

## PLANNING WORKSHEET 11 – DELEGATED / PCG REPORT - HOUSEHOLDER

Valid Date: 3 November 2023

Expiry Date: 29 December 2023

<b>Application Ref.</b>	23/01312/HSE	
<b>Site Address</b>	12 Cartwright Street Shireoaks Worksop Nottinghamshire S81 8NJ	
<b>Proposal</b>	Erect First Floor Rear Extension and Carry Out Alterations	
<b>Case Officer</b>	Leo Ip	
<b>Decision Level</b>	Delegated	
<b>Reason(s) for PCG referral</b>		
<b>PCG Sign off and date</b>		
	<b>Signature</b>	<b>Date</b>
<b>Case Officer</b>	Leo Ip	11/12/2023
<b>Principal Planner</b>		
<b>Authorised signing Manager</b>		

<b>Policy Considerations</b>	<p>Section 38(6) of the Planning &amp; Compulsory Purchase Act 2004 requires applications for planning permission to be determined in accordance with the development plan unless material considerations indicate otherwise. Section 70(2) of the Town &amp; Country Planning Act 1990 provides that the local planning authority shall have regard to the provision of the development plan, as far as material to the application, and to any other material considerations.</p> <p>Other material planning considerations include the National Planning Policy Framework and guidance within the National Planning Policy Guidance.</p> <p><b><u>National Planning Policy Framework</u></b></p> <p>The National Planning Policy Framework (NPPF) sets out the Government's approach for the planning system and how these are expected to be applied.</p> <p>Paragraph 8 explains that there are three dimensions to sustainable development: economic, social and environmental. These dimensions give rise to the need for the planning system to perform an economic, social and environmental role.</p>
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Paragraph 11 explains that at the heart of the National Planning Policy Framework is a presumption in favour of sustainable development. For decision-taking this means approving development proposals that accord with the development plan without delay; and where the development plan is absent, silent or relevant policies are out-of-date, granting permission unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole or specific policies in this Framework indicate development should be restricted. The relevant policies are as follows:

Para 7 – Achieving sustainable development

Para 8 – Three strands to sustainable development

Para 10 – Presumption in favour of sustainable development

Para 11 – Decision making

Para 12 – Development plan as the starting point for decision making

Para 111 – Highway safety

Para 126 – Good design is a key aspect of sustainable development.

Para 130 – Development should reflect local characteristics and should provide a good level of amenity for both existing and future users of the property.

**Bassetlaw District Local Development Framework**

**Core Strategy & Development Management Policies Development Plan Document (Adopted December 2011)**

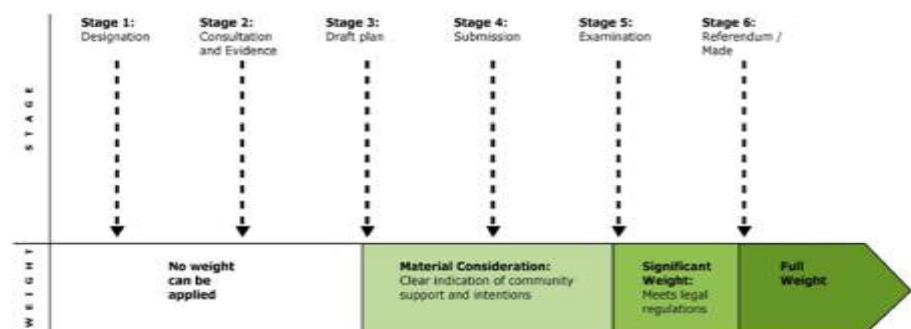
- CS1 - Settlement Hierarchy
- CS2 - Worksop
- DM4 - Design & character

**Neighbourhood Plan (including status and relevant policies)**

The chart below shows the weight to be given to the Neighbourhood Plan set against the stage of the plan-making process. The Shireoaks Neighbourhood Plan is ‘made’ in 2016. It can therefore be accorded full weight.

The relevant policies are as follows:

- Policy 1 Sustainable Development Principles
- Policy 4 Design Principles



<b>Other relevant guidance/SPDs</b>	<b><u>Bassetlaw District Council – Successful Places:</u></b> A Guide to Sustainable Housing Layout and Design (Adopted December 2013)
<b>Relevant Planning History</b>	None.
<b>Consultation date(s)</b>	<b>Consultation and publicity expiry date:</b> 27 November 2023
<b>Summary of Consultation Responses</b>	The Parish council has no objections to this application on the basis that affected neighbours have been consulted.
<b>Summary of Publicity</b>	This application was advertised by neighbour letter, site notice and press notice and no representations have been received.
<b>Site Context</b>	The application comprises of red brick construction with white render solely at the front elevation. The property is located next to Cartwright Street, which is a cul-de-sac in Shireoaks. A projecting gable roof with bay windows is to the front of the property and a lean-to roof is to the rear elevation. The rear garden and a garage are situated towards the north. The property has a drive that lies on the neighbours drive and leads to the garage which is fenced off.
<b>The Proposal</b>	Planning permission is sought to erect a first-floor rear extension and alterations in the ground and first floor plans. The plans propose a hipped roof extension to the rear elevation with tiles to match existing, creating a similar pitch to the existing roof. Casement windows are proposed in the rear elevation and side elevations with bricks or render match existing for the first-floor extension.
<b>Assessment of Proposal</b>	<p>Extensions and alterations to existing properties is acceptable in principle subject to compliance with relevant policies in the development plan and other material considerations. Policy DM4 of the Bassetlaw Core Strategy requires that policies for householder development are well designed, are in keeping with the character of the area and of an appropriate scale.</p> <p>The main issues for consideration in the determination of this application are the impact of the proposal upon the character and appearance of the surrounding area, the impact upon the residential amenity enjoyed by the occupiers of neighbouring dwellings and the impact upon highway safety.</p> <p><b><u>Visual Amenity</u></b></p> <p>Section 12 of the NPPF refers to achieving well designed places. Specifically, paragraph 126 states that good design is a key aspect of sustainable development; it creates better places in which to live and work in and helps make development acceptable to local communities. Paragraph 130 states that decisions should aim to ensure that development will function well and add to the overall quality of the area, establish a strong sense of place, create attractive and comfortable places to live, work and visit, optimise the potential of the site to accommodate development, create and sustain an appropriate mix of uses and</p>

support local facilities and transport networks. Furthermore, it provides that development should respond to local character and history, and reflect the identity of local surroundings and materials, while not preventing or discouraging appropriate innovation. The NPPF goes on to state it is “proper to seek to promote or reinforce local distinctiveness” (para 130) and permission should be “refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions” (para 134).

Policy DM4 of the Bassetlaw Core Strategy provides general design principles which should be applied to all schemes. The policy states that all development proposals will need to be in keeping with the character and appearance of the wider area and when they are in historic locations, they should respect existing development patterns. All schemes must respect their context and not create a pastiche development which would be incorrect in their context.

Section 3.5 (character) of the Supplementary Planning Document 'Successful Places' indicates that developments should support local distinctiveness by taking the opportunities available to integrate the proposal into the site, its setting and the way it relates to the local area.

Policy 1 of the Shireoaks Neighbourhood Plan states that proposals will support the continued viability of Shireoaks by providing new homes. All development shall be designed and located to ensure that it does not cause material harm to the amenity of nearby residents, character and appearance of the neighbourhood and the designated historic and environmental assets of the parish.

Policy 4 encourages new development that demonstrates designs that draw upon the local character to ensure new development enhances the distinctiveness and quality of the plan area as a whole.

The proposed extension would be considered an appropriate development in the context of the surrounding as the resulting size wouldn't appear as an overdevelopment. Furthermore, the materials for both the tiles and the bricks would be to match, with opportunities to render, creating a similar appearance to the neighbouring properties. The character of the area is further preserved by incorporating a cross hipped roof to conform with the appearance of neighbouring hipped roofs.

The proposal is considered to be a sensitive extension to the existing dwelling that would respect the character and appearance of the host dwelling and that of the surrounding development in terms of its design and finish. It is therefore considered that the extension would have a wholly acceptable impact upon the character of the surrounding area and would therefore be in compliance with Policy DM4, the NPPF, policy 1 and 4 of the Shireoaks Neighbourhood Plan, and the guidance contained within the Successful Places SPD.

**Residential Amenity (including privacy, light and garden space)**

Policy DM4 of the Core Strategy requires that development does not materially or detrimentally affect the amenities of the occupiers of neighbouring properties. This is also reflected in paragraph 130 criterion f) of the NPPF which states that development should create a high standard of amenity for existing and future users.

Paragraph 185 of the NPPF seeks to ensure that new development is appropriate for its location taking into account the likely effects (including cumulative effects) of pollution on health, living conditions and the natural environment, as well as the potential sensitivity of the site or the wider area to impacts that could arise from the development. This includes an assessment of noise and light impact.

3.11.11 of the Council's adopted Successful Places SPD states proposals should not cause a loss of daylight, over-shadowing or create overbearing relationships between buildings where this would be detrimental to residential amenity and goes on to describe how the impact of an extension on the daylight enjoyed by neighbouring occupiers can be assessed using the 45-degree rule.

The proposal would include a first-floor rear extension that extends up to the façade of the ground floor level. The extension would be unlikely to cause any detriment in terms of overshadowing to the neighbouring property as there's a large distance of separation to the neighbouring occupiers. Despite the lack of trees screening the neighbouring properties, the positioning of the windows take the 45-degree rule into account to mitigate any adverse loss of light or privacy to the neighbouring property. Three more windows are also proposed along the side elevation of the existing property near the existing windows which shouldn't cause any more loss of privacy than it already has.

It is therefore considered that the extension would have an acceptable impact upon the residential amenity enjoyed by the occupiers of the neighbouring dwellings and would therefore comply with the provisions Policy DM4 and the guidance contained within the Successful Places SPD.

#### **Highways Matters**

Paragraph 110 of the NPPF states that schemes can be supported where they provide safe and suitable access for all. This requirement is also contained in policy DM4 of the Council's Core Strategy. Paragraph 111 of the NPPF makes it clear that development should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

Paragraph 92 of the NPPF states that all development should aim to achieve healthy, inclusive and safe places which encourage social interaction, are safe and accessible and enable and support healthy lifestyles. Paragraph 110 of the NPPF requires schemes to provide safe and suitable access for all users as well as looking at appropriate opportunities to promote sustainable transport modes.

The proposal doesn't interfere with the existing vehicle parking at the site and includes an existing garage space. As such, the proposal will not exacerbate any

existing highway safety issues in the locality.

**Conclusion**

The above appraisal has assessed the proposal and concluded that the proposal would not have a detrimental impact on the character and appearance of the area or on the residential amenity of neighbouring properties and would not exacerbate any existing highway safety issues in the locality. The proposal is considered to be in compliance with the policy 1 and 4 of the Shireoaks Neighbourhood Plan, the guidance contained within the NPPF, Policy DM4 of the Bassetlaw Local Development Framework, and the Supplementary Planning Document 'Successful Places'. It is recommended that the application is granted with conditions.