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PLANNING PORTAL REF: PP-12202483
PROPOSED STORAGE BUILDING
OAK TREE FARM, GRASSTHORPE ROAD, NORMANTON ON TRENT

PLANNING STATEMENT

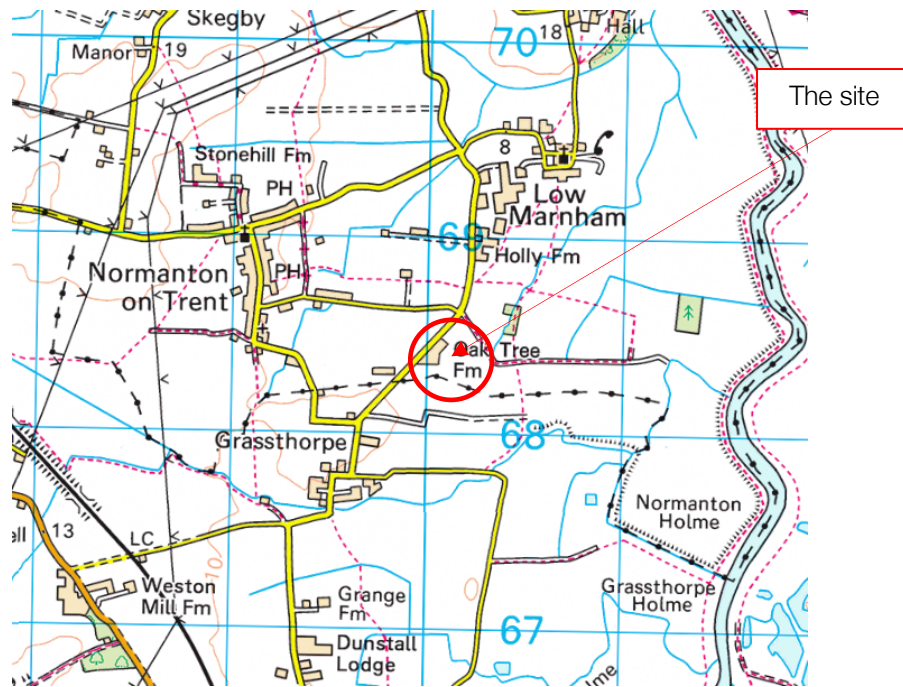
Introduction

1. This Planning Statement relates to a full planning application for the erection of a 558 sq.m storage building to be utilised for the equipment associated with the applicant's marquee and event hire business.
2. Under planning permission ref: 15/01263/ FUL planning permission was granted for '*Proposed Storage Building, New Vehicular Entrance and Accessway and Use of Land and Buildings for Marquee and Event Equipment Hire Business*' at Oak Tree Farm, Grassthorne Road, Normanton-on-Trent. The site is located on the eastern side of Grassthorne Road, to the rear of a cluster of roadside dwellings. The consent included for the erection of a 305sq.m storage building, as well as for the use of adjoining land for use in connection with the marquee and event hire business. Also approved as part of the application was a new access leading into the site from Grassthorne Road. In 2019, planning permission was granted on land adjacent to the consented site (and served from the same access point) for use as a wedding venue, including the provision of car parking and for the erection of a marquee to accommodate the events (19/00481/FUL).
3. The development was considered, at the time of the consent to represent an appropriate rural enterprise and one that was supported by relevant development plan policies (most notably Policy DM1 of the Core Strategy). The marquee hire business is now well established and there is a need to provide additional storage capacity for equipment. The proposed storage building, which is located a short distance to the east of the existing storage building and partly on an existing area of hardstanding, is considered to comprise an appropriate expansion of an existing undertaking, and one that can be accommodated on the site without adverse or detrimental impacts upon the locality. The proposals, as the expansion of an existing rural enterprise, accord with relevant development plan and national planning policies.

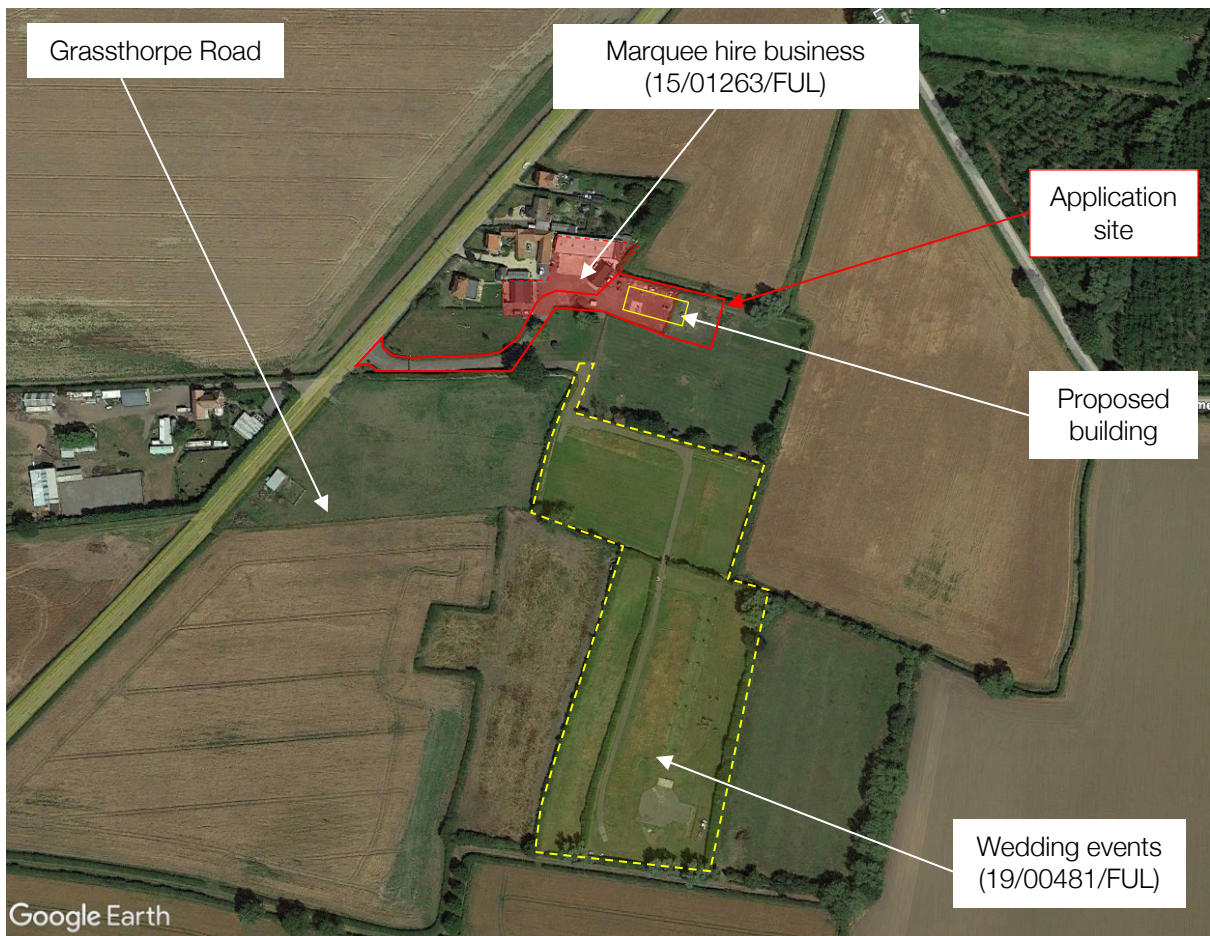
The site

4. As illustrated above, the premises (consented under application ref: 15/01263/FUL) is located at Oak Tree Farm, on the eastern side of Grassthorne Road, approximately 1km to the south-east of the centre of Normanton-on-Trent. The site of the business is to the rear of a number of frontage dwellings, and is accessed by a relatively new access point (approved as part of 15/01263/FUL) a short distance to the south of the dwellings. This access also serves several fields to the south of the marquee hire business that are used for weddings / events (hosted within a marquee). This event usage was approved under application ref: 19/00481/FUL). Surrounding land is otherwise largely in agricultural use,

although, several hundred metres to the north is the large industrial undertaking of J G Pears.



OS extract showing the location of the application site.



Overview of the locality, showing the location of the application site, the extant marquee hire business and the adjoining wedding event site.



Site entrance: This access serves the marquee hire business and the wedding event use.



Grassthorpe Road looking south. The existing marquee hire storage building is highlighted, to the rear of the frontage properties.

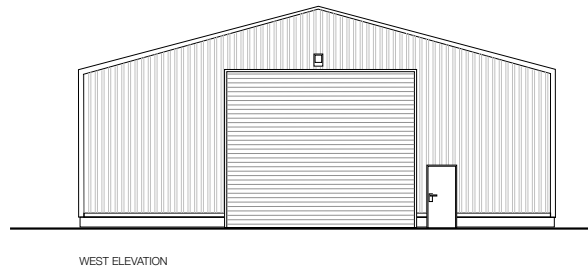
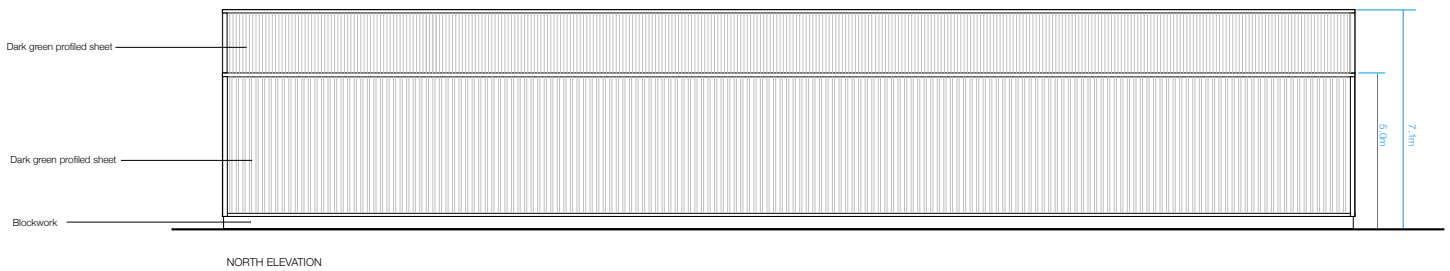
5. Located within the marquee hire business site are two storage buildings and separate free-standing office building as well as adjoining open yard areas. To the east of the buildings is a large open area of hardstanding.

The proposed development

6. Planning permission is sought for the extension of the yard area associated with the existing marquee hire business and for the erection, partly within the extended area, of a 36.58m long by 15.24m deep storage building. The building, which is of portal frame design, with roller shutter doors to the eastern and western gable ends, is to be finished in dark green profiled sheet. The building is to be utilised solely for storage purposes in connection with the existing marquee hire business. The location of the proposed building, and details of the proposed elevations is illustrated below.



Block plan extract, showing the location of the proposed storage building



The proposed building elevations

Planning considerations

7. The National Planning Policy Framework includes a commitment to develop a strong, competitive economy. Paragraph 81 of the guidance states that the Government is committed to securing economic growth in order to create jobs and prosperity, building on the country's inherent strengths.

Planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development. The approach taken should allow each area to build on its strengths, counter any weaknesses and address the challenges of the future.

8. Paragraph 82 continues by stating that. 'Planning policies should set out a clear economic vision and strategy which positively and proactively encourages sustainable economic growth.' Paragraph 83 indicates that planning policies and decisions should recognize and address the specific locational requirements of different sectors.
9. Planning policies the guidance indicates should set out a clear economic vision and strategy for their area, which positively and proactively encourage sustainable economic growth. Plan policies should support existing business sectors, and where possible identify and plan for new or emerging sectors likely to locate in their area. Policies should be sufficiently flexible to accommodate needs not anticipated within the plan, and to allow for a rapid response to changes in economic circumstances.
10. In terms of economic development in rural areas, Paragraph 84 of the guidance identifies that planning policies should support economic growth in rural areas in order to create

jobs and prosperity, by taking a positive approach to sustainable new development. In order to promote a strong rural economy, local plans are expected to support the 'sustainable growth and expansion of all types of business and enterprise in rural areas; through both conversion of existing buildings and well-designed new buildings'.

11. Paragraph 85 of the guidance, which is a new paragraph that first appeared in the 2018 version of the NPPF, states;

Planning policies and decisions should recognise that sites to meet local business and community needs in rural areas may have to be found adjacent to or beyond existing settlements, and in locations that are not well served by public transport. In these circumstances it will be important to ensure that development is sensitive to its surroundings, does not have an unacceptable impact on local roads and exploits any opportunities to make a location more sustainable (for example by improving the scope for access on foot, by cycling or by public transport). The use of previously developed land, and sites that are physically well-related to existing settlements, should be encouraged where suitable opportunities exist.

12. Fundamental to NPPF is a presumption in favour of sustainable development. Paragraph 11 identifies how that presumption should be applied, both in terms of policy making, and in terms of decision-making. In terms of decision making, this means approving developments that accord with the development plan and, where a plan is absent, or silent, or out of date, approved applications, unless any adverse impacts would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework.
13. In this particular case, we would contend that the development proposals accord with the provisions of the NPPF. The current NPPF very strongly, and more empathically than previous guidance, supports the expansion of existing business uses in rural areas, as well as sustainable economic growth more generally. The expansion of activity on an existing, established site, site must be seen to comprise a sustainable form of development; indeed, it is more sustainable to consolidate and develop a use on its existing site, than to create a separate facility on a separate site. The NPPF further suggests that a development, which accords with the provisions of the development plan, may be regarded as sustainable. As we shall demonstrate below, the development in this case conforms to development plan policy.
43. The development plan for the area presently comprises the Bassetlaw Core Strategy. The emerging Bassetlaw Local Plan has been the subject of examination and the expectation is that the Plan will be adopted during the course of this year. As such, some weight may now be attached to policies in the emerging plan.
44. The Core Strategy was adopted in December 2011. The document includes a number of development management policies relating to economic development proposals in countryside locations.
45. Policy DM1 of the Core Strategy, relates to economic development in the countryside. The pre-ambule to the policy states that whilst new economic development is usually most appropriately located in the District's larger settlements and rural service centres, there are instances where particular business needs, or the availability of suitable premises,

provide opportunities for delivering employment in the countryside or smaller villages. The policy seeks to ensure that such opportunities are delivered appropriately. Section A of the Policy sets out the general principles to be applied. These are set out below, together with a commentary describing how the development satisfies the consideration.

<i>POLICY DM1: ECONOMIC DEVELOPMENT IN THE COUNTRYSIDE</i>		
<i>This policy applies to any area outside a Development Boundary (which includes those settlements covered by policy CS9).</i>		
<i>A. General Principles</i>		
<i>Proposals for standalone economic development (e.g. tourist attractions; equine enterprises; rural business) in rural areas will be supported where they can demonstrate that:</i>		
<i>N o.</i>	<i>Criteria</i>	<i>Comment</i>
<i>i</i>	<i>any necessary built facilities will be provided by the re-use of existing buildings or, where the re-use of existing buildings is not feasible, new buildings are located and designed to minimise their impact upon the character and appearance of the countryside;</i>	The extension to the existing site is appropriately scaled and proportionate to the size of the existing site. Likewise, the building is appropriately scaled, appropriate to the needs of the business. It is appropriately designed for its particular context. There will be no wider countryside impacts. The building will have limited visibility from public vantage points. The character and appearance of the countryside will not be materially changed or harmed.
<i>ii</i>	<i>the development requires the specific location proposed and there are no other suitable sites in, or close to, settlements covered by policies CS2-CS8 or on brownfield land;</i>	The development relates to an existing, established marquee/ event hire operation. There are no other suitable sites within existing centres that would adequately meet the needs of the business; indeed, it would be wholly unsustainable to locate the proposed facility away from the existing operating site.
<i>iii</i>	<i>they are viable as a long-term business;</i>	The development forms part of an existing, established, locally based business. It is a viable long-term business.
<i>iv</i>	<i>the scale, design and form of the proposal, in terms of both buildings and operation, will be appropriate for its location and setting and be compatible with surrounding land uses;</i>	The development by its scale and relationship to the existing site, is considered wholly appropriate. The extension and the new building are proportionate in scale to the overall site, and they will have limited wider impacts. From the limited vantage points where there is a limited (and partial) visibility of the building it will be typically be seen in conjunction with existing adjoining buildings and the wider site, and not in isolation
<i>v</i>	<i>where the proposal includes a retail use, it is demonstrated that this will not have an adverse impact on the vitality or viability of local centres; rural service centres; and shops and services in surrounding villages; and</i>	There is no retail element to the proposals that would impact upon the viability or vitality of local service centres or rural centres, or services in surrounding villages

vi	<i>vi. they will not create significant or exacerbate existing environmental or highway safety problems.</i>	The development will have no highways implications. The site is presently in active use, and includes a high-quality access onto Grassthorpe Road (approved as part of the original marquee hire consent; 15/01263/FUL) The proposed development will not fundamentally alter the manner in which the overall site is utilised or functions, and will result in only a minimal increase in traffic flows to and from the site. The existing use gives rise to no environmental problems / issues.

46. The proposed development demonstrably satisfies these policy considerations.

47. Policy DM3 relates to General Development in the Countryside. Three sections of the Policy deal with Replacement Buildings, Re-use of Previously Developed Land, and Agricultural / Equine Facilities. Section B of the Policy states;

Proposals for the re-use of previously developed land outside Development Boundaries will be supported, other than where the site has naturally regenerated to the extent that it is of biodiversity value (see Policy DM9), where they result in:

- i. the redevelopment of the site for the existing permitted use (other than where this is clearly no longer appropriate in the context of e.g. nearby residential amenity or wider sustainability issues); or*
- ii. the redevelopment of the site for a use requiring a rural location; or*
- iii. the redevelopment of the site for affordable housing or community services and facilities (where this is in line with the Spatial Strategy policies); or*
- iv. the restoration or natural regeneration of the site either in line with the Council's Green Infrastructure aims or to become a functional part of the open countryside (e.g. sustainable wetlands); and*
- v. development that will not create significant or exacerbate existing environmental or highway safety problems.*

Where the redevelopment of a site for the existing permitted use is clearly no longer appropriate, consideration will be given to other uses in line with the approach set out in the Spatial Strategy policies and where explicit community support is demonstrated.

48. Whilst the emphasis of the policy appears to relate to new uses of existing previously developed sites, rather than the expansion of existing active uses, we can identify no policy conflict;

- ❖ The proposed development is consistent with the existing permitted site use.
- ❖ The site adjoins an existing, established marquee hire use (which itself was deemed policy compliant under the terms of Core Strategy policies). That site is now established in this location, and consolidation/ expansion of activity at this site, rather than a new site is the most appropriate and sustainable option. The site expansion in this case is modest and proportionate.

- ❖ The proposed development will have no implications in terms of access and highways. Visibility at the site access is appropriate to the location and in line with highway authority standards.
- ❖ The development will have no adverse environmental impacts.

49. Policy DM4 identifies arrange of planning / design considerations that will be applied to development proposals. The policy distinguishes between major development proposals (adopting the national definitions) and non-major proposals. The proposal in this case, is not a major development. In relation to non-major developments the following criteria are identified. We comment on the proposal’s compliance with these criteria below;

POLICY DM4: DESIGN AND CHARACTER		
GENERAL DESIGN PRINCIPLES		
<i>Individual development proposals, including single buildings, changes of use or extensions to existing buildings, will only be accepted where they are of a high-quality design that addresses the relevant areas below:</i>		
N o.	Criteria	Comment
i	<i>Local character and distinctiveness</i> <i>New development, particularly backland and infill development, should respect its wider surroundings, in relation to historic development patterns or building/plot sizes and forms; density; and landscape character.</i>	The development in this case respects its surroundings. The site extension, where seen, will be viewed in conjunction with the existing site use, and not in isolation. The site extension will be in large part screened by existing hedges. The proposed building is appropriately designed in its context and will complement the adjoining materials in terms of its restrained (agricultural building-type) design. The overall site has limited visibility from longer distances, and is generally well contained by the landscape.
ii	<i>Architectural quality</i> <i>New development should respect its context, without resorting to negative pastiche architecture, in terms of density, height, scale, mass, materials and detailing. Development in prominent positions at ‘gateways’ to settlements or town centres will be of particularly high-quality design that will serve to reinforce a positive perception about the quality of place.</i>	The restrained building design is appropriate in its context. It has the form and appearance of an agricultural style building and will sit comfortably within its wider landscape. The building is appropriately scaled and will not be dominant or overbearing, or intrusive in the landscape. Materials will match the materials of adjoining buildings.

iii	<p>Public realm New development should support stimulating and safe streets and public spaces, with active frontages at ground level to public spaces; have appropriate landscaping and boundary treatments (retaining historic walls and hedgerows); integrate crime prevention measures where this will not compromise the other principles of good design; and provide useable and functional open space.</p>	<p>The development will have no negative impacts upon the public realm. This is an established functional, commercial site. Whilst the site has some limited visibility in the immediate vicinity of the site, it has no adverse impacts upon the wider locality. The visible elements of the overall site, whilst changing, will not be visually harmful.</p>
iv	<p>Accessibility New development should ensure that all people, including those with disabilities, can easily and comfortably move through and into it; prioritise safe, easy and direct pedestrian movement and the creation of a network of attractive, well-connected public spaces; establish both visual and functional relationships between the different parts of a development and between the development and its wider setting.</p>	<p>The development is associated with an established commercial use. There is no public access to the site. Accessibility considerations will be limited to employees. The particular nature of the site, comprising a marquee hire use, means that most movements to and from the site will be by small scale commercial vehicles. Private car journeys will be limited.</p>
v	<p>Amenity New development should ensure that it does not have a detrimental effect on the residential amenity of nearby residents; provides a decent standard of private amenity space; allows adequate space for waste and recycling storage and collection; and is not to the detriment of highway safety.</p>	<p>The development will not affect the residential amenity of any dwellings. The proposed building is located over 50m from the nearest existing dwelling, with the existing buildings and yard set between. The building is to be used for storage purposes only and no issue of noise / disturbance will arise from the operation of the building.</p>

vi	<p>Carbon reduction</p> <p><i>New development will need to demonstrate that careful consideration has been given to minimising CO2 emissions and measures that will allow all new buildings in Bassetlaw to adapt to climate change. Such measures include, but are not limited to: use of suitable construction materials; site layout and building orientation that makes best use of passive heating and cooling, natural light and natural ventilation; minimising water consumption and maximising water recycling; achieving the highest feasible level of energy efficiency; and maximising opportunities to integrate renewable and low carbon energy infrastructure.</i></p>	<p><i>The development has no implications in relation to this consideration. However, the provision of a suitable level of on-site storage is likely to result in a reduction in journeys to and from the site.</i></p>
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50. Policy DM7 relates to Securing Economic Development. The policy relates to new economic development proposals as well as alternative uses of existing economic development sites. In relation to future development, the policy reads as follows;

POLICY DM7: SECURING ECONOMIC DEVELOPMENT

A. Future Development Proposals

Particular support will be given to economic development proposals that are able to:

- i. harness the educational and research potential of North Nottinghamshire College; and/or*
- ii. guarantee employment programmes for local residents that provide opportunities for training and development and will contribute to raised workforce skills levels within the District; and/or*
- iii. deliver, or contribute to, opportunities for the growth of indigenous businesses;*
and/or
- iv. bring significant, good quality inward investment opportunities to the District;*
and/or
- v. Support and utilise growth opportunities in connection with Robin Hood Airport.*

New employment allocations will be expected to deliver, or provide opportunities for the development of, starter units and grow on space for small and medium-sized enterprises.

51. The proposed development in this case will clearly facilitate the growth and development of an existing, indigenous firm. In the circumstances we can identify no conflict with the policy.

52. In all these circumstances, we conclude that the proposed development will be consistent with development plan policy, in particular the Bassetlaw Core Strategy. Having regard to the fact the development is policy compliant, and represents the expansion of an existing established business, the development must be seen as a sustainable development in NPPF terms. The embodied presumption in favour of sustainable development therefore applies in this case.
53. The emerging Bassetlaw Local Plan adopts a generally consistent approach to rural economic development. Policy St11 relates to Rural Economic Growth. The policy supports the expansion of businesses in rural areas subject to a number of criteria being satisfied. For the most part these are in line with the relevant policy criteria set out within the Core Strategy that we have described above.

POLICY ST11: Rural Economic Growth and Economic Growth outside Employment Areas

Proposals for the growth of businesses in the rural area and outside established employment sites/allocations will be supported where all of the following are met:

- a) *there is a proven need for the development in terms of a business opportunity or operational requirements;*

Comment: There is a clear need for additional storage capacity in connection with the existing development, to meet existing and future operational needs.

- b) *in the case of existing sites, the proposed development cannot physically and reasonably be accommodated within the existing curtilage;*

Comment: There is no space within the confines of the existing site to accommodate the proposed building. The site enlargement proposed is considered to be appropriately scaled and located, where its impact will be minimal.

- c) *the scale of development is appropriate in the proposed location;*

Comment: The proposed building and the site extension are appropriately scaled in their particular context and commensurate with the operational needs of the business.

- d) *where appropriate the proposal makes efficient use of previously developed land and re-use of existing buildings;*

Comment: Part of the site proposed for the new building already comprises a hardstanding area utilised in connection with the business.

- e) *the development will have no adverse impact on the character of the location, the surrounding townscape or landscape, the form and character of the settlement or upon biodiversity and heritage assets;*

Comment: The development in this case respects its surroundings. The site extension, where seen, will be viewed in conjunction with the existing site use, and not in isolation. The site extension will be in large part screened by existing hedges. The proposed building is appropriately designed in its context and will complement the adjoining materials in terms of its restrained (agricultural building-type) design. The overall site has limited visibility from longer distances, and is generally well contained by the landscape.

- f) *safe access can be achieved by vehicles, and where appropriate sustainable transport and public transport, and that there will be no unacceptable impact on the safe operation of the highway network; and,*

Comment: The development will have no highways implications. The site is presently in active use, and includes a high-quality access onto Grassthorpe Road (approved as part of the original marquee hire consent; 15/01263/FUL) The proposed development will not fundamentally alter the manner in which the overall site is utilised or functions, and will result in only a minimal increase in traffic flows to and from the site. The existing use gives rise to no environmental problems / issues.

- g) *the development generates no adverse impact on residential amenity in accordance with Policy 48.*

Comment: The development will not affect the residential amenity of any dwellings. The proposed building is located over 50m from the nearest existing dwelling, with the existing buildings and yard set between. The building is to be used for storage purposes only and no issue of noise / disturbance will arise from the operation of the building. The proposals will not conflict with the terms of Policy 48.

Accordingly, we can identify no policy conflicts in this instance.

Conclusions

14. These submissions illustrate that there is broad policy support – both nationally and locally - for the sustainable expansion of existing rural enterprises.
15. It is considered that in the context of this strong policy support, that these proposals represent an appropriate and proportionate expansion of the enterprise and one that gives rise to no harm to the surrounding area. The site is well-screened from public vantage points and the development will not give rise to any adverse impacts that would justify the withholding of consent. The proposed building will have a limited visibility and will not detrimentally impact upon the character and appearance of the locality. By its scale and location, and by the nature of the proposed use, the development will not give rise to harm to residential amenity.

16. It is considered that on its overall planning merits, the proposals in this case are acceptable and that planning permission should be granted in this instance.

Mike Sibthorp
Mike Sibthorp Planning

November 2023