

**baron+baron architects**

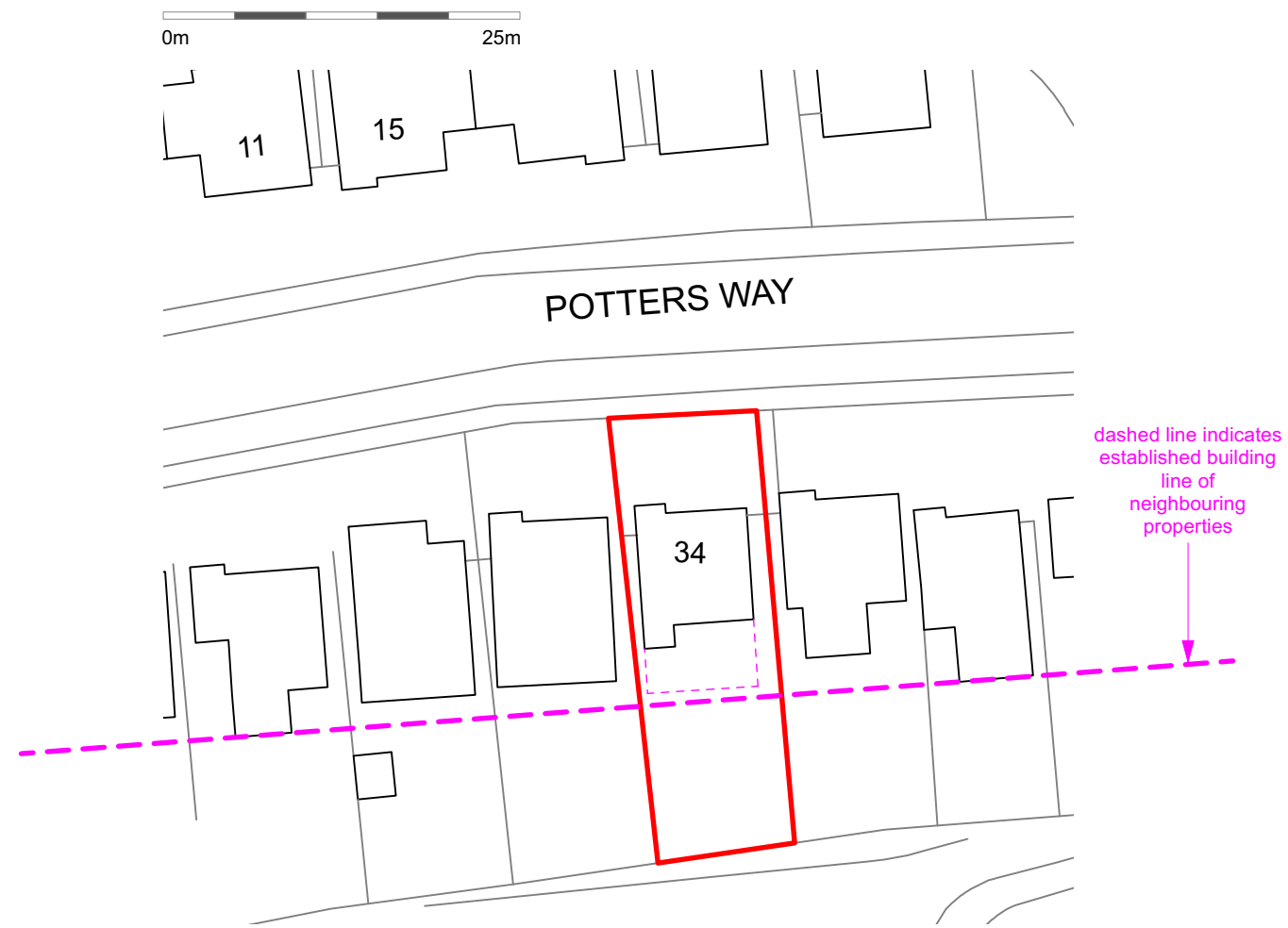
baronandbaronarchitects.co.uk | 01202 611445 | studio@baronandbaronarchitects.co.uk

planning design - 17.11.2023

**34 potters way, poole**




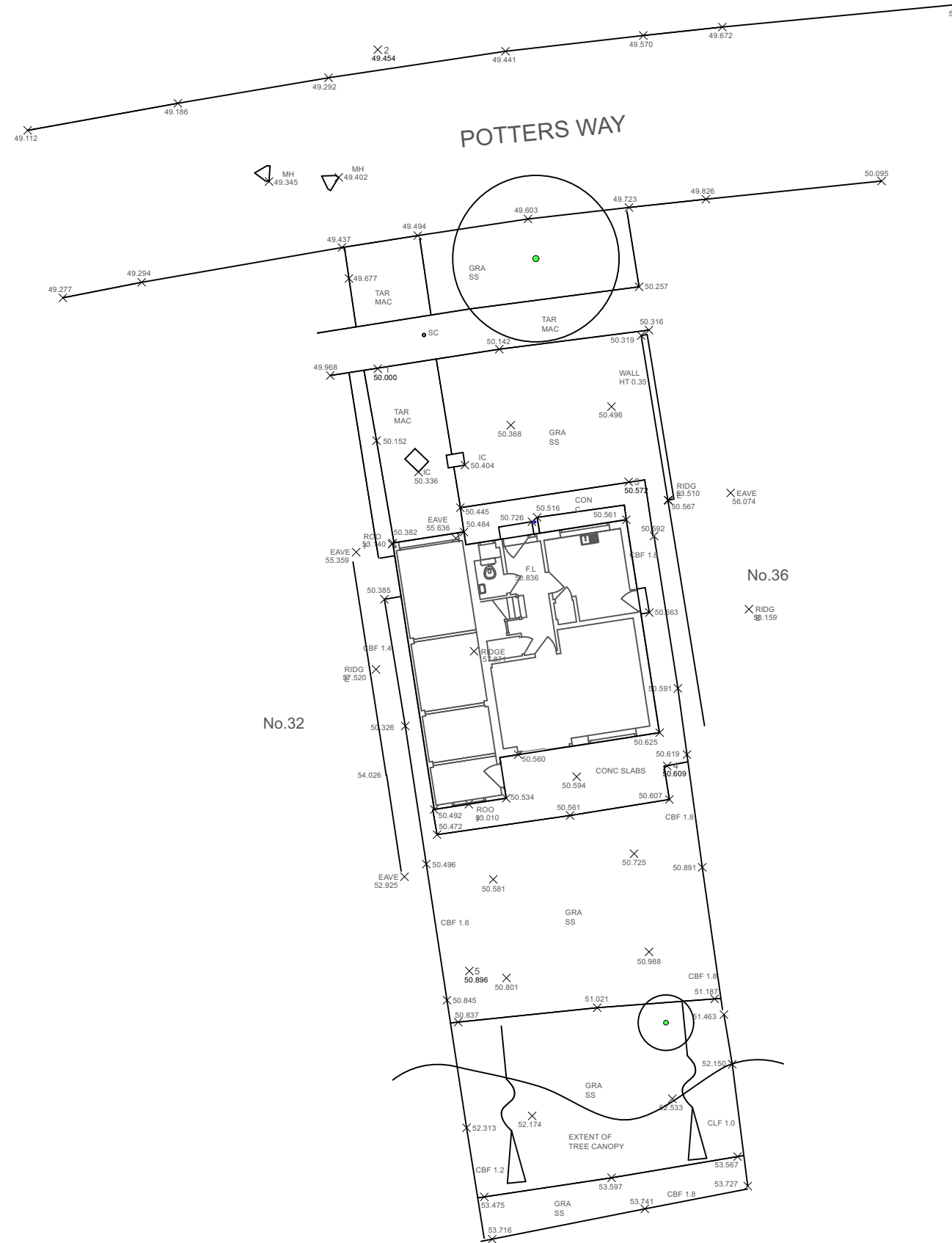
site location plan 1\_1250 @a3



site block plan 1\_500 @a3

dashed line indicates established building line of neighbouring properties

key  
 planning application area



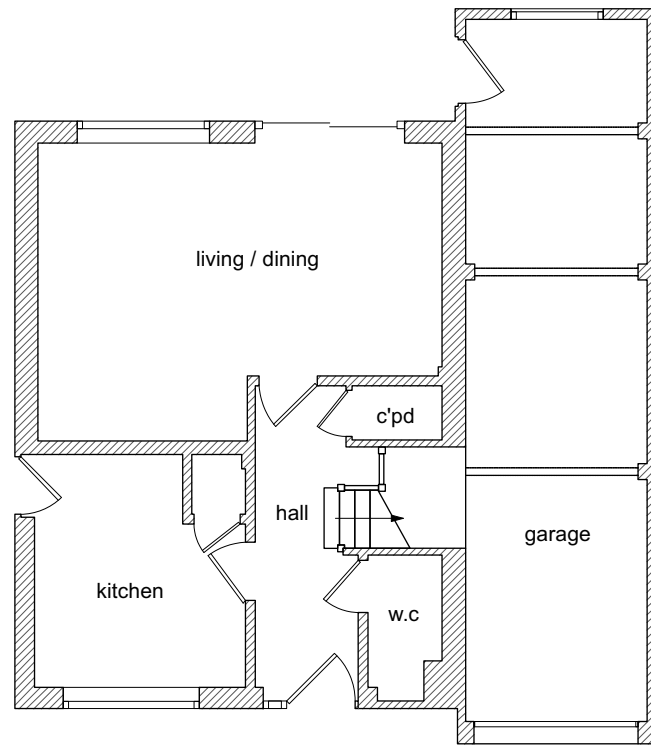
- Do not scale from drawing.
- Report any discrepancies to the drawing originator (**Planet Surveying Company Ltd**) in writing and upon discovery.
- All existing levels, measurements and setting out to be site checked and verified by main contractor prior to fabrication of any steelwork.
- Trees positions, canopy spread and species are to be confirmed by an arboriculturalist.

**NOTE: SURVEY PREPARED BY PLANET SURVEYING COMPANY LTD (PROJECT REF. PS-23-32)**

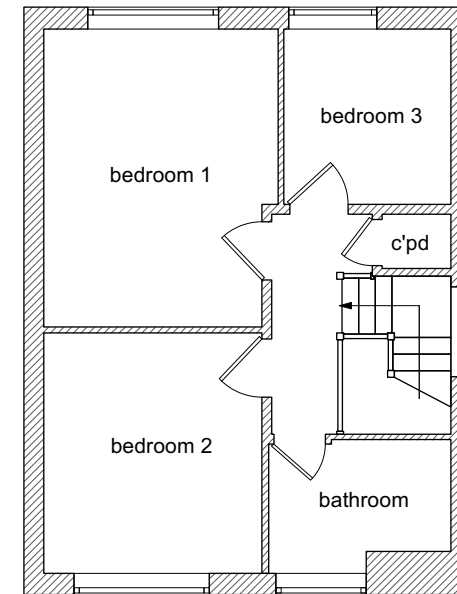


please refer to supporting  
landscape design for full details  
on garden proposals

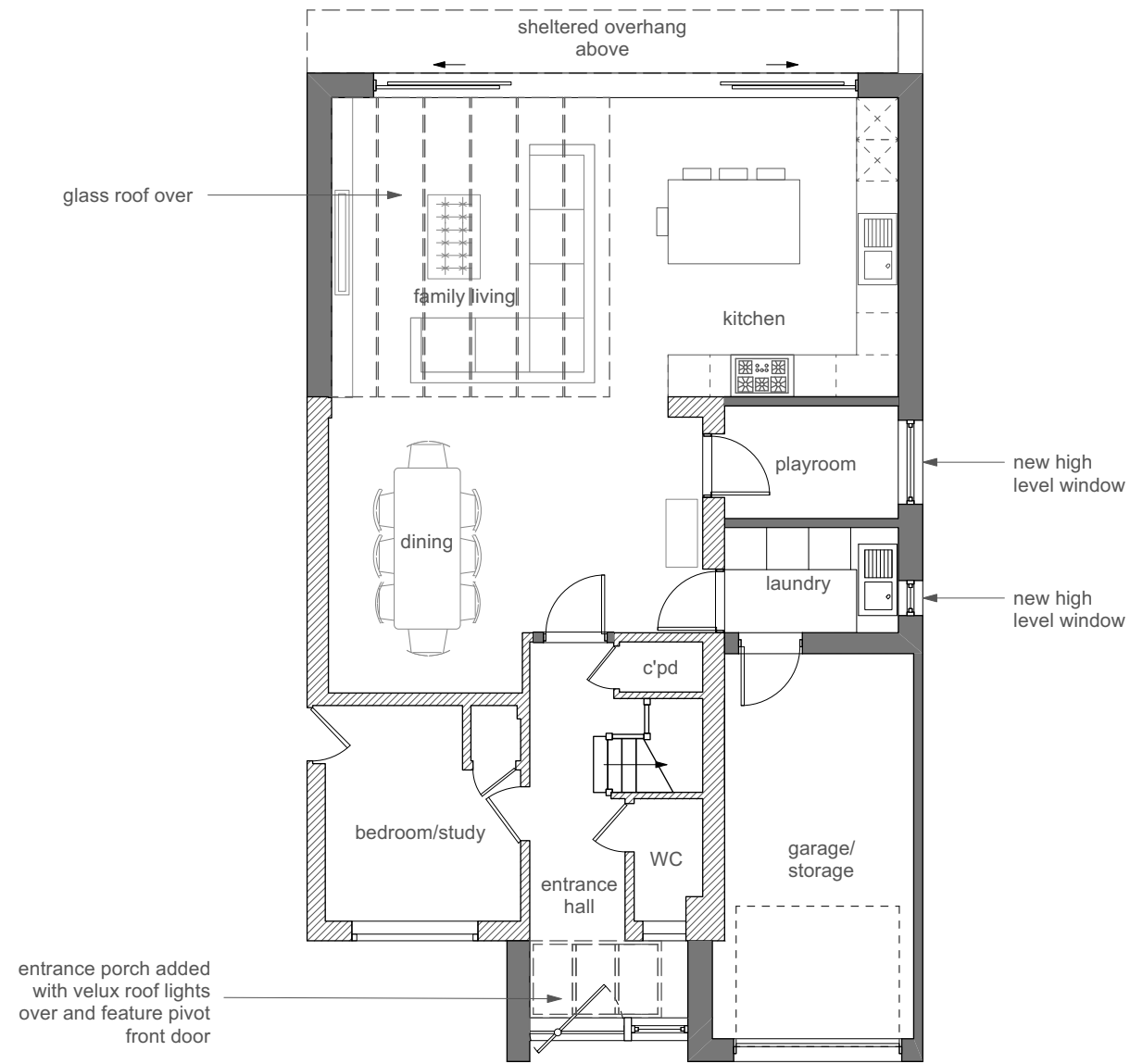
tree canopy shown indicatively  
(trees on neighbouring site)



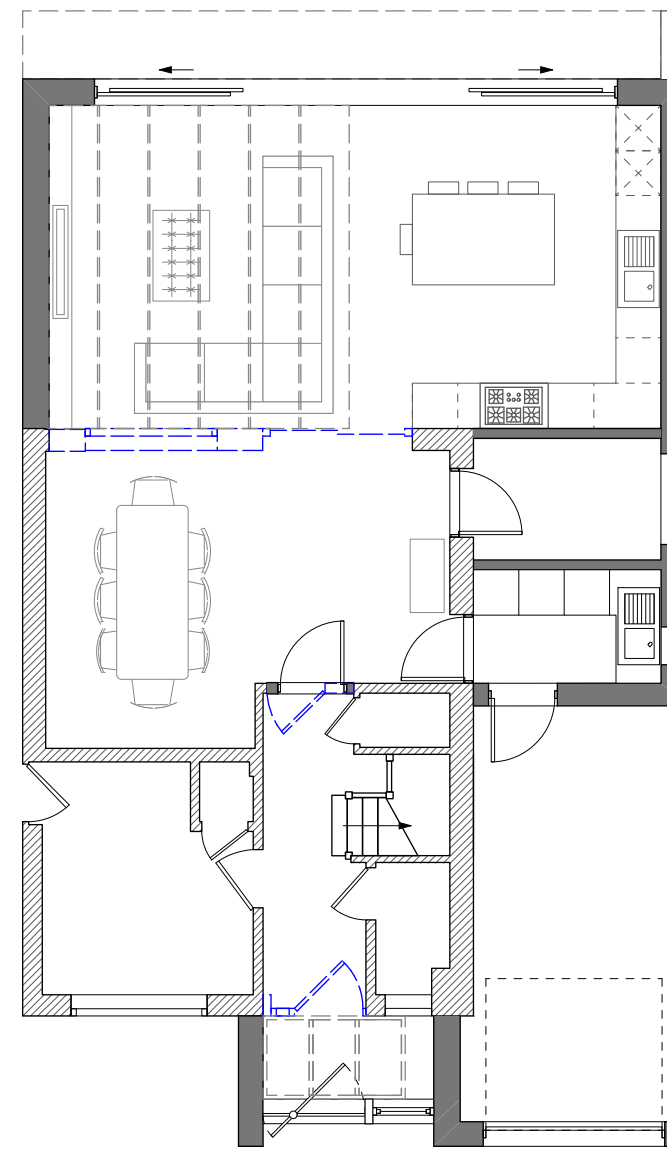
existing ground floor plan 1\_100@a3



existing first floor plan 1\_100@a3

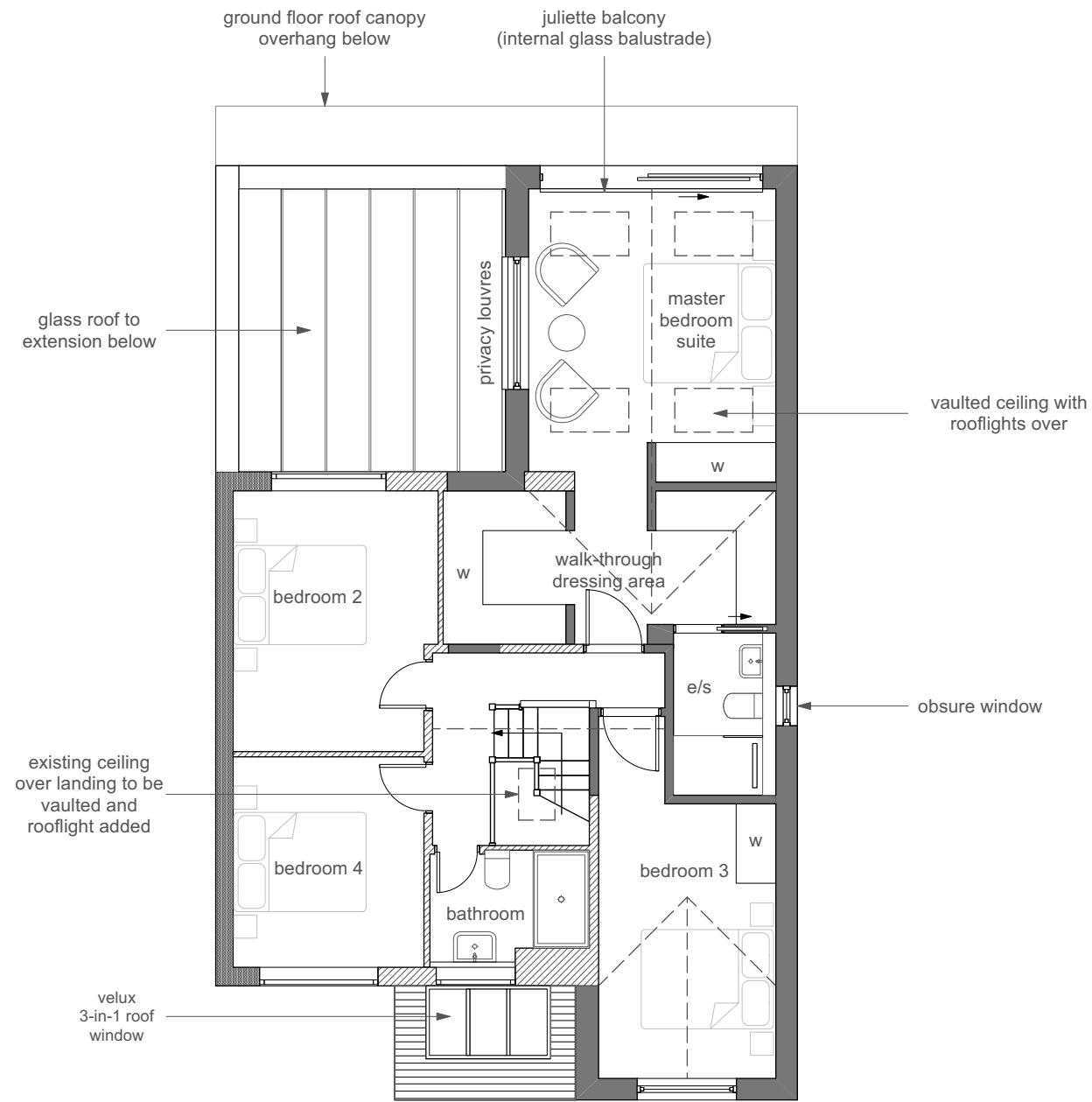


proposed ground floor plan\_1:100@a3

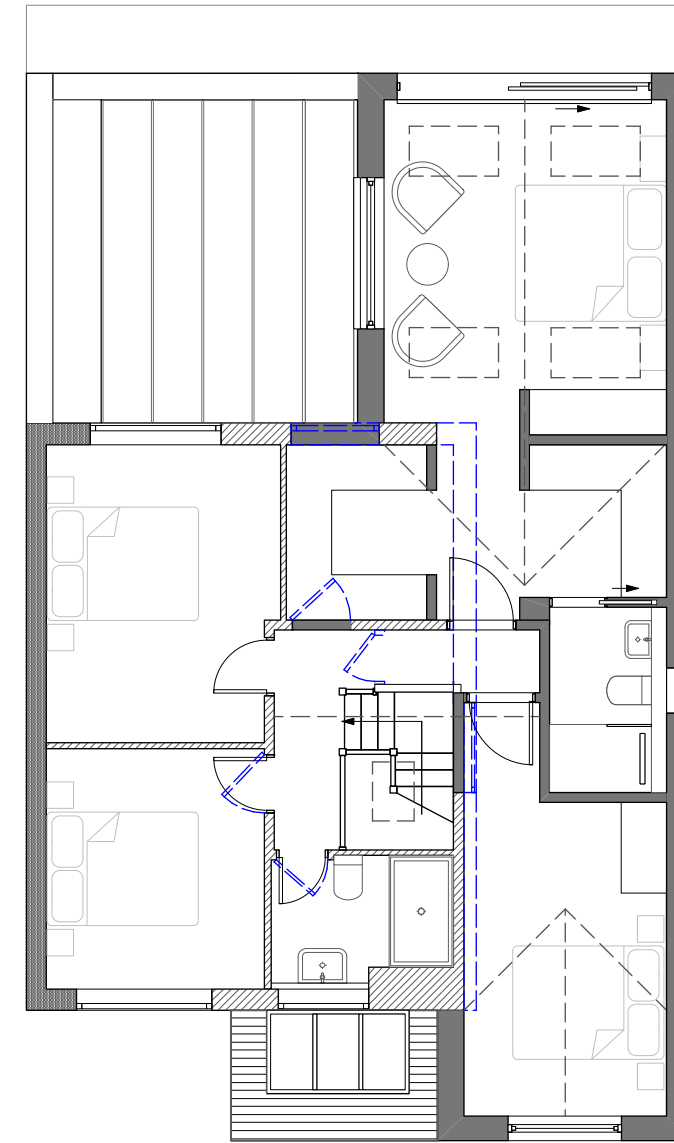


proposed ground floor plan\_1:100@a3  
**showing demolition**

- key**
- to be demolished
  - existing house
  - proposed new construction

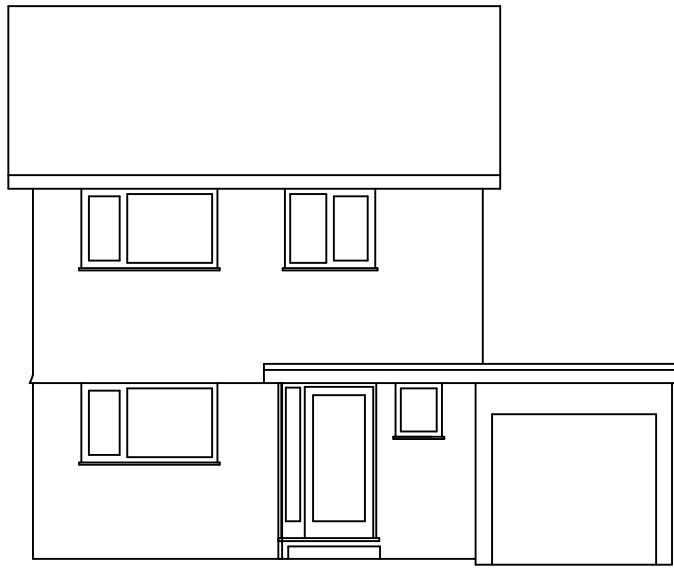


proposed first floor\_plan\_1:100@a3

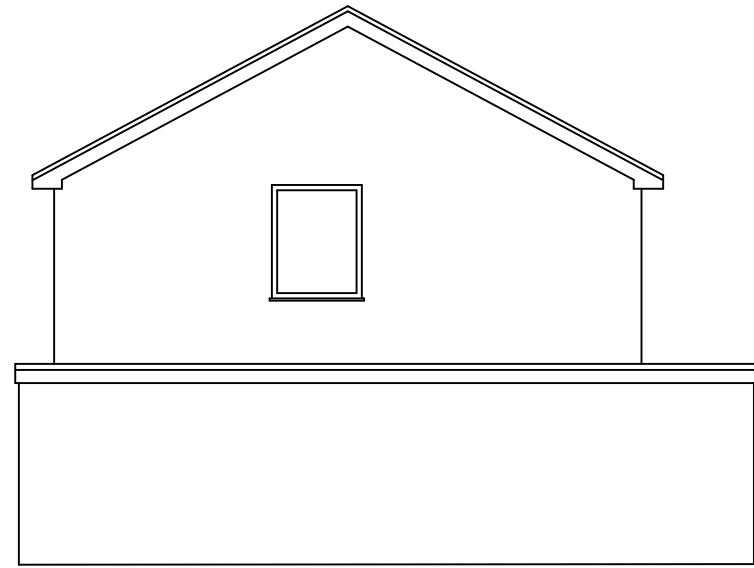


proposed first floor plan\_1:100@a3 **showing demolition**

- key**
- to be demolished
  - existing house
  - proposed new construction

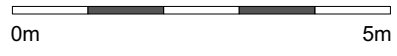


existing north (front) elevation 1\_100@a3

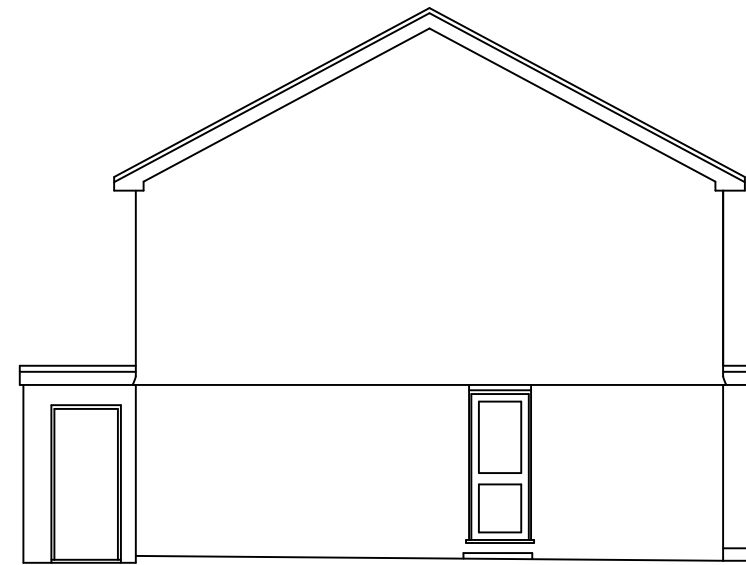


existing west elevation 1\_100@a3



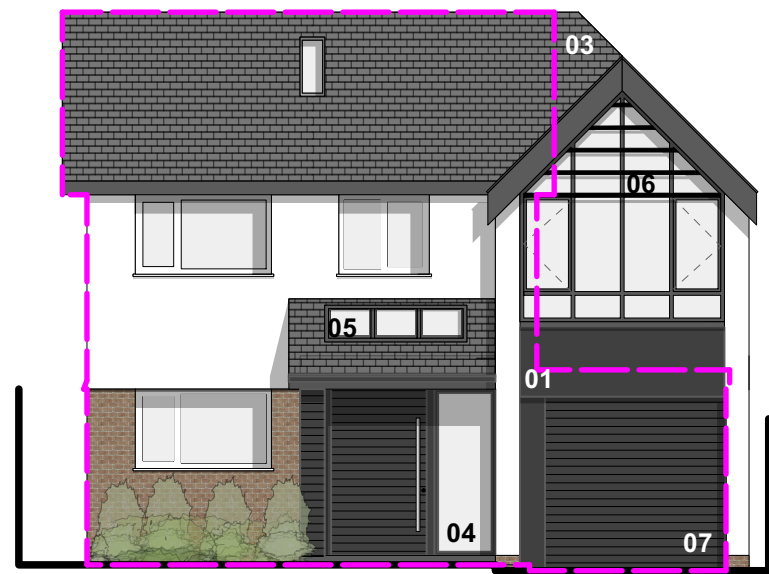


existing south (rear) elevation 1\_100@a3

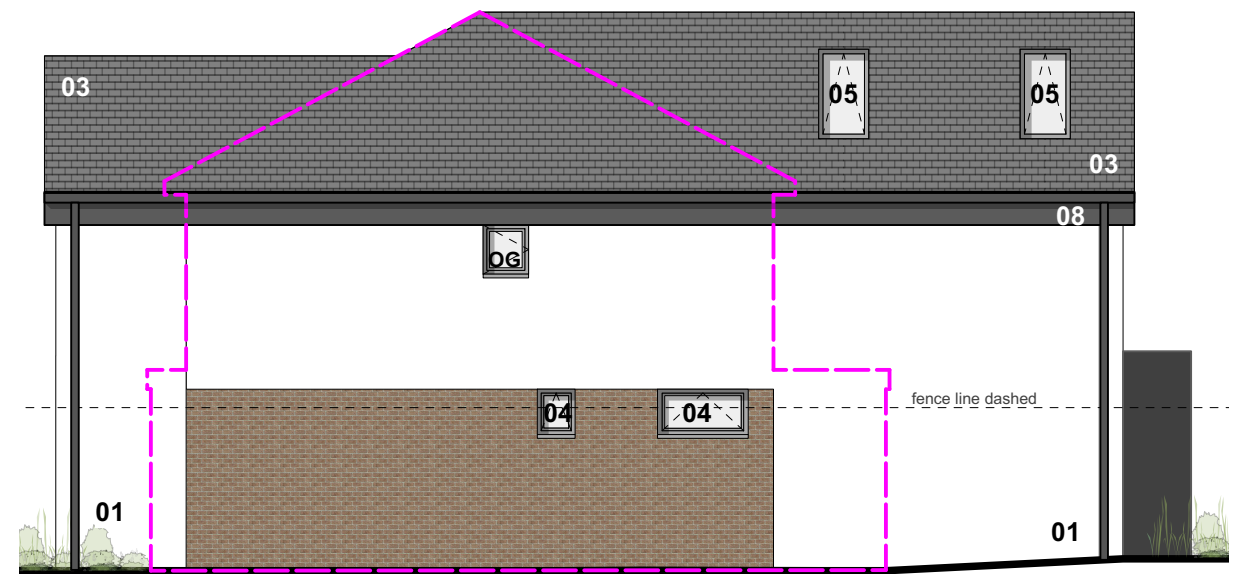


existing east elevation 1\_100@a3

0m 5m



proposed north (front) elevation \_ 1:100@a3



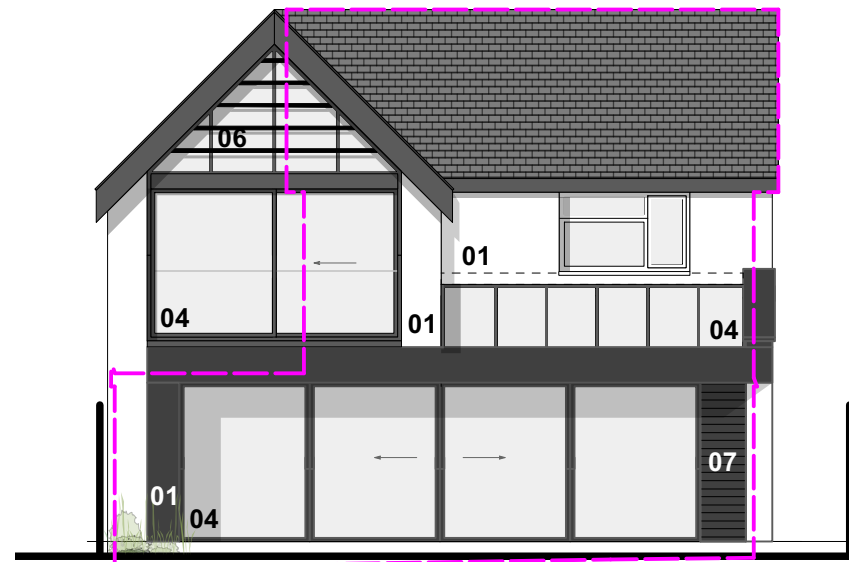
proposed west elevation\_ 1:100@a3

**key**

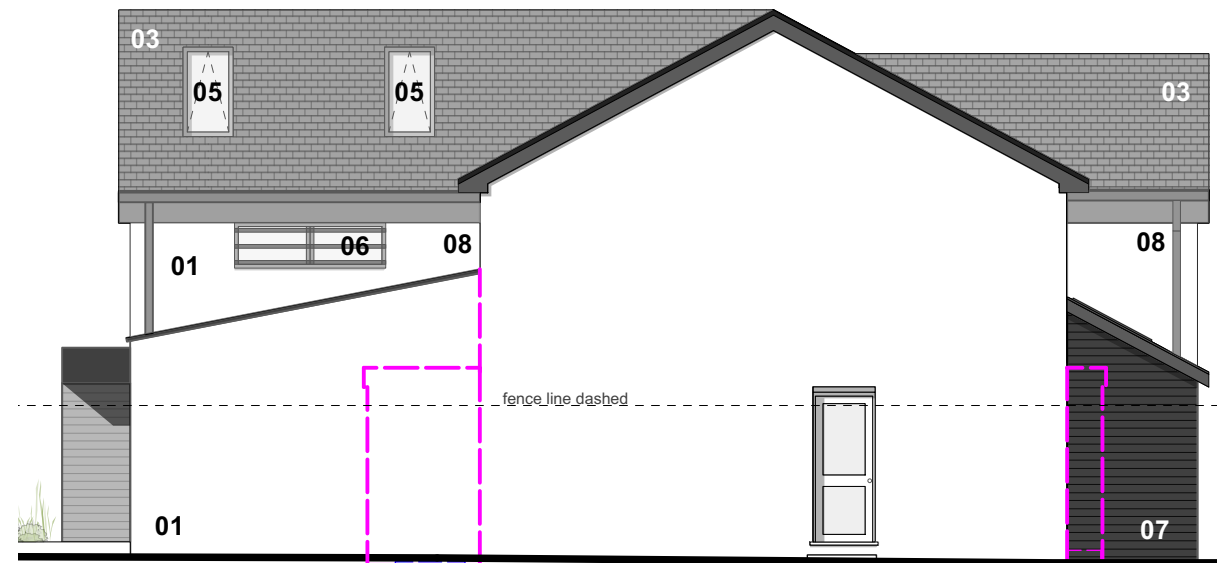
- 01 sand / cement render system (colour as shown)
- 02 existing brickwork
- 03 roof tiles to match existing
- 04 new windows / doors (dark grey)
- 05 roof window
- 06 aluminium privacy louvres
- 07 horizontal dark grey cladding
- 08 grey fascias & rainwater goods
- outline of existing house

18.09.23\_rev b \_ amendments to windows, following client feedback

12.09.23\_rev a \_ amendments to front porch design, following client feedback



proposed south (rear) elevation 1\_100@a3



proposed east elevation 1\_100@a3

**key**

- 01 sand / cement render system (colour as shown)
- 02 existing brickwork
- 03 roof tiles to match existing
- 04 new windows / doors (dark grey)
- 05 roof window
- 06 aluminium privacy louvers
- 07 horizontal dark grey cladding
- 08 grey fascias & rainwater goods
- outline of existing house

18.09.23\_rev b \_ addition of sheltered overhang, following client feedback

12.09.23\_rev a \_ amendments to front porch design, following client feedback