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PLANNING STATEMENT

22022 – 2 Whitebeam Road, Oadby, Leicester, LE2 4EA

CONTENTS

- 1 INTRODUCTION3**
- 2 ASSESSMENT4**
 - 2.1 Physical 4
 - 2.2 Flood Risk 5
- 3 PREVIOUS APPLICATION AND LOCAL PLANNING HISTORY5**
- 4 THE APPLICATION PROPOSAL10**
 - 4.1 Use and Design 10
 - 4.2 Layout 10
 - 4.3 Amount 10
 - 4.4 Scale 10
 - 4.5 Landscaping 10
 - 4.6 Accessibility 10
 - 4.7 Energy 10
 - 4.10 Drainage 11
- 5 SUMMARY11**

1 INTRODUCTION

This planning statement has been carefully produced to support an application for planning permission on behalf of Mrs. Bhalla. The application is for a double storey side and rear extensions, single storey front and rear extensions, garage conversion and roof alterations at 2 Whitebeam Road, Oadby, Leicester, LE2 4EA.

Our clients' vision is to create a timeless family home, characterised by exceptional design and the use of quality building materials via extending the existing property for additional space and needs. By adopting high-quality construction practices, the new extensions will be well insulated and energy-efficient, contributing positively to the environment by minimising energy consumption and utilising sustainable resources.

We have also taken careful consideration of the existing structure of the dwelling, devising a solution that has tried to preserve most of its integrity. Our proposed design has tried elevating the site's overall aesthetic value, thereby leaving a positive impact on the local area. The aim is to achieve a design which blends modernity and traditional aesthetics harmoniously.

The existing site is not located in a conservation area. The development has been designed with the surrounding and existing buildings in mind.



Figure 1: Location of the Site Marked

2 ASSESSMENT

2.1 Physical

The application site is located just off a roundabout with a various range of house sizes and styles as seen in figure 2. The houses in the area display different sizes of 2-3 storey detached houses. Furthermore, the houses differ from one another via the use of brick colours, porch designs, and any render elements.

Currently our property portrays red brick on the front, sides, and rear, with render featured at the center of the front elevation and at the rear. Although there is no documentation regarding the rendering of the property, it is important to understand the property is not listed, nor is it located within a conservation area. Therefore, this means the render can be acceptable through permitted development if there are no substantial obstructions.

Moreover, I would like to mention that the surrounding areas such as Hawthorne Grove and Dogwood CT consist of diverse properties with distinctive render styles, adding to the temperament of the neighborhood and working well with the street scene.

In the area, parking options include private front of the house parking as well as on street parking. Additionally, neighboring properties incorporate UPVC windows and doors (White), as well as grey aluminum frames (seen in figure 4).



Figure 2: Whitebeam Road



Figure 3: Properties on Hawthorne Grove and Dogwood CT, Oadby, Leicester



Figure 4: A neighbouring property on Whitebeam Road with grey aluminium windows

2.2 Flood Risk

The site is not located in a flood risk area.

3 PREVIOUS APPLICATION

The initial application, with planning ref: 23/00039/FUL, was submitted January 20th, 2023, conveying the plans for a two-storey side and rear extensions, single-storey front and rear extensions, garage conversion and roof alternations, plus new garage, and new fencing to the side of the property. Unfortunately, on March 28th, we received a refusal from Oadby & Wigston Borough Council ("the Council").

Henceforth, we will communicate the grounds for the refusal, alongside our corresponding responses. We hope to work together to obtain a promising outcome for this application, given that the client has readily accommodated the adjustments proposed by the Planning officer.

Reason 1: The proposals would significantly overextend the original property and would result in a building that is overextended and out of keeping with the rest of the street scene.

Our response: In response to this concern, we have reduced the width of the two-storey side and rear extensions as well as removing the detached garage. This is visually illustrated in the figures 5 and 6.

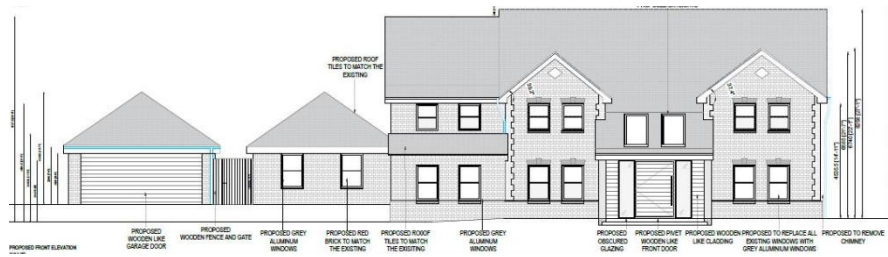


Figure 5: Proposed Front Elevation planning ref: 23/00039/FUL



Figure 6: New Proposed Front Elevation

Reason 2: The creation of a catslide roof at the front with large roof lights and an overly dominant porch isn't in keeping with the design of the existing property or street scene.

Our response: To address this matter, we have changed the porch design to a flat roof with columns to hold it up. This sits well in the street scene as many properties have this style as seen in the images below.



Figure 7: Porch designs on Whitebeam Road

Reason 3: The proposed two storey rear extension cut across both the existing rear and proposed side extension.

Our response: After considering this issue, we have decided to retain this element as it does not have a visual impact to the neighborhood. The below image (figure 8) shows how by the surrounding vegetation screens our applicant's property.



Figure 8: Entrance into Whitebeam Road

Reason 4: The conversion of the garage has a mix of hipped and gable roof that isn't acceptable.

Our response: Further to this concern, we have kept the existing roof structure as existing.

Reason 5: The use of glazed gables to the rear isn't in keeping with the fenestration of the existing property.

Our response: We have taken this concern into consideration; however, we decided to retain this feature. An example of glazed gables is available in the estate, an example to support this statement is shown below in figure 9. The property on Hawthorn Road is located only a three-minute walk from our property at 2 Whitebeam Road. This property portrays a side glazed gable design similar to ours.



Figure 9: A property on Hawthorn Road (same neighbourhood as Whitebeam Road)



Figure 12: Entrance towards Whitebeam Road



Figure 13: Entrance towards Whitebeam Road

Reason 10: Flat roofs can often appear as incongruous features inconsistent with the design of the roof on the existing house, and notwithstanding that these extensions are on the rear, they would be visible from public viewpoints along Stoughton Road through the boundary vegetation, especially in the winter months.

Our response: Whilst taking this issue into consideration we have retained the flat roof designs as it is hidden from public viewpoints from Stoughton Road via the vegetation boundary as seen in figure 14. An example being the property on Hawthorn Road (shown in figure 9). Flat roof extensions are also considered acceptable under permitted developments. Furthermore, 72 Stoughton Road property, situated at the entrance of the Road highlighted in red in figure 15, rear to our client's property (highlighted in blue) has a glass gable feature as well as a balcony which is visible from both the road and the 2 Whitebeam Road's property. This is not hidden from public viewpoints, therefore the extension on Mrs Bhalla's property is reasonably acceptable.



Figure 14: Stoughton Road



Figure 15: Stoughton Road

4 THE APPLICATION PROPOSAL

4.1 Use and Design

The applicant is seeking approval for a double storey side and rear extensions, single storey front and rear extensions, garage conversion and roof alterations. This includes internal and external alterations.

The developed property aims to provide a high-quality residential extension which responds to the site, enhancing the local neighbourhood. The proposed new extension intends to maintain this feature of high-quality homes by designing a comfortable home that focuses on providing open spaces.

The proposal is inclined by the client's need for space for their family.

The design will utilise materials similar to what can be seen on the existing street scene on Whitebeam Road such as red brick. A specified design layout of the proposal is displayed on the accompanying drawings and site plan. The proposed design sits comfortably within the existing site and landscape. The privacy and access to light of the neighbourhood properties have been cautiously considered by using the 45-degree method, permitting the best proposal and most comfortable option for the site.

4.2 Layout

Refer to drawings.

4.3 Amount

The total existing site area is 1266 sqm approx. The total footprint of the existing dwelling is 216 sqm. The proposed dwelling will be 249 sqm approx.

4.4 Scale

The proposed development is designed to accommodate the local area due to the important relationship between scale of a building and the existing/surrounding area.

The development will blend into the surrounding area smoothly and create a visual balance between the new and the old, remaining sympathetic to the area and the neighboring properties.

4.5 Landscaping

The site has plenty of trees and vegetation surrounding its boundary. We have aimed not to remove any trees in this area, leaving it untouched.

4.6 Accessibility

The entry to the property will be off the main road and into the site (refer to drawings).

4.7 Energy

Energy efficient in line with the current regulations.

4.10 Drainage

Existing drainage

5 SUMMARY

The planning statement supports an application for planning permission on behalf of Mrs Bhalla. The proposal involves a double storey side and rear extensions, single storey front and rear extensions, garage conversion and roof alterations, plus new fencing to the side of the property.

The site's context has varied house sizes and styles. The proposal considers the area's architectural diversity, utilizing a mix of materials that harmonise with neighbouring properties. The proposal addresses concerns raised in a previous application's refusal, including adjustments in its, material choice, changes in porch design, balconies, and the impact the size of the extension could have in the existing area.

In summary we feel the changes which have been made show a willingness to work with the concerns raised previously. The compromise has created a scaled back scheme which has a reduced impact to the street scene.

Overall, the planning statement presents a well-considered proposal that aims to enhance the local area while meeting the needs of the clients for a comfortable, sustainable, and visually appealing family home.

We welcome your decision.

Signed TS

Date 18/10/23

Checked K.S