds. The basal cavity North side was sound with hammer test, the South West basal cavity probed to 20cm. There is an area of bark inclusion West side of stem from basal area up to 2.5m. The tree has previously been reduced some years ago but would benefit from a 20% reduction of the canopy to reduce stress on the area of bark inclusion and removal of the South limb with cavity back to stem to reduce risk of failure over neighbouring properties and driveway.



- T7 is a Lime pollard situated on the entrance to the grassed area in close proximity to outbuildings, wall, access driveway and Maltings Cottage. Again, this tree has an original pollard height of 5m and then a pollard at 10m. Due to the location there is limited space and high target area. Recommendation to re pollard to original 5m pollard point to allow for future growth.

All recommendations within this report are subject to gaining permission from Mid Suffolk Council. All works should be carried out by a qualified arborist and in line with BS3998:2010 Tree Work Recommendations.

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