

PROPOSED COLOUR PALETTE

The existing buildings new and old create a palette that ranges from dark grey, to browns through to peachy colours and rusty pinks. We have proposed new materials with finishes of a similar but complimentary tones.

Each facade within the courtyard is proposed to be in the same colour palette, but in multiple materials to respond to the individual character of the existing buildings and reflect the tones of the ashlar stone and red brick.



Existing material palette

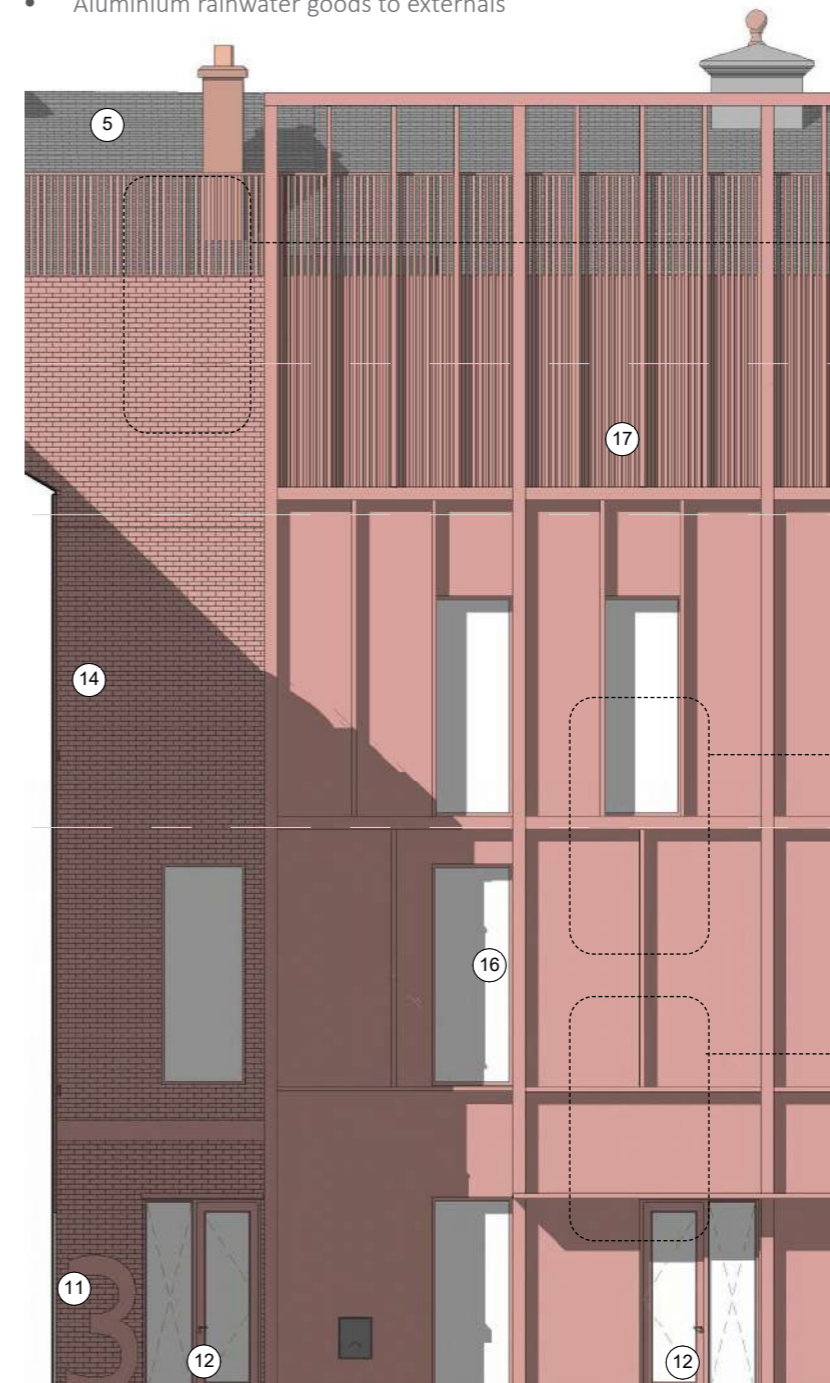
Existing original Victorian wing

Existing 1990s contemporary extension

PROPOSED MATERIALS

The proposed new material palette is as follows:

- Aluminium rainscreen cladding system
- New facing red textured multi-stock brick
- New Aluclad windows to new build elements
- New timber sash windows to retained facades
- Aluminium rainwater goods to externals



Proposed Courtyard West Elevation



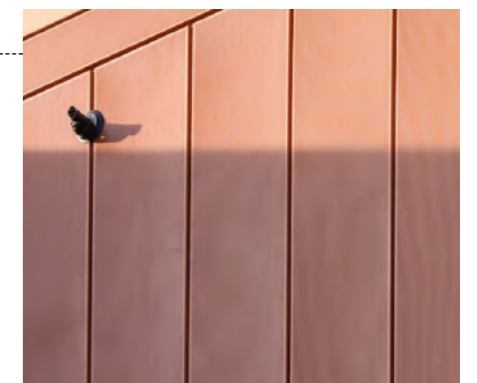
All external metal work: railings, downpipes and gutters in metal with RAL 3012



Red Multi-Stock Facing Brick (Exact brick TBC)



Windows/ Doors: Either curtain walling or alu-clad in a RAL 3012



Aluminium Rainscreen Cladding System in a RAL 3012

THE PROPOSAL: WEST & SOUTH ELEVATIONS

The interventions to the South and West elevations will be minimal given that these are the most historically significant façades. Our proposal is to replace all of the windows with timber high-performing triple glazed windows, in line with the original design in terms of appearance.

To highlight the entrance to the touch down spaces we proposed to modify the windows either side of the Muirhall Street entrance door. The entrance door to Muirhall St. will be glazed to give it a more commercial appearance as well as the entrance door to Dunbeth Road, to provide light to the stairwell. An entrance canopy/ signage is proposed fixed back to the existing facade

As the larger internal spaces in the Original Victorian Wing are more suited to non-residential use, the existing entrance on Muirhall Street will be given a more appropriate commercial appearance. The subtle interventions include enhanced windows to either side of the proposed glazed entrance door, with an additional entrance canopy and signage that is proposed to be fixed back to the existing facade.



West Elevation - Existing



South Elevation - Existing

West Elevation - Existing

Existing



West Elevation - Proposed
1:100



South Elevation - Proposed
1:100

Proposed

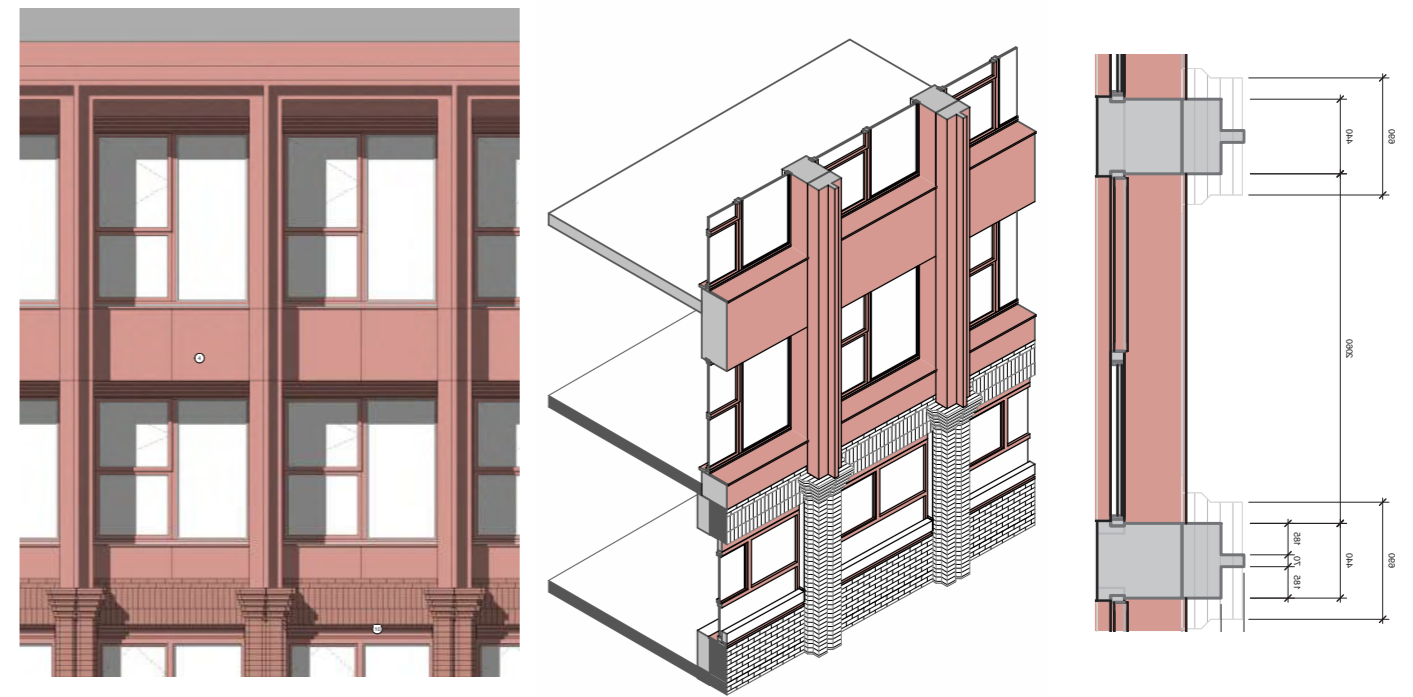
THE PROPOSAL: NORTH & EAST ELEVATIONS

The elevations to the North and East have the most significant changes. The North Wing is very divisive in style and of significantly less quality than the existing part of the building. Our proposal is as follows:

- Existing GRP cladding to third floor removed
- Existing curtain walling to atrium removed
- Roof scape with overhanging eaves removed
- annex additions removed to courtyard

Proposal:

- New aluminium cladding system with curtain walling to areas highlighted.



Proposed cladding and detail to rooftop extensions and infill.



North Elevation - Existing



North Elevation - Proposed



EL_Courtyard_North Existing



EL_Courtyard_North Proposed_Proposed Cladding

KILDONAN ST ENTRANCE

The new entrance to Kildonan Street proposes a new canopy, signage and a perforated or fritted design to the cladding to highlight that it is the main entrance.

The existing ramps/ step layout is to be resurfaced and the existing balustrade updated to something more contemporary, potentially incorporating the building number, as shown in the image opposite.



Proposed entrance details



Proposed scalloped fritting inspired by decorative features on existing building



KEY VIEWS: KILDONAN STREET VIEWS



THE PROPOSAL: COURTYARD ELEVATIONS

Each face of the courtyard is proposed to be in the same colour palette but in different materials to respond to the individual character of the corresponding façades. Coherent and complementary strategy for new buildings has been adopted. In the courtyard elevations, it is particularly evident that the existing building is an amalgamation of several annexes and additions from different generations. Our proposal within the courtyard aims to rationalise the existing building and knit together the existing elements with the new interventions.

Proposal:

- To the new elevation of the police wing we propose a textured red brick. We propose projecting string courses to tie in with the banding to the retained elevations. New doors and windows will have recessed aluminium cladding panels with deep reveals to relate to new interventions elsewhere.

- To the other courtyard elevations we propose to use an aluminium rain screen cladding system with curtain walling. This will be detailed so that it is not flat, but has some depth created by projecting horizontal and vertical fins.



East Elevation - Existing



East Elevation - Proposed



L_Courtyard_South Existing

EL_Courtyard_West Existing



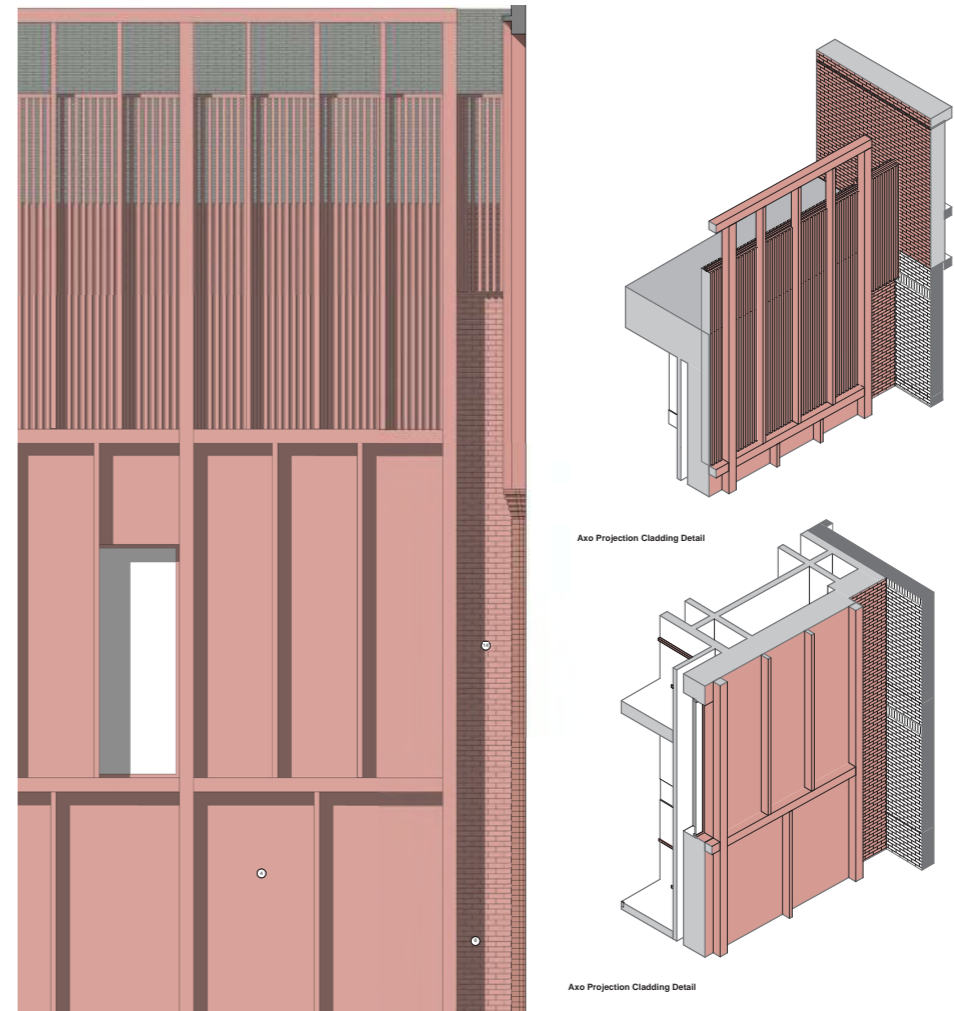
EL_Courtyard_South Proposed Brick

EL_Courtyard_West Proposed

THE PROPOSAL: COURTYARD DETAILS



Proposed brick string coursing on courtyard facade to Police Wing to reference detail on adjacent historic façades.



Proposed rain screen cladding details to rear elevation



Textured brick with projecting banding:
David Chipperfield, New York



Aluminium cassette rain-screen-cladding:
Morris + Company, Kings Cross

Taylor Maxwell Anvil Metal Cladding System: Allan Murray, New Waverley



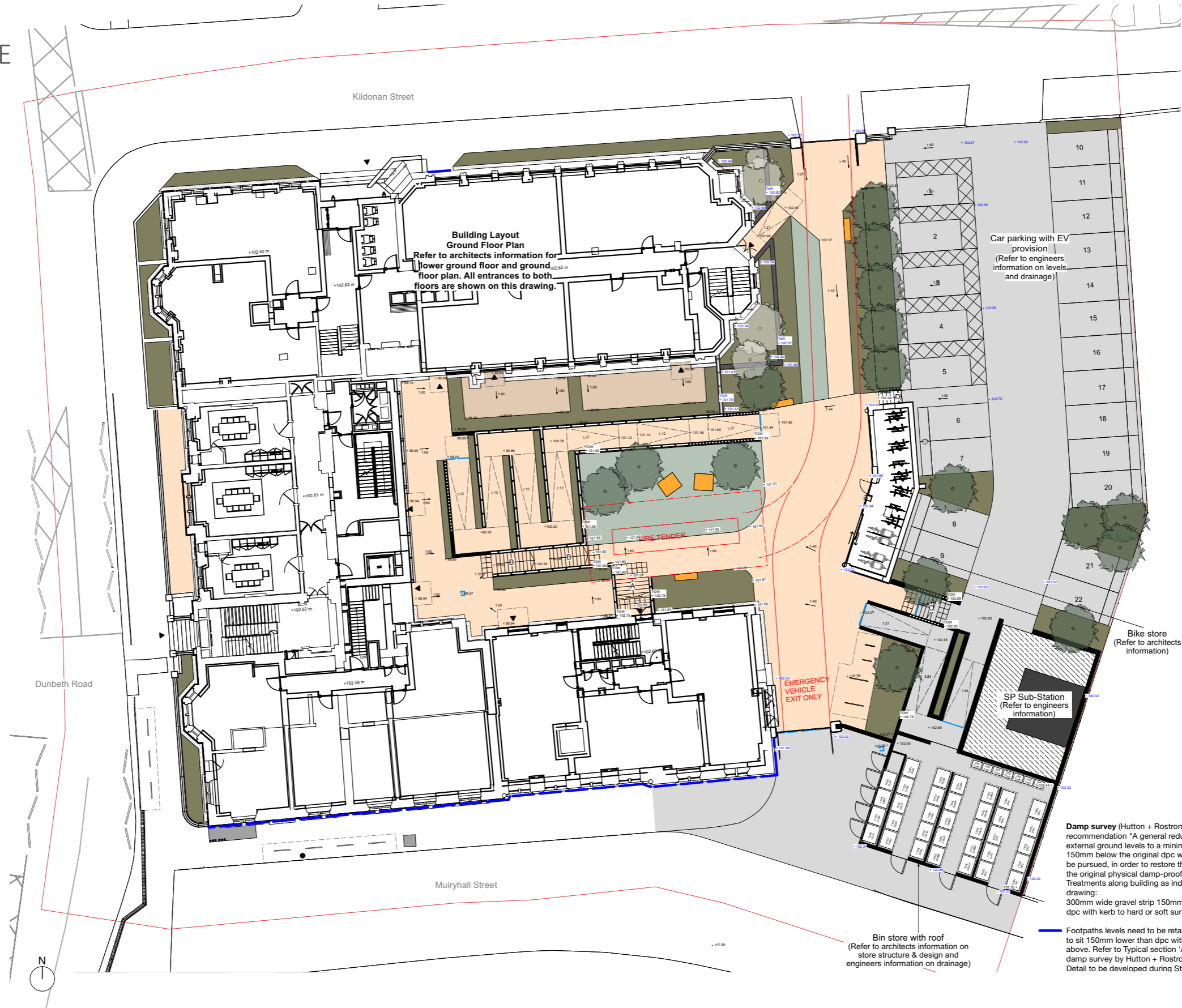
EXTERNAL STRATEGY (REFER TO LANDSCAPE REPORT)

Our proposal is to make the central courtyard a pedestrian priority resident's courtyard area. Vehicles will be restricted to emergency access only, with parking accessed off Kildonan Street.

Proposal:

- Limited car access, creating a residents' courtyard (pedestrian only) with a separate parking court
- Creates a safer environment for children and families within the residential courtyard.
- Creates opportunities to provide different types of external spaces for the residents with seating, and planting.
- External secure bin storage is proposed to the south of the site.
- The out-buildings are re-purposed for cycle storage
- Fire tender drop off is proposed adjacent to the Police Wing, but centrally within the courtyard.

For Landscape strategy refer to Urban Pioneer's Information.



KEY GENERAL LAYOUT

- Site boundary
- 19.50 Levels - Existing to be retained
- 19.50 Levels - Proposed

HARD WORKS:

- Proposed asphalt surface**
Refer to architects/ engineers information
- Concrete paver surface**
220x55x80mm; Colour: light grey & dark grey
Pedestrian make up for pedestrian areas
Vehicular make up for fire access
- Timber decking**
with anti-slip inserts
- Gravel strip along building**
300m width, 150mm depth, 150mm lower than external levels
- Tactile paving**
Concrete pavers
- Proposed concrete steps**
300x150mm
A 5no 2.6m length
B 20no 1.5m length
C 4no 1.8m length
D 6no 1m length
precast concrete steps with concrete walls to wither side (to one side only steps 'D') with mild steel handrails to either side (to one side only steps 'D'), powdercoated
- Slot drain**
Gully
Refer to engineer's information

SOFT WORKS:

- Proposed reinforced amenity grass (fire access)**
Refer to 2305.L.G(92)002 Planting Plan
- Proposed hedging low shrub/ groundcover plan**
Refer to 2305.L.G(92)002 Planting Plan
- Proposed tree planting, soft landscape**
22nr, Sizes vary
Refer to 2305.L.G(92)002 Planting Plan
- Existing tree to be retained**

ELEMENTS:

- Proposed seating**
5no benches 1.8m length
2no sun lounge benches
- Existing brick wall with concrete cope**
to be retained; Allow for repair works
- Proposed walls/ retaining walls**
Material: Brick - as per architects specification
Allow for special brick coping
Height: varies, refer to drawing 2305.L.G(92)004
with 0.95m steel balustrade/ fencing - incl handrail at ramp & steps installed to top of wall
with 0.9m height handrail at ramp & steps installed on top of wall
- Proposed mild steel balustrades/ fencing with integrated handrail**
on top of retaining walls; Height: 0.95m
Finish: hot-dipped galvanised and powder-coated
Colour: tbc
- Proposed mild steel handrail**
on top of retaining walls; Height: 0.9m
Finish: hot-dipped galvanised and powder-coated
Colour: tbc
- Proposed external bike racks**
11no; Sheffield bike racks with lower crossbar,
9no standard racks; 2no longer racks for non-standard bikes
Stainless steel, Rooffixed

Damp survey (Hutton + Rostron Aug '21)
recommendation "A general reduction in external ground levels to a minimum of 150mm below the original dpc would ideally be pursued, in order to restore the function of the original physical damp-proof course." Treatments along building as indicated on drawing:
300mm wide gravel strip 150mm lower than dpc with kerb to hard or soft surfaces

Footpaths levels need to be retained; Channel to sit 150mm lower than dpc with grating above. Refer to Typical section 'Air-drain' as in damp survey by Hutton + Rostron Aug '21. Detail to be developed during Stage 4

EXTERNAL PROVISION

Parking:

50% parking provision has been agreed with the roads department. This aligns with the council's net zero carbon targets and the acceptance that 100% provision would be inappropriate for the site on the basis that the site is very well connected, adjacent to main bus routes and within walking distance of 4 railway stations.

22 parking spaces will be provided on site with direct vehicle access off Kildonan Street; five of these being designated disabled spaces.

Waste and Recycling:

Waste Stream	Bins Capacity (litres)	Number
General	1100	10
Glass, Metal & Plastic	1100	10
Paper & Card	1100	7*
Food	240	7

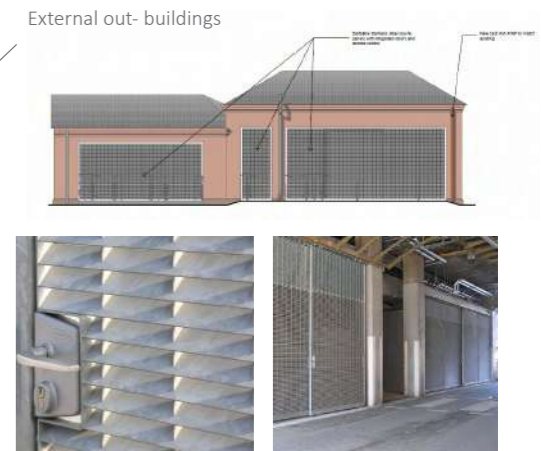
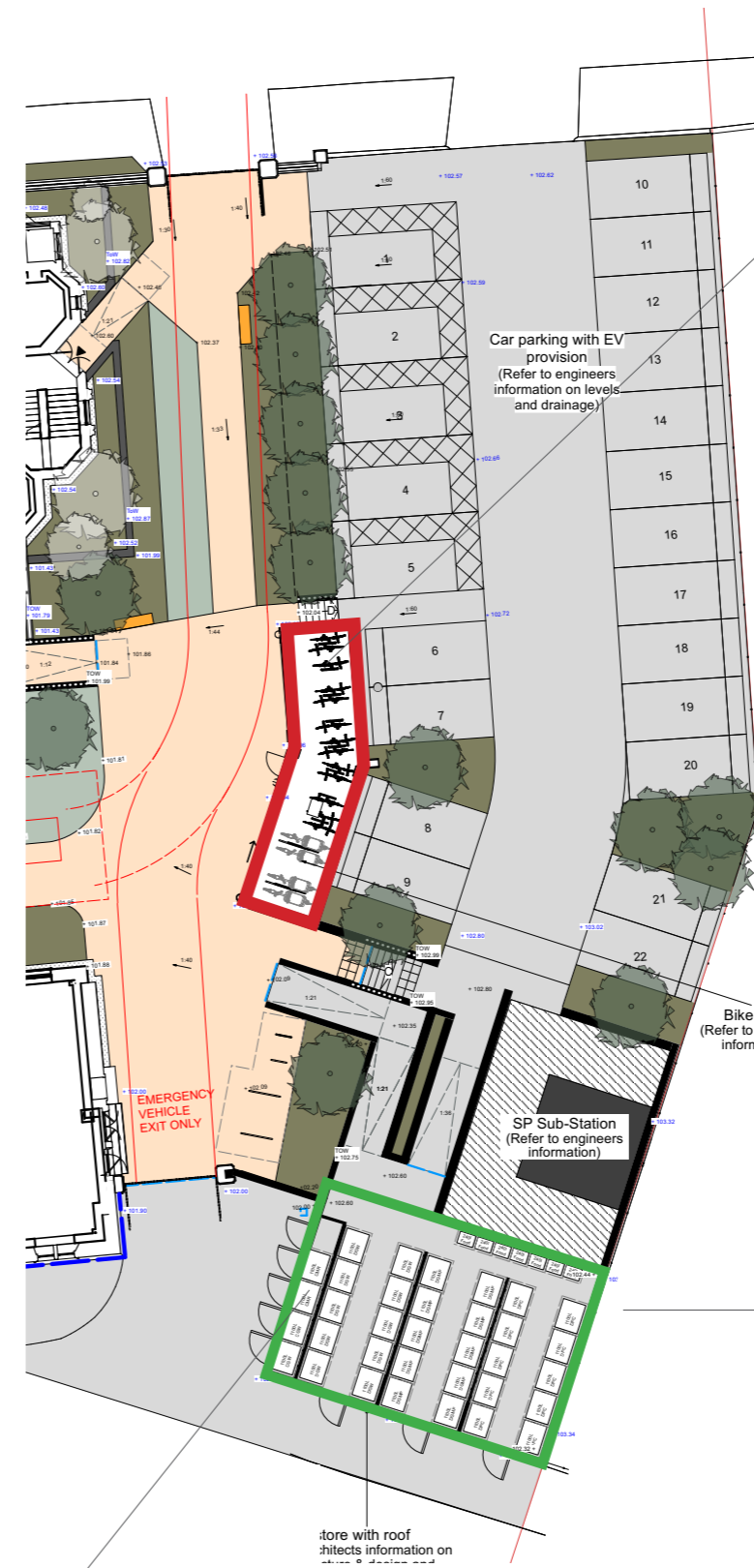
Above are the bin requirements as per our current system.
 *Proposed legislation changes over the next 2 years will potentially see an increase in the use of paper and card used in packaging design and for this reason I would strongly recommend that the paper and card capacity is increased to 10. This will ensure the bin store is future proof if the legislation does impact in the way we predict it to.

Waste provision is provided in line with the council's requirements as set out above. An external bin store is proposed to the south of the site. The bin store will have a roof and new masonry boundary walls are proposed around the bin store- independent of the bin structure itself, to reduce the visibility of the bins from the street.

Commercial storage is provided in line with guidance from council commercial stakeholders. (4 bins in total: 2 general waste and 2 recycling. These bins will be managed separately from the residential bins and therefore separate access is provided.

Cycle Storage:

The outbuilding are proposed to be turned into a secure cycle store for up to 20 bikes (including 4 spaces for non-standard cycles)



Outbuildings to be re-purposed and used as external bike store. Mesh sliding doors to be integrated.

Residential Bin Store



Example of a bin store with a green roof and mesh cladding panels with climbers growing on them. Good for visibility.



Example of a bin store in Edinburgh with a brick boundary wall and an independent bin store structure behind, with access directly to the street.

Commercial Bin Store



Example in Edinburgh with direct access onto Street

ENERGY STRATEGY

Energy Strategy:

- Ground source heating pumps are being proposed
- Heat interface units will provide heating for both domestic water and fabric losses
- A metered supply will also be provided to serve the touchdown area of the building.
- Due to the varying tariff needs and metering available, this may limit the number of electricity suppliers which can provide for the site.
- Each dwelling shall be ventilated using MVHR's in each property.
- The touchdown spaces shall be naturally ventilated where possible, in spaces with a maximum depth of 6m, keeping the traditional building strategy of openable windows, which will contribute towards the low carbon solution.

Performance targets for Building Fabric:

The energy performance targets have been set based on the need for this development to meet NLC's obligations relative to EESSH 2 and commitments to achieve Net Zero Carbon by 2030 for their portfolio assets. The values set are over and above current building standards targets but are in our view necessary to meet the more onerous standards set out above. This approach is recommended at this stage as it will be more cost effective for NLC to deliver energy efficient homes that meet these requirements now than to deliver them to a lesser performance standard and then have to retrofit them in 10 years' time to meet EESSH 2.



HISTORIC PHOTOGRAPHS c.1910 (Pre-fire damage)



EXISTING MUNICIPAL BUILDING

