



# DESIGN AND ACCESS STATEMENT

The Old Bakery, Church Street, Upton Grey, RG25 2RA

## Abstract

Supporting documentation relating to:

- (1) the erection of a new stud wall and doorway to create enlarged rear entranceway and boot room
- (2) removal of garden terraces and construction of a new retaining wall to create enlarged sunken patio

## Introduction

The Old Bakery is a Grade II listed property located within the Upton Grey Conservation Area. The property is accessed from the front, off Church Street, and from the rear which currently opens into a tight entranceway. There is a long family room adjacent to the rear entranceway which is awkwardly proportioned. The proposal is to erect a new stud wall and doorway within the family room to create an enlarged rear entranceway to include a boot room.

There is hard standing at the rear of the property with terraced beds and steps leading up to a lawned area. The proposal includes the removal of the terraced beds and construction of a new retaining wall in line with the top of the existing terrace to create an enlarged sunken patio / outdoor seating area. The existing steps will be relocated against the outbuilding for access to the lawned area. The areas of patio under the existing terraced beds will be infilled with reclaimed red brick pavers.

The application also includes the repointing of the existing outbuilding to the rear and southern external elevation of the main house. The pointing on the outbuilding is in very poor condition and will be repointed using lime mortar and in accordance with Historic England's Repointing Brick and Stone Walls: Guidelines for Best Practice. The outbuilding will remain unpainted. The paint on the southern elevation of the main house is in poor condition and has blown in parts. The proposal is to remove the old paint to reveal the condition of the wall beneath. The wall will then be repointed if required (and as mentioned above) before being repainted using a breathable paint to match the existing colour.

## Contextual Exterior Photographs

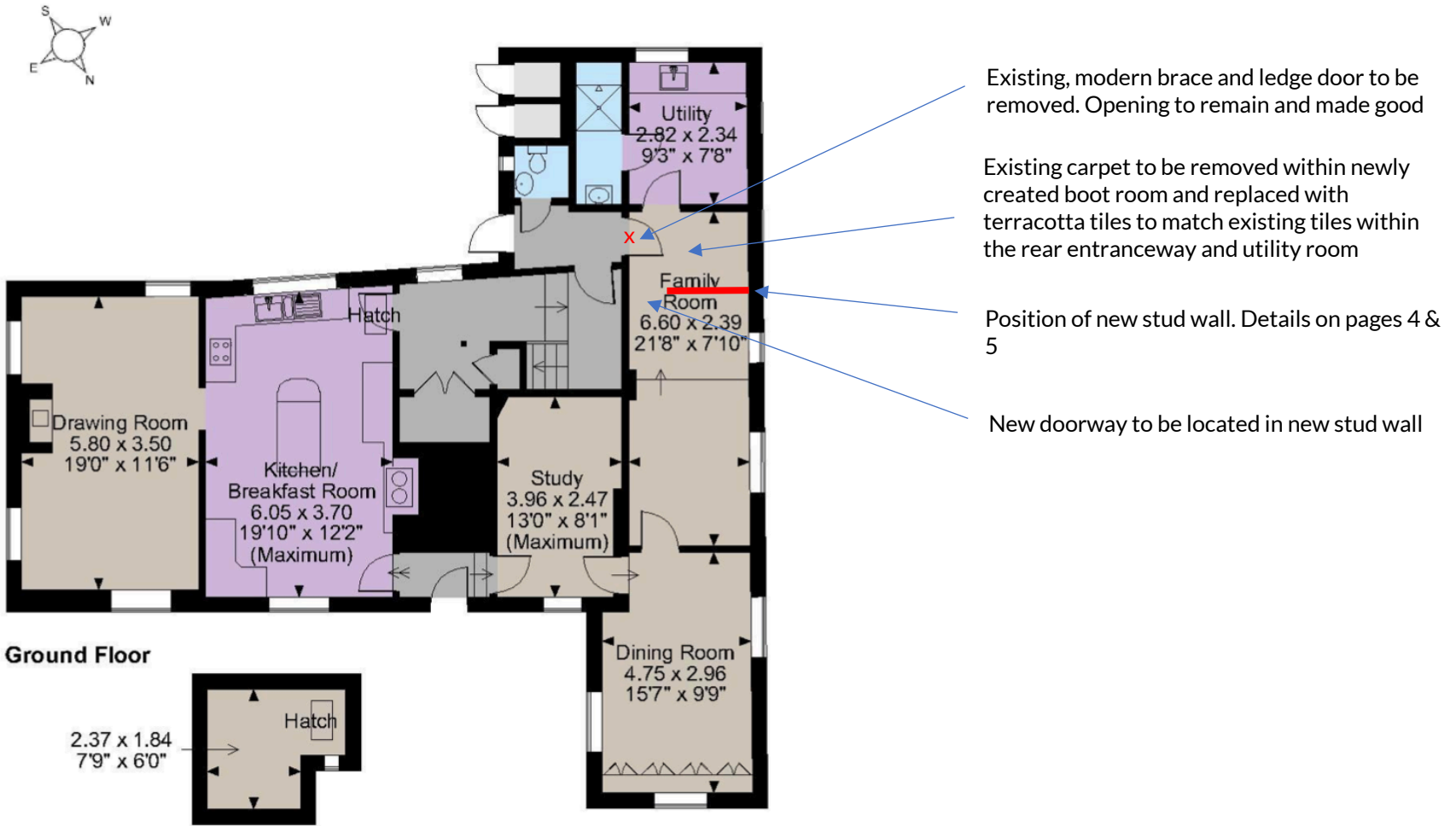
The Old Bakery from Church Street



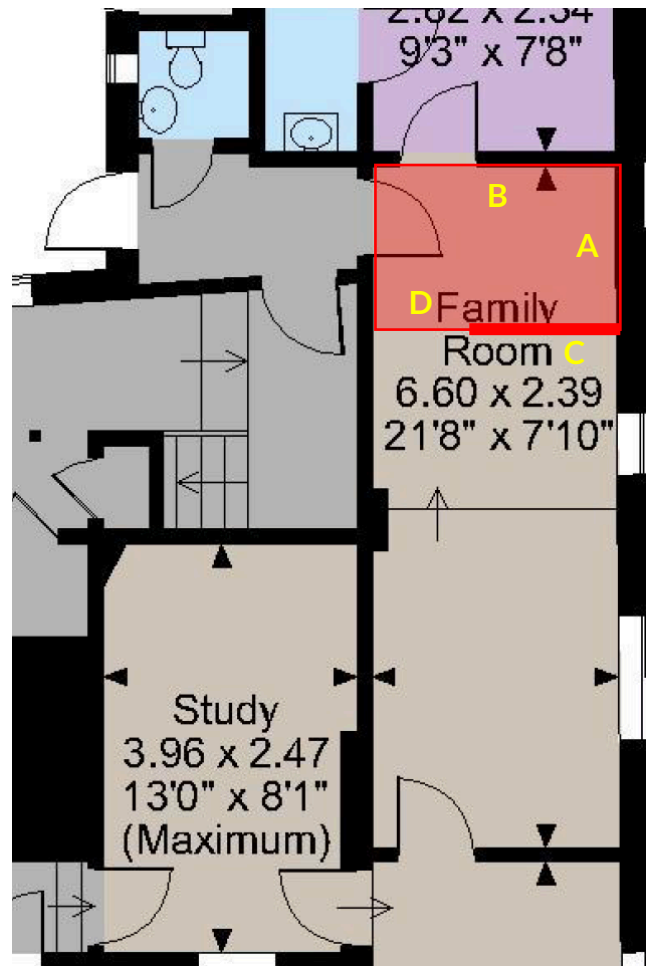
The Old Bakery from rear



# Floor Plan with Reference to New Stud Wall



## Dimensions of New Boot Room



### DIMENSIONS

#### Existing Family Room:

6.60m x 2.39m

#### New Boot Room (shaded red):

- (A) 1.77m x (B) 2.39m
- (C) 1.51m (length of new wall)
- (D) 0.88m (width of new door)

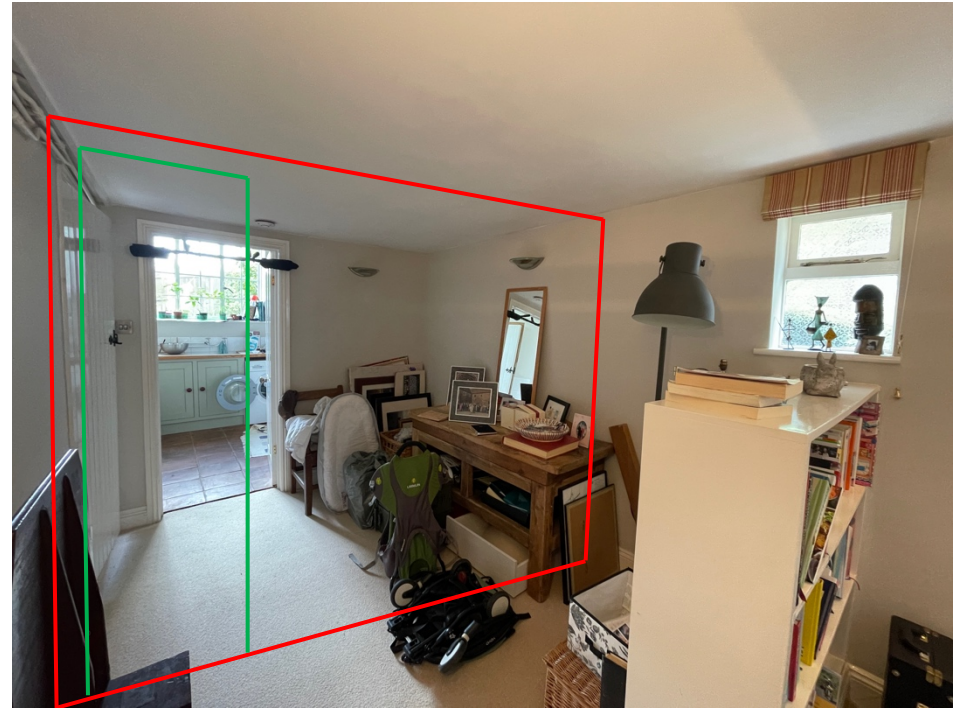


## Interior Photos of Family Room



Existing ledge and brace door to be removed. Opening to remain and reveal made good

Carpet in newly created boot room/rear hallway to be removed and replaced with terracotta floor tiles to match the utility room and existing rear entranceway



Location of new stud wall, shown in red, reducing the size of the family room and creating an enlarged rear entrance and boot room. Location of new shaker style door shown in green.



Photo taken from family room looking through to rear entrance way. Existing internal door in photo to be removed but opening to remain

### **Proposed Construction Details for New Stud Wall**

The new dividing wall will be of classic timber frame construction using 2x4 softwood studs, set on 400mm centre. The bottom plate will be fixed to the floor and the top plate will be fixed to the existing rafters. Both sides will be fixed to the wall with 4-inch screws used for the fixing points. The timber frame wall will have horizontal noggins on a height of 1200mm to give extra rigidity. The wall will be closed off with 9.5mm plasterboard. The plasterboard will be fixed with 3.5 x 32mm plasterboard screws.

The new door located in the new stud wall will be a wooden shaker style door painted white to match the existing doors throughout the rest of the ground floor of the property. The existing ledge and brace door to be disposed of.

The carpet in the newly formed boot room/rear hallway will be tiled using terracotta floor tiles to match the existing flooring in the utility room and existing rear entranceway.



## Exterior Photos of Existing Patio and Terraces



Garden terraces to be removed and replaced with new retaining wall in line with the edge of lawn and the top of the existing terrace (yellow line). Garden steps to be relocated against the outbuilding. Newly revealed area of patio beneath existing terraces to be laid with old reclaimed red brick pavers. Construction details on page 9.

## Construction Details for Proposed Hard Landscaping

- Dismantle & remove existing, modern steps to lawn area by hand and/or mechanical breaker as required and remove waste from site
- Excavate existing, modern raised and tiered brick borders by hand and remove waste from site
- Dig out ground area exposed by removal of steps and borders to a depth of 100-125mm and remove waste
- Backfill excavated areas with scalpings and compress with a plate compactor
- Bed reclaimed red bricks into a mortar bed and point to finish
- Rebuild steps to same dimensions as original but relocated against wall of adjacent outbuilding (as per Dynamic Garden design) and utilising a new, bespoke cast iron handrail
- Excavate a small area of the existing lawn and subsoil to accommodate new retaining wall, approximately 900mm high (as per plans) and remove waste
- Install a concrete foundation for the new wall, incorporating reinforcing bars
- Lay heavy duty hollow, concrete blocks to create retaining section of wall so that reinforcing bars are placed inside the voids
- Backfill voids with wet-flow concrete, allowing for drainage points to remove any build- up of ground water behind wall
- Lay brick facing to wall using older, reclaimed bricks to blend in with age of the property (to be tied into concrete, retaining section of wall)
- Top off with soldier course of bricks to hide concrete blocks



## Repointing of Outbuilding and Southern Elevation of the Main House



Photos showing the poor condition of the existing pointing to the rear outbuilding.



The southern elevation requiring repointing and decorating

The outbuilding requiring repointing