



Ongoing building works - November 2023

0.0 Location:

109 High Street,
Eton,
Windsor
Berkshire

0.1 Client:

Mr R Jagdev

0.2 Introduction:

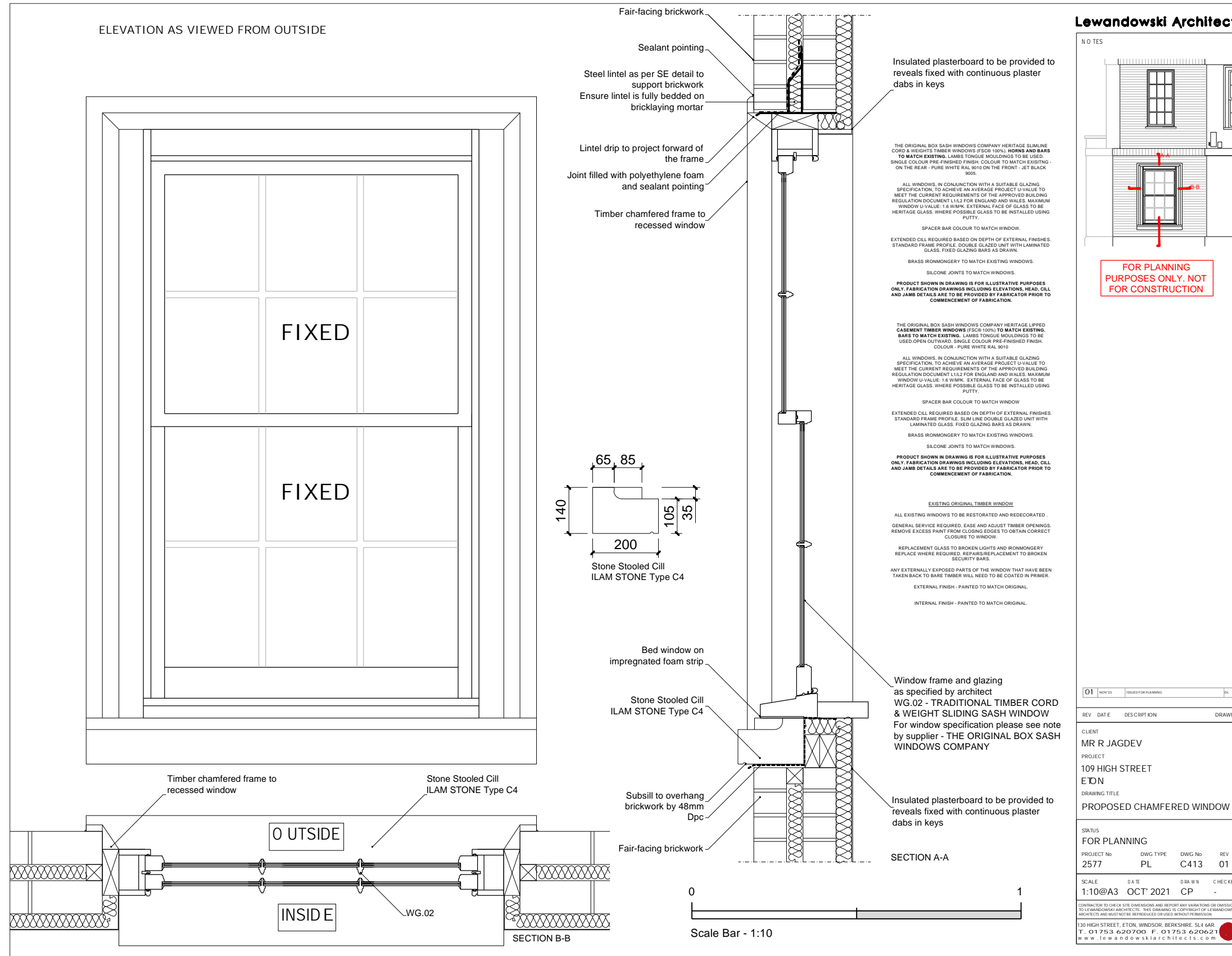
This application has been submitted to regularise elements approved and implemented under multiple approvals.

Building works are ongoing on site and not yet complete. As well as 'existing' drawings of the property prior to works commencing we have also included a full set of the most recently approved drawings.

The most recent approved scheme was amended during the application process after consultation with the conservation officer. The approved drawings submitted reflect the changes that were made, but the drawings included in the DAS at the end of this document were as submitted and prior to consultation.

The purpose of this submission is to tidy up the front window detail and the increase in height of the Jubilee Garden wall that was originally approved (and implemented via applications 17/02461/LBC and 17/02460/FULL, but later omitted from applications 21/02368/LBC and 21/02367/FULL.

The drawings submitted with this new application also includes details and information that was previously agreed under condition.



0.3 High Street Window:

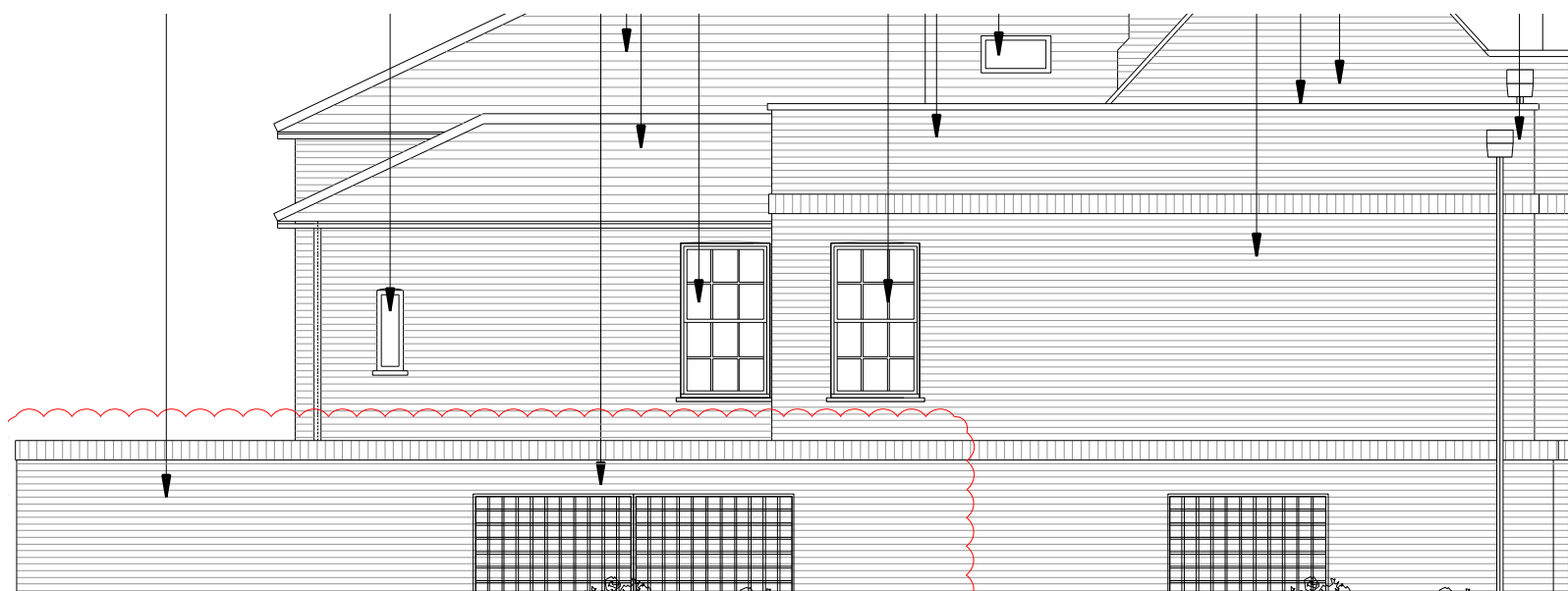
Via an application to discharge the relevant conditions the new windows for the approved scheme were agreed, but the proposed chamfer detail around the ground floor High Street Window was not agreed.

In this application we have included a detail that we are looking to seek approval for.

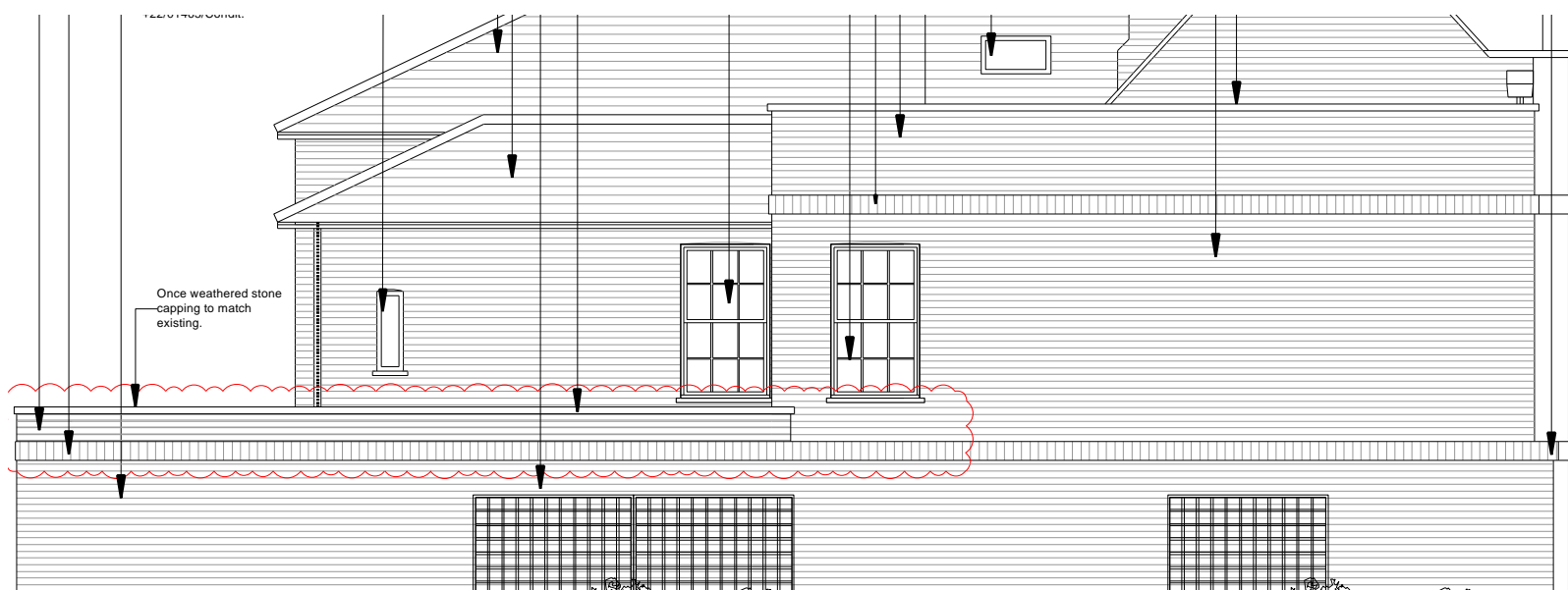
The detail maintains the approved window specification, but adds a painted timber chamfer and surround.



17/02461/LBC and 17/02460/FULL - Approved Elevation



21/02368/LBC and 21/02367/FULL - Approved Elevation



New Application - Combined Elevation

0.4 Increased Height of Jubilee Garden Wall:

The approval granted under applications 17/02461/LBC and 17/02460/FULL, allowed for the Jubilee Garden wall to be rebuilt. The proposed wall had a step in it at the end of the proposed two storey extension and the height of the wall from this point was increased in height to ensure adequate floor to ceiling height could be achieved behind the wall.

All pre commencement conditions for application 17/02461/LBC and 17/02460/FULL were discharged and works were implemented prior to the permission expiring.

Applications 21/02368/LBC and 21/02367/FULL were later approved with the existing Jubilee wall being retained and the additional height at the rear removed from the approved drawings.

The additional height is required to ensure appropriate floor to ceiling heights can be accommodated behind and this application seeks to regularise this matter under one approval.

The material specification and details for the works are in line with those approved under condition discharge and the response provide by the conservation officer, Roderick McDonald dated 6th October 2021 during applications 21/02368/LBC and 21/02367/FULL.

APPROVED DESIGN AND ACCESS STATEMENT FOR APPLICATIONS:

REF. NO: 21/02367/FULL

REF. NO:21/02368/LBC



Aerial Photograph of Site



Existing Photos

1.0 Location:

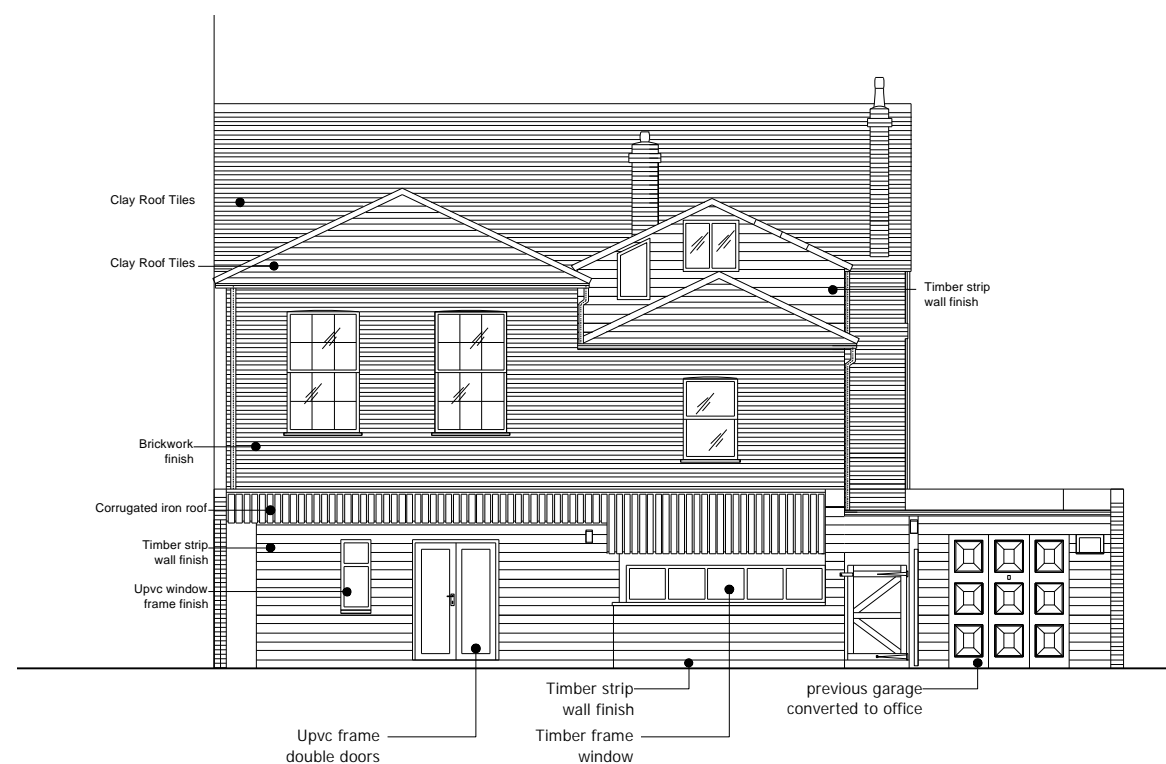
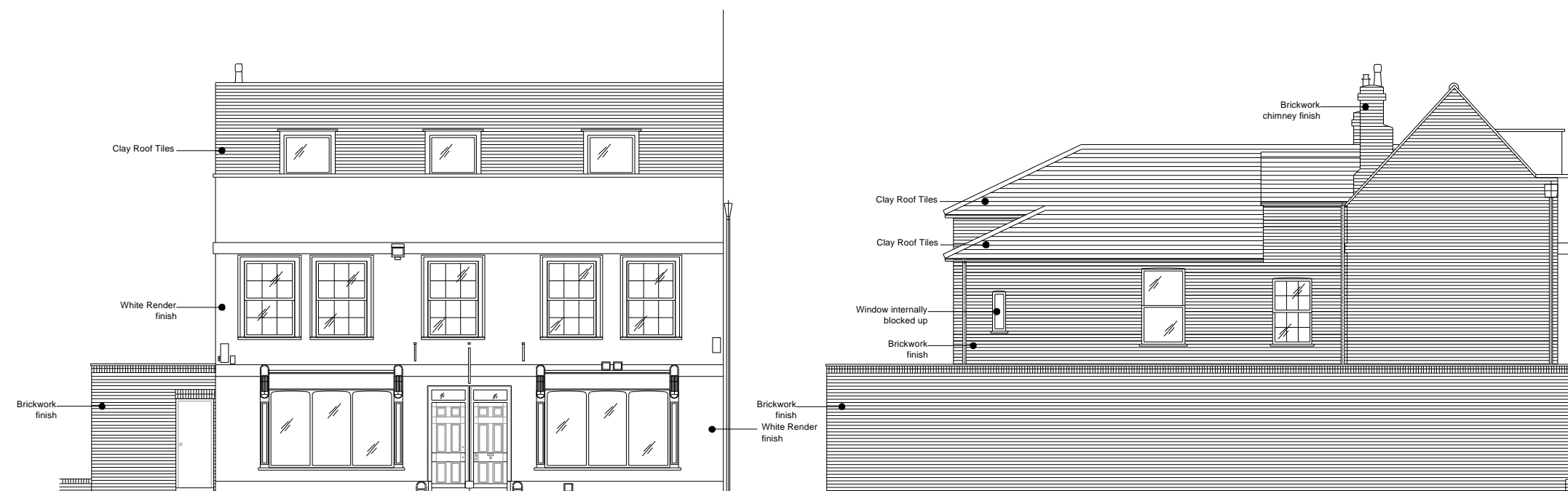
109 High Street,
Eton,
Windsor
Berkshire

1.1 Client:

Mr R Jagdev

1.2 Introduction:

This Design and Access Statement has been prepared by Lewandowski Architects to accompany a full Listed Building planning application to carry out internal and external refurbishment and associated works to the original building at 109 High Street, Eton, including the demolition of non-original extensions to the original building and the construction of new single storey extensions.



Existing Elevations

2.0 Use/History:

The existing is A2 (Financial and Professional Services) and residential. In the past few years, the commercial unit has been vacant.

Below are the listing details for the original building at 109 High Street.

- Name - 109 High Street
- List Entry Number - 1211419
- Location - 109 High Street, Eton, Windsor, SL4 6AN
- Grade - II
- Date Listed - 14 May 1973

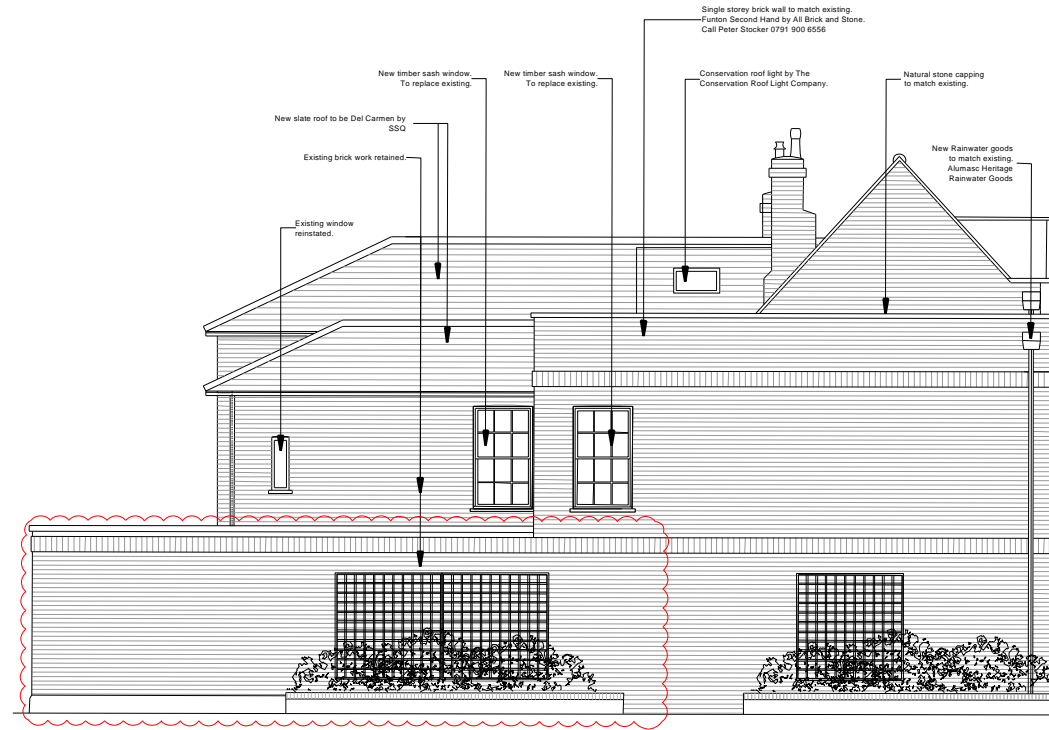
Early C19 re-fronting of earlier house. Stucco. 2 storeys and attics, 5 double-hung sashes in architraves with sills. C19 ground floor shop fronts, 2 6-panel doors with fanlights. Bands at floor levels, parapet, old tile roof, 3 box dormers.

-Listing NGR - SU9665377495

-National Grid Reference - SU 96658 77492

There has been one previous consideration related to the development of this site.

- Full Planning Application & Listed Building Consent (17/02460/FULL & 17/02461/LBC). The Part change of use of ground floor from A2 (Financial and Professional Services) to residential; part single, part two-storey side and rear extensions following the demolition of existing additions. Both these applications were approved, and subsequent conditions discharged, the Client has started to implement these approvals.



Proposed Elevations

AREAS OF CHANGE FROM THE PREVIOUSLY APPROVED APPLICATION

The proposed scheme develops the previously approved application, re-configuring the ground and first floor to better suit the Client's intended end-users and minimize the distribution to the neighbouring Jubilee Gardens by retaining the ground floor wall.

Other internal changes across the building are proposed, such as exposing the timber trusses on the second floor, replacing existing skirting and architraves and chasing in existing electrical cables and piping.

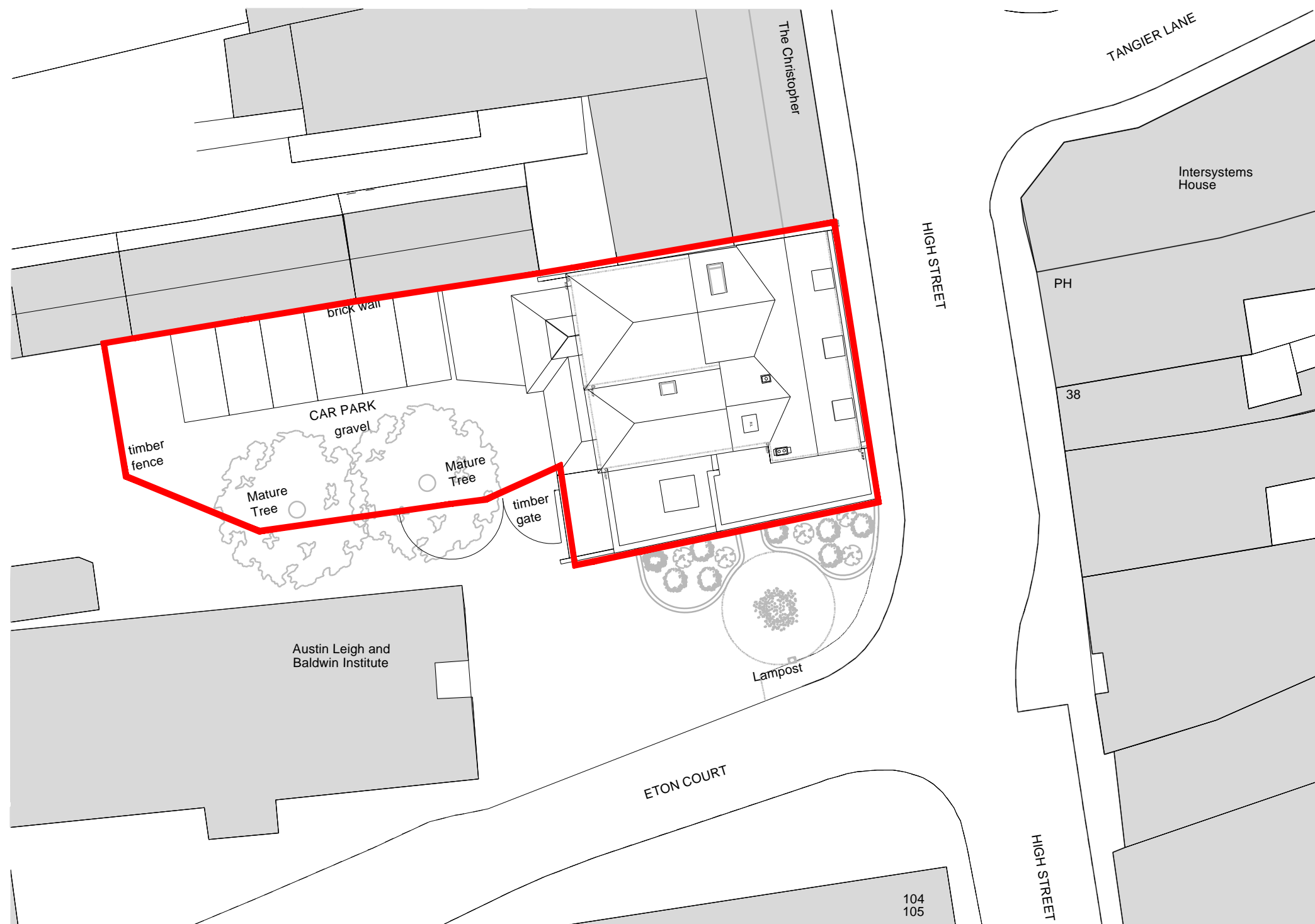
3.0 Appearance

The proposal uses the approved external aesthetics of the previous application. Sample panels for the proposed materials have already been submitted and approved by the Local Authority.

In summary, the east elevation of the extension has been designed to match the existing street elevation. The façades will be finished in a facing brick and the windows will be timber to match the existing. Protruding brick header bands and a stone capping will echo the existing building details.

On the first floor, the south elevation walls will also be finished in the same facing brick. This was designed to allow the front (east) elevation to wrap around the corner of the building. This was something local community groups, the ETC and the local authority Conservation Officers have been supportive of in the past and it also references other existing corner treatments in Eton High Street.

To the rear (west) the single storey elevations will also be in brick to match the south elevation. Timber sash windows and French doors are proposed to continue the traditional architectural style.



Proposed Site Plan

0m 2m 4m 6m 8m

4.0 Number: _____

The application seeks to keep to the previously approved number of commercial and residential units but alter their layouts to better suit the suggested end-users.

5.0 Site Layout:

The ground floor layout has been redesigned to better suit the suggested end-users. The commercial unit is accessed via the street frontage whilst both residential units will be accessed via the rear.

Both residential units will be accessed via the rear car park. Careful consideration has been paid to the principles set out in the 'Secure by Design' guidance. Car parking spaces are visible from all angles whilst the glazing into the entrance provides the occupants with enhanced visibility into the rear car park. The external landscaping and gates further separate the public and private realms whilst offering security to the occupants of the new units.

Each residential unit has generous sized living areas on the ground floor, with a varying number of bedrooms on the upper floors. All bedrooms have an en-suite bathroom and both residential units have ground floor WCs.

6.0 Scale: _____

The extensions in this proposal is no different to that of the previously approved application. The Client has no intention of changing the external scale of the previously approved application, merely adjusting the internal layout to better suit the suggested end-user.



7.0 Landscaping

As per the previous application, this application seeks to retain the 2no. mature trees. These will be unaffected by the development.

Bin and cycle stores will be provided as required within the car park and the communal entrance to the residential units.

8.0 Access:

Access to the ground floor commercial unit will remain as existing. Currently, there is a front entrance door on the High Street side of the building which will be retained for this use.

Both residential units will have entrances to the rear of the building accessed via the car park.

The existing car park to the rear of the property will be retained and will be shared between the commercial and residential units.

Access to the car park will remain via Eton Court.

6 No. Car parking spaces are proposed in total.

9.0 Sustainability

Every effort will be made during the detailed design and construction of the proposal to reduce negative impact on the environment and promote the health and comfort of the building's occupants, thereby improving building performance. Our basic objective will be to reduce the consumption of non-renewable resources, minimise waste, and create healthy, productive environments.

Low energy lighting will be used throughout, both inside and outside.

Adequate facilities will be provided for construction-related waste including segregated bins for refuse and recycling.



The use of renewable technologies and reduced energy consumption techniques will be carefully reviewed and considered further.

10.0 Conclusion

This application seeks to carry out internal and external refurbishment and associated works to the original building at 109 High Street, Eton, including the demolition of non-original extensions to the original building and a single storey first-floor extension. The existing Listed Building is internally and externally in need of maintenance, refurbishment and repairs.

This proposal differs from the previous application as we are retaining the party wall with Jubilee Gardens (previously approved for demolition). Instead of demolishing this wall and rebuilding from the ground up, this application seeks to retain the wall and building above.

The proposals in this application has been carefully considered to sit sympathetically within its context whilst respecting the Listed Building. The materiality, detailing and scale of the proposal has been carefully chosen to be in keeping with the local vernacular and existing Listed Building.

The proposed development looks to rationalize the internal layout whilst remaining in line with the previously approved application.

The development aims to assist with the local demand for well proportioned, carefully considered commercial units and family housing.