



SUPPORTING DOCUMENTATION

The Old Bakery, Church Street, Upton Grey, RG25 2RA

Abstract

Supporting documentation relating to:

- (1) the erection of a new stud wall with doorway and removal of existing doorway
- (2) removal of garden terraces and construction of a new retaining wall

Jeremy Tudor

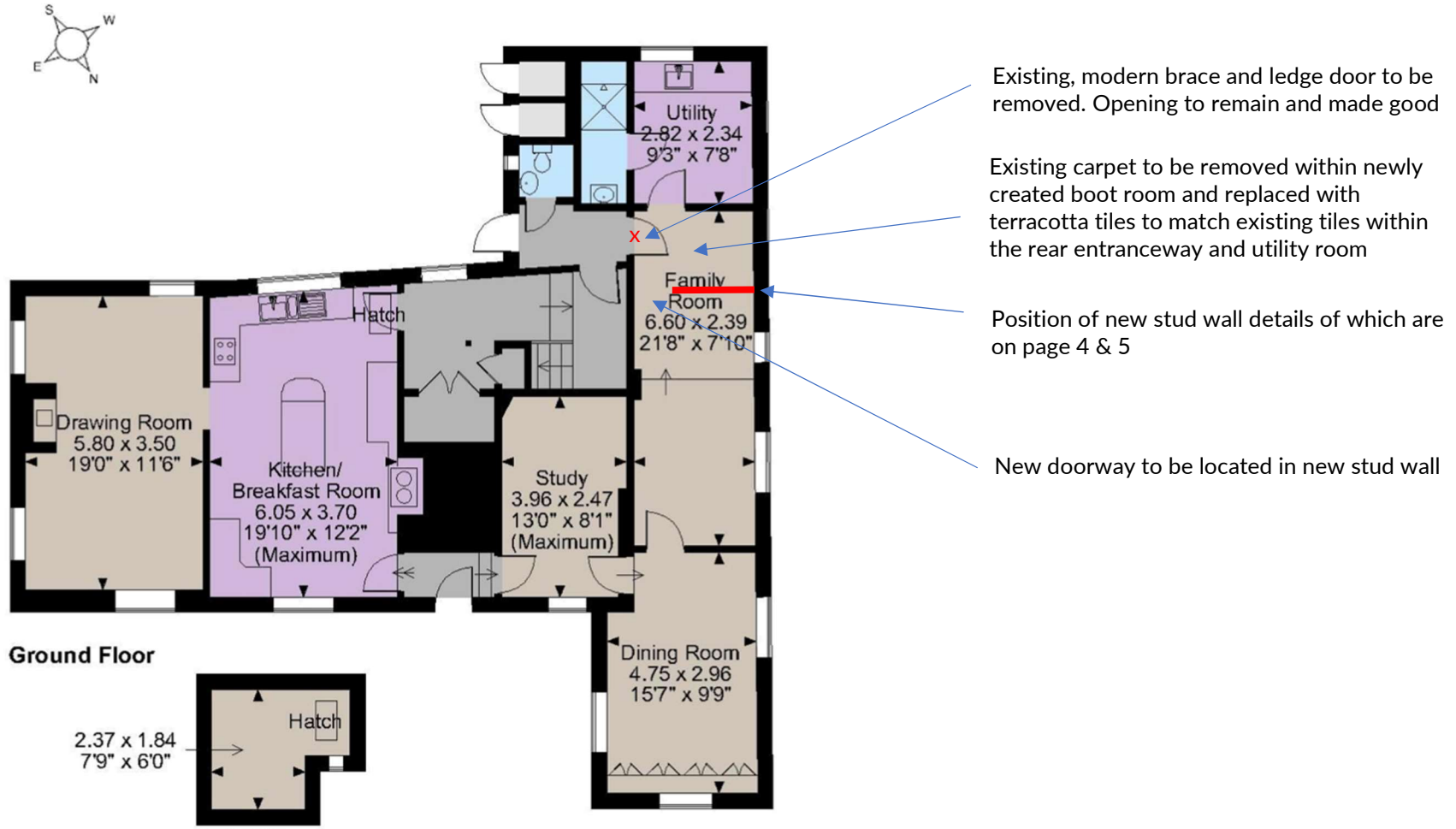
j.tud@hotmail.com

1. Introduction

The Old Bakery is a Grade II listed property located within the Upton Grey Conservation Area. The property is primarily accessed through the door to rear of the property which currently opens into a tight entranceway. There is a long family room adjacent to the rear entranceway which is awkwardly proportioned. The proposal is to erect a stud wall within the family room and relocate an existing door to create an enlarged rear entranceway to include a boot room.

There is hard standing at the rear of the property with terraced beds and steps leading up to a lawned area. The proposal includes the removal of the terraced beds and construction of a new retaining wall in line with the top of the existing terrace to create an enlarged patio / outdoor seating area. The existing steps will be relocated against the outhouse for access to the lawned area. The areas of patio under the existing terraced beds will be infilled with reclaimed red brick pavers.

2. Floor Plan with Reference



3. Contextual Exterior Photographs

The Old Bakery from Church Street



The Old Bakery from rear

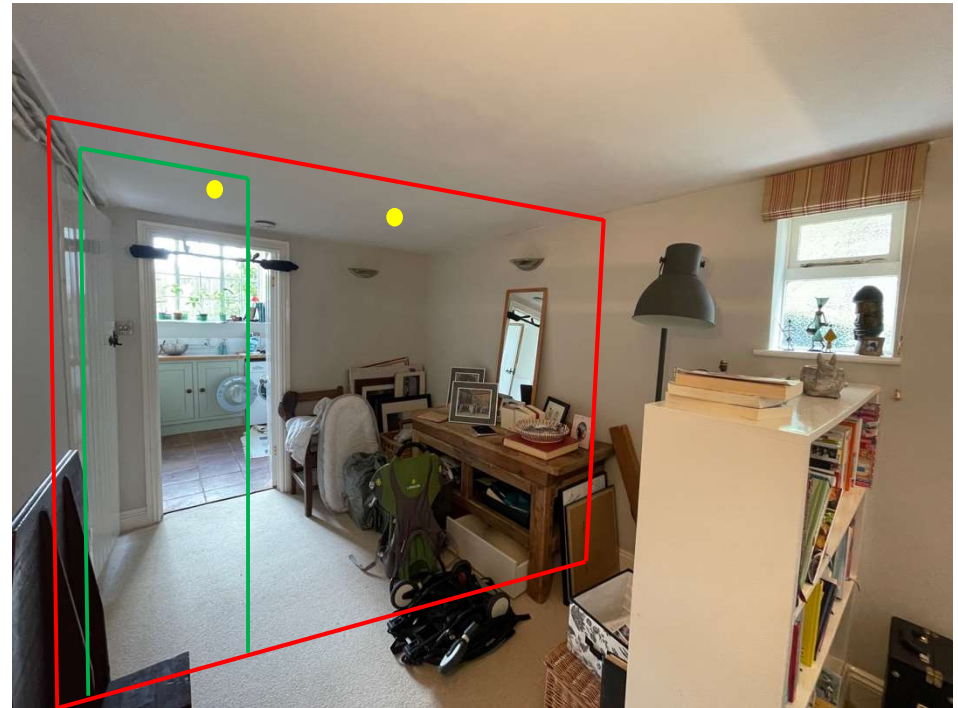


4. Interior Photos of Family Room



Existing door to be removed.
Doorway to remain and reveal
made good

Carpet in newly created boot
room/rear hallway to be removed
and replaced with terracotta floor
tiles to match the utility room and
existing rear entranceway



Location of new stud wall, shown in red,
reducing the size of the family room and
creating an enlarged rear entrance and boot
room. Location of new door shown in green
and location of 2x new downlights in yellow



Existing rear entrance way standing in doorway to be removed and view towards rear entrance door. Removal of existing ceiling light and Installation of 2x new downlights as shown in yellow

5. Proposed Construction Details for New Stud Wall

The new dividing wall will be of classic timber frame construction using 2x4 softwood studs, set on 400mm centre. The bottom plate will be fixed to the floor and the top plate will be fixed to the existing rafters. Both sides will be fixed to the wall with 4-inch screws used for the fixing points. The timber frame wall will have horizontal noggins on a height of 1200mm to give extra rigidity. The wall will be closed off with 9.5mm plasterboard. The plasterboard will be fixed with 3.5 x 32mm plasterboard screws.

The new doorway within the new stud wall will have wooden architrave in keeping with the property

The carpet in the newly formed boot room/rear hallway will be tiled using terracotta floor tiles to match the existing flooring in the utility room and existing rear entranceway.

6. Exterior Photos of Existing



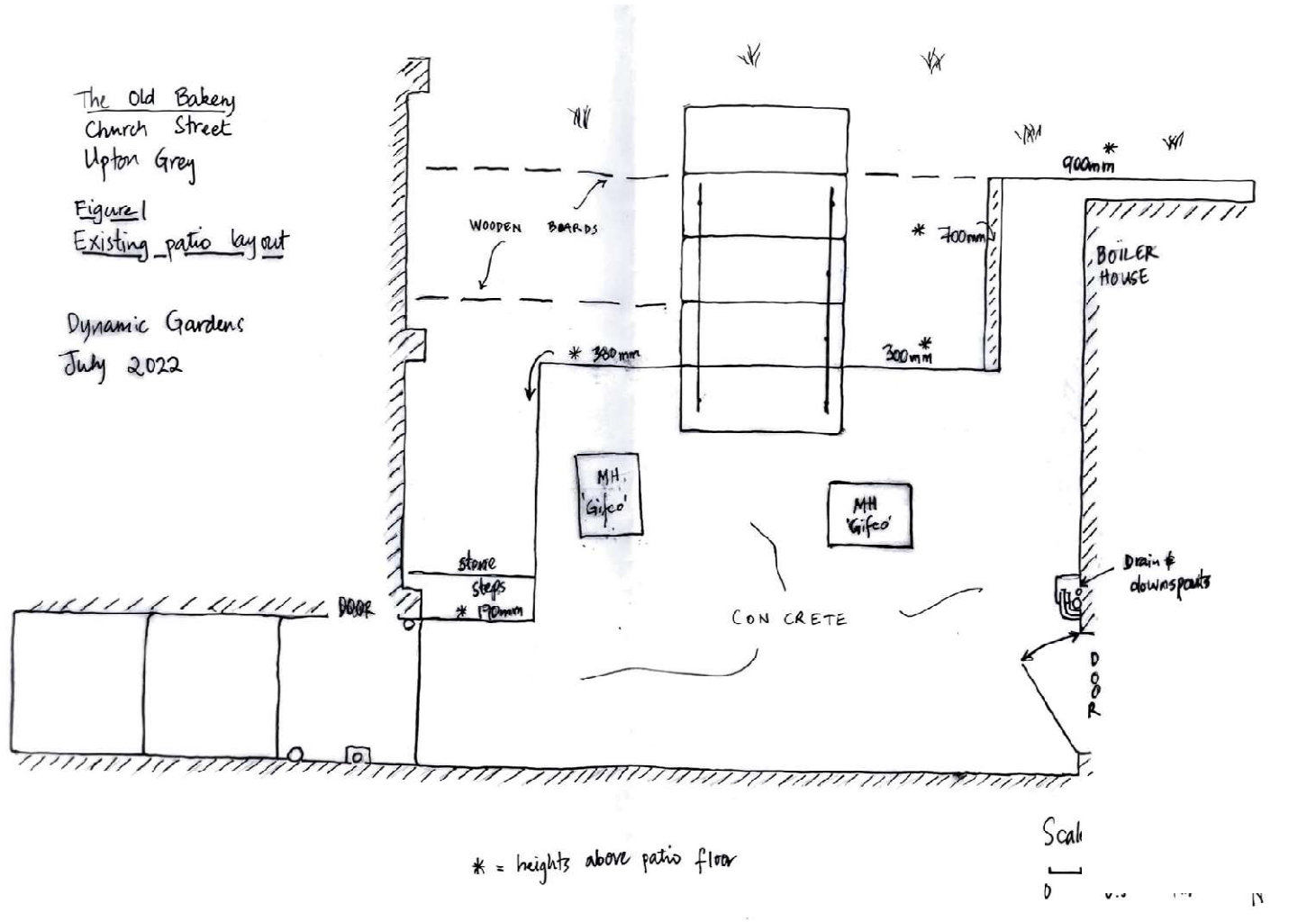
Garden terraces to be removed and replaced with new retaining wall in line with the edge of lawn and the top of the existing terrace (yellow line). Garden steps to be relocated against the outbuilding. Newly revealed area of patio beneath existing terraces to be laid with old reclaimed red brick pavers. Plans and construction details on pages 7, 8

7. Existing Plan of Rear Terraces and Steps

The Old Bakery
Church Street
Upton Grey

Figure 1
Existing patio layout

Dynamic Gardens
July 2022

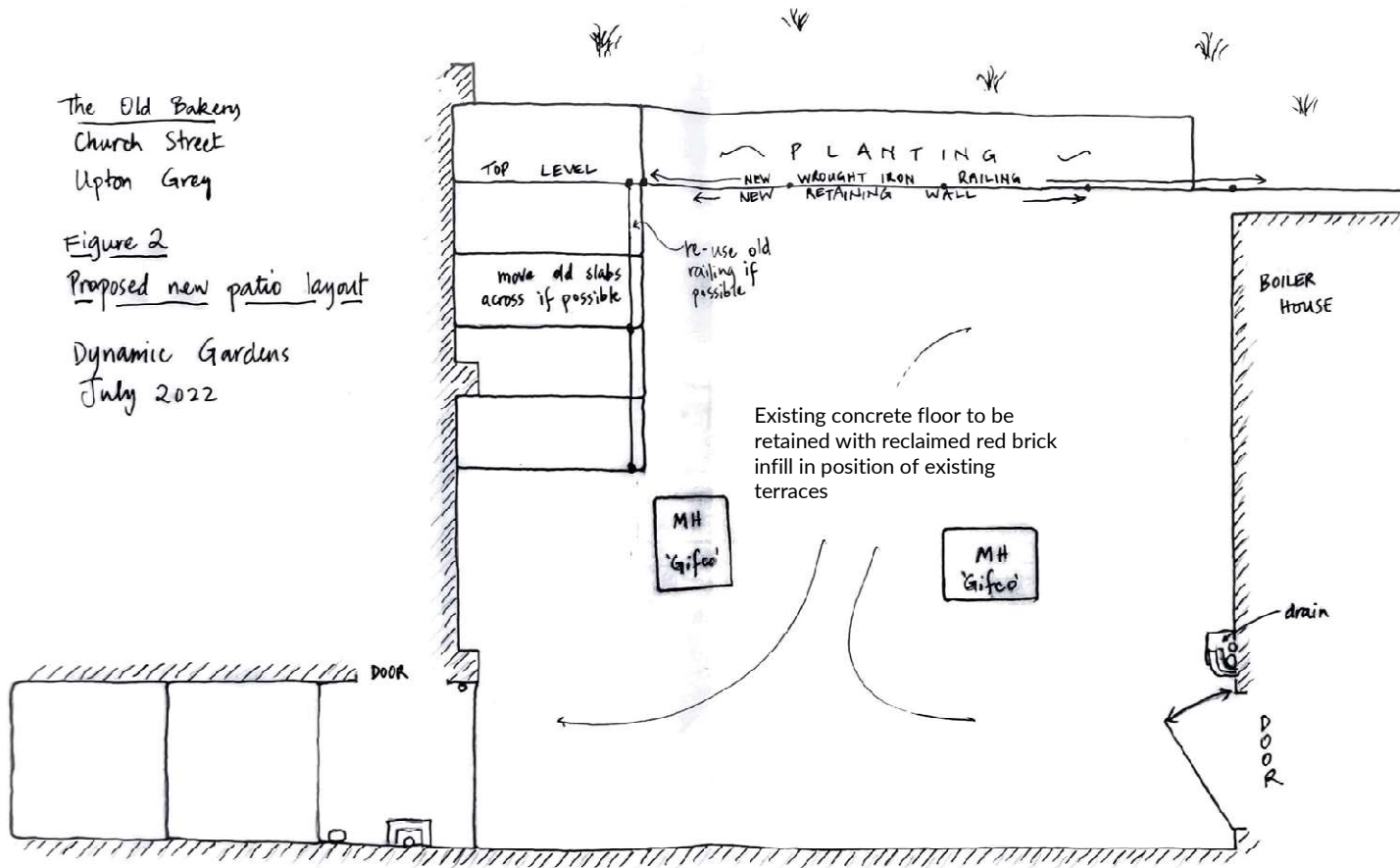


8. Proposed Plan for Rear Patio Area and Steps

The Old Bakery
Church Street
Upton Grey

Figure 2
Proposed new patio layout

Dynamic Gardens
July 2022



9. Construction Details for Proposed Hard Landscaping

- Dismantle & remove existing, modern steps to lawn area by hand and/or mechanical breaker as required and remove waste from site
- Excavate existing, modern raised and tiered brick borders by hand and remove waste from site
- Dig out ground area exposed by removal of steps and borders to a depth of 100-125mm and remove waste
- Backfill excavated areas with scalpings and compress with a plate compactor
- Bed reclaimed red bricks into a mortar bed and point to finish
- Rebuild steps to same dimensions as original but relocated against wall of adjacent outbuilding (as per Dynamic Garden design) and utilising a new, bespoke cast iron handrail
- Excavate a small area of the existing lawn and subsoil to accommodate new retaining wall, approximately 900mm high (as per plans) and remove waste
- Install a concrete foundation for the new wall, incorporating reinforcing bars
- Lay heavy duty hollow, concrete blocks to create retaining section of wall so that reinforcing bars are placed inside the voids
- Backfill voids with wet-flow concrete, allowing for drainage points to remove any build- up of ground water behind wall
- Lay brick facing to wall using older, reclaimed bricks to blend in with age of the property (to be tied into concrete, retaining section of wall)
- Top off with soldier course of bricks to hide concrete blocks