



Heating: New radiator from extg. boiler and fitted with Thermostat Radiator Valve. Boiler to be upgraded if of insufficient capacity

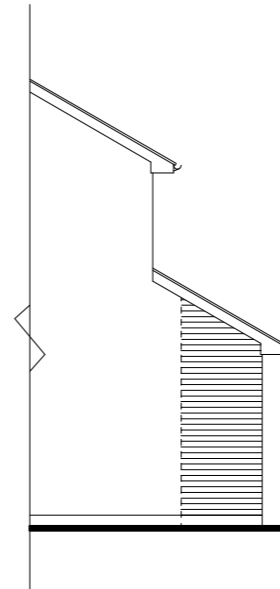
This proposal is subject to the Party Wall Act 1996 which requires you to serve the adjoining owner with a party structure notice at least 2 months prior to commencement of works. -Seek further advice

**KEY:**  
 AB - Air Brick  
 Mechanical air extractor  




Prop. Front Elevation

Scale 1:100  
 0 4m



Prop. Side Elevation

Scale 1:100  
 0 4m

**NOTES:** All material and work must comply with the relevant BS and the current Building Regulations. Builder must check site dimensions and report any discrepancies to the designer. Any work affecting adjoining property must be carried out with the written consent of the concerned party. New bwk. built into extg. and shown hatched. All dimensions are in mm, to structural elements, and to take priority over scale.

**Hot & cold water supply (new fittings only)** Make provision of wholesome water to sink and for drinking, wholesome or softened water to washbasin, bidet, fixed bath or shower and a water of suitable quality to flushable sanitary conveniences. Make provision of heated wholesome or softened water to any washbasin, bidet, fixed bath or shower and sink. The hot water storage system shall incorporate precautions to prevent water exceeding 100C; and ensure that any discharge from safety devices is visibly and safely disposed. The hot water supply to any fixed bath must be designed not to exceed 48C. The Contractor is to provide the owner with sufficient information to enable use of water efficiently and submit commissioning certificates to LA Building Control not later than 5 days of commissioning.

**GENERAL SPECIFICATIONS** (as applicable)

**PITCHED ROOF:** Tiles to near match extg. on 38x25 s.w battens on Tyvek Supro underlay fixed in accordance with manufacturers instructions on roof members as detailed. Walls to be secured to ceiling ties and rafters with 30x5 galv. m.s joist straps on noggins @ 1.2m crs. to provide lateral restraint. 2 layer, 300mm fibre glass insulation between and over ceiling joists. Finish Skim ceiling on 12.5mm vapour control pl.brd. Code 4 lead flashing to all abutting walls,

**CAVITY WALL:** 352mm cavity wall comprising 102mm facing bricks outer leaf to match extg. (100 Hemelite blk where rendered), 150mm cavity insulated with fibre glass Dritherm 37, 100mm Thermalite Shield 2000 Blocks. Cavity to be taken min. 225mm below lowest dpc and the remainder filled with lean mix conc. Cavity insulation overlapped with roof & floor insulation. Proprietary cavity closures of max. R value 0.45m2K/W. Wall ties to BS 1243 @ 900crs. horizontally and 450mm crs. vertically in a diamond pattern, increased to 300mm crs. vertically at door/ window openings and at roof level. 13mm plaster skim finish inside walls. Movement joints in bwk at max. 12m crs, blk 6m crs.

**FLOOR SLAB:** Floor finish to clients choice on 65mm cement/sand screed on 100mm GA4000 floor insulation (habitable rooms only) on 1200g polythene dpm on 100mm (150mm if reinforced) 1:2:4 conc. on 150mm blinded hardcore. 25mm edge insulation.

**DPC:** High performance dpc to BS 8315:1991 to ext wall, 150mm min. above G.L. Similar vertical DPC to all openings

**ELECTRICAL & HEATING INSTALLATION:** All electrical work to comply with B-Regs Part P (Electrical Safety), must be designed, installed, inspected and tested by a person competent to do so. An electrical installation certificate to BS 7671 & heating commissioning certificate by Gas Safe engineer to be submitted to Building Control on completion. Provide low energy lighting point, min. of 3 in 4 of light fittings, <45 lumens per circuit watt.

**FOUNDATIONS:** Conc. footing mix 1:2:4 min depth 600mm below GL. or to suit prevailing ground conditions. Foundations within 1m of drains to be taken lower than the invert level of the drain and made up with lean mix conc.

**LINTELS:** Insulated Catnic CG150/100 on openings in cavity wall, CN71a (insulated) on openings in 1B solid wall, reinforced conc. lintel over openings in new 100mm walls, unless noted otherwise. 150mm min. bearing.

**EXT. DOORS & WINDOWS:** Upvc with 28mm Argon filled double glazed units to achieve u-value of 1.4 for doors and windows with draught proof seals. Reveals lined with 25mm insulated pl. brd., 25mm insulation brd below wind board. Safety glazing to all panes in and within 300mm of new doors up to 1500mm from FFL and in windows, for panes within 800mm of FFL.

**FASCIA BOARD:** Min. 16mm thick PVC fascia board

**VENTILATION:** 1/20th of floor area. 225x150 air brick or trickle vent, of equivalent controllable air flow 8000mm2 in habitable rooms and 4000mm2 in wet rooms, mechanical extractor ventilation to kitchen 60L/s, utility 30 L/s, bathroom 15L/s and WC 6L/s

**DRAINAGE:** Fittings to have 75mm deep trap with clear eye, 40mm waste pipes to be discharged below gully grid and 50mm above the water level in the trap of BIG. 110mm PVC-U pipes to BS EN 14-01, flexible jointed, bedded and surrounded in granular fill. Min fall 1:80. Drains passing through walls to be sleeved and flexible jointed on both sides of the wall. MH. constructed in 215 semi-eng. bwk set on 150mm conc base, CI cover and frame. Inspection chamber (IC) in plastic to BS 7158 and cover to suit loading condition. Builder to establish the accuracy and invert levels of extg. drains prior to commencement of works.

**RAIN WATER DISPOSAL:** Roof laid to fall to 100mm pvc gutter to 63mm pvc down pipe.

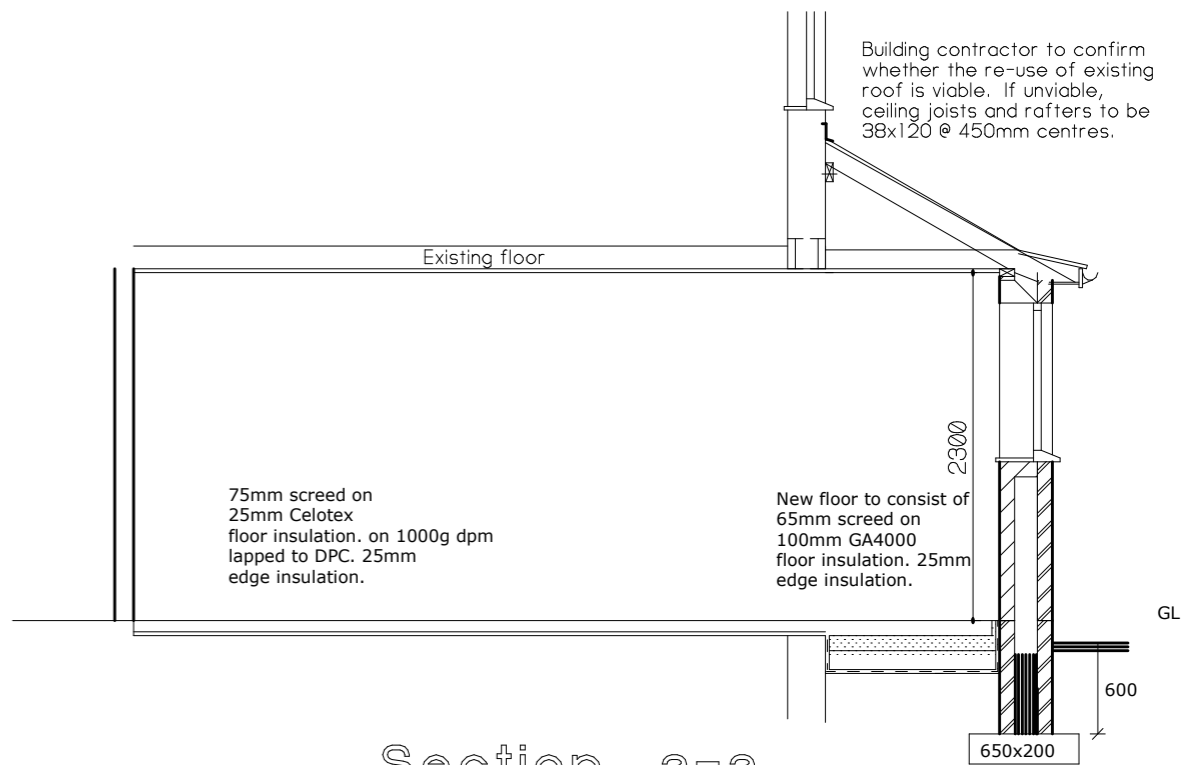
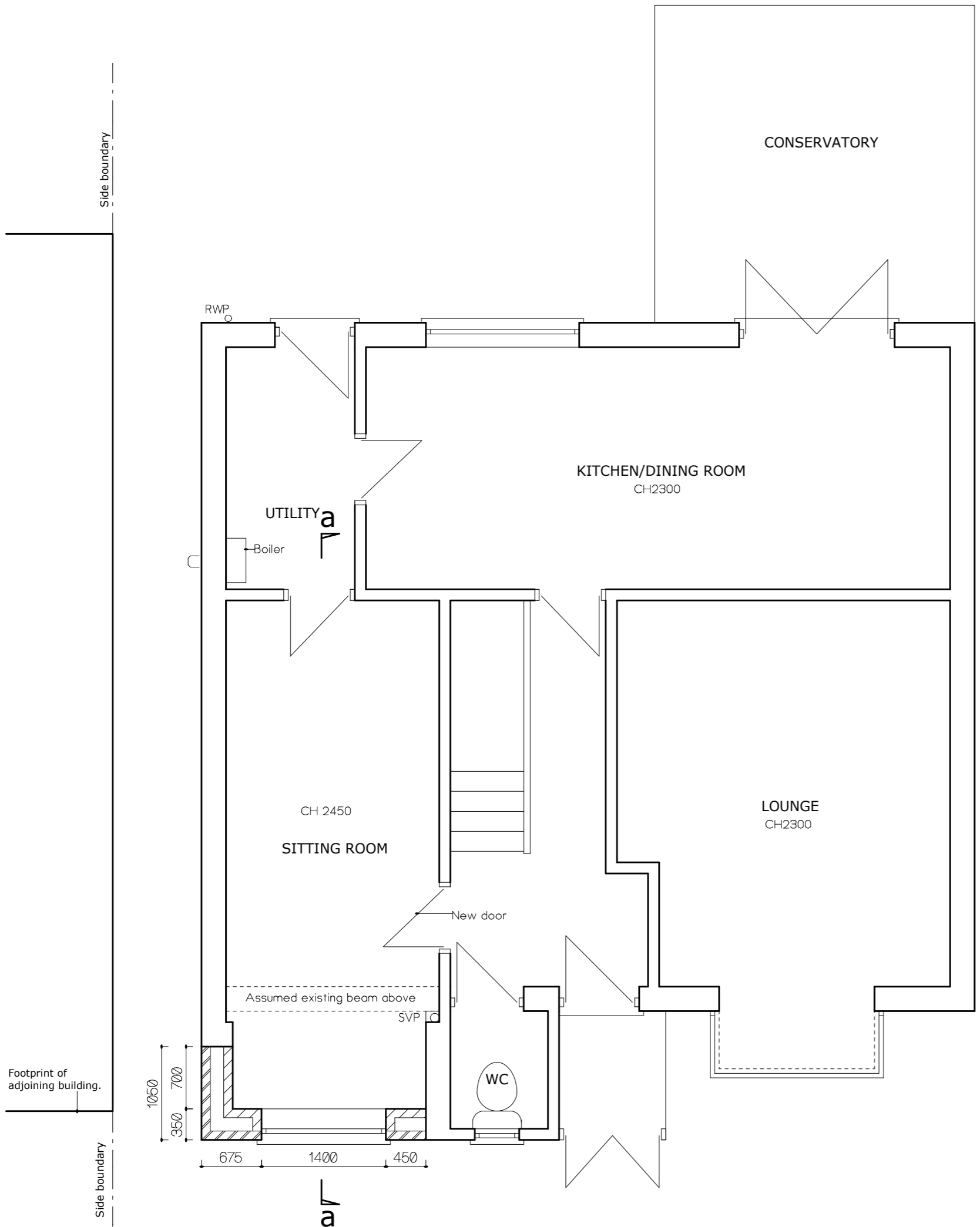
P01	29/11/23	Preliminary Issue
Rev	Date	Amendment

<p><b>HD Kalsi</b>                  Tel: 07506 710209                  E-mail: daniel.kalsi@hotmail.co.uk</p>	<p><b>Client:</b>                   Mr Gyan Chand                  43 Taylor Way                  Tividale                  B69 1JP</p>
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**Site:** 43 Taylor Way  
 Tividale  
 B69 1JP

**Drawing Title:** Proposed Elevations

<b>Drq.No:</b> 18/23/D001	<b>Date:</b> 29/11/2023
<b>Scale:</b> 1:100	<b>Revision:</b> P01
<b>Drawn:</b> HDK	



Building contractor to confirm whether the re-use of existing roof is viable. If unviable, ceiling joists and rafters to be 38x120 @ 450mm centres.

Section a-a  
Scale 1:50

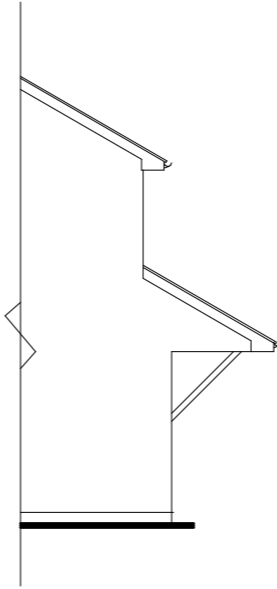
Prop. Plan  
Scale 1:50  
0 2m

P01	29/11/23	Preliminary Issue
Rev	Date	Amendment
<b>HD Kalsi</b>		<b>Client:</b>
Tel: 07506 710209 E-mail: daniel.kalsi@hotmail.co.uk		Mr Gyan Chand 43 Taylor Way Tividale B69 1JP
<b>Site:</b>	43 Taylor Way Tividale B69 1JP	
<b>Drawing Title:</b>	Proposed Plan and Section	
<b>Drg.No:</b>	18/23/D002	<b>Date:</b> 29/11/2023
<b>Scale:</b>	1:100	<b>Revision:</b> P01
		<b>Drawn:</b> HDK



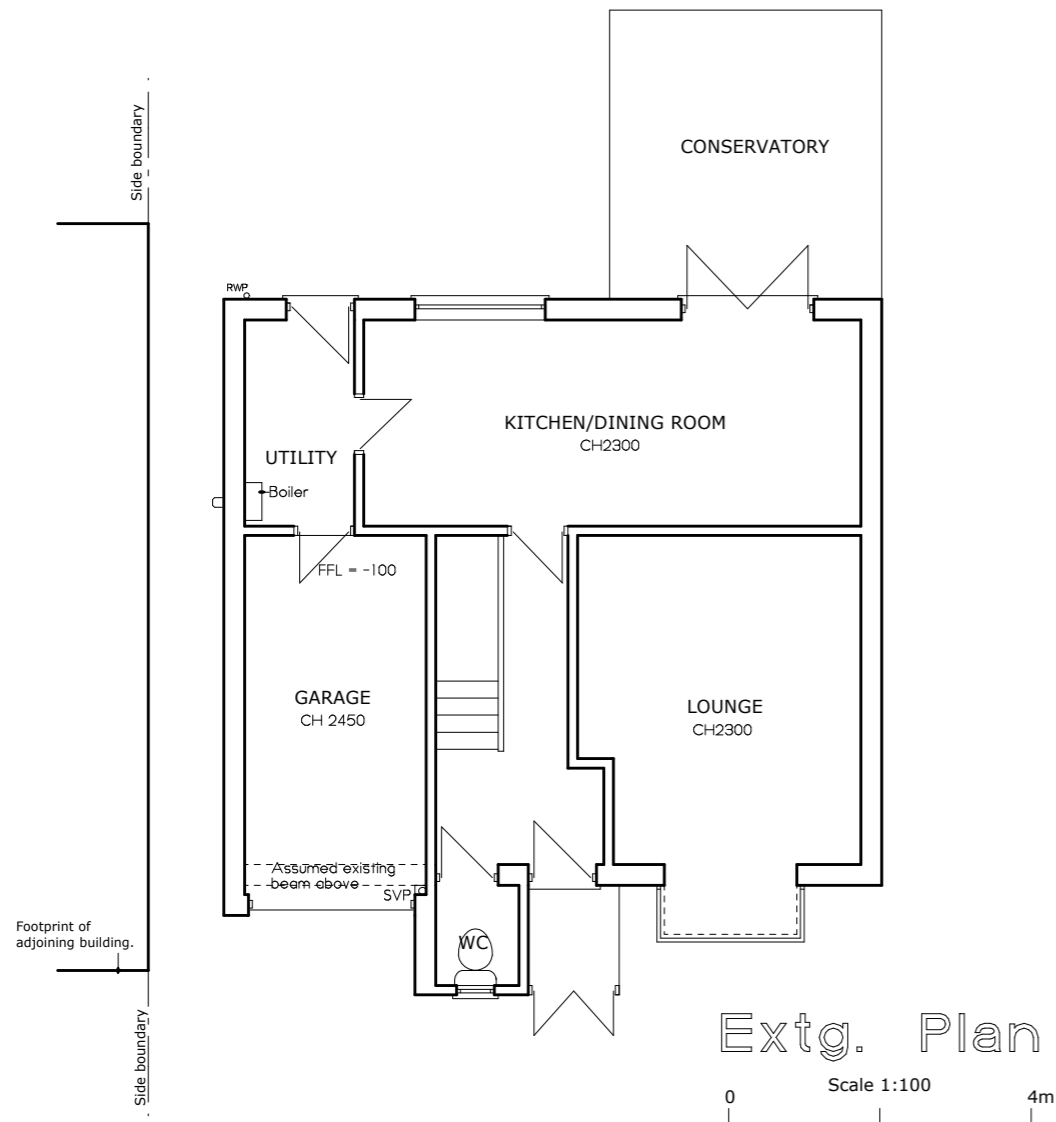
Extg. Front Elevation

Scale 1:100  
0 4m



Extg. Side Elevation

Scale 1:100  
0 4m



Extg. Plan & Elevations

P01	29/11/23	Preliminary Issue
Rev	Date	Amendment

<p><b>HD Kalsi</b> Tel: 07506 710209 E-mail: daniel.kalsi@hotmail.co.uk</p>	<p><b>Client:</b> Mr Gyan Chand 43 Taylor Way Tividale B69 1JP</p>
	<p><b>Site:</b> 43 Taylor Way Tividale B69 1JP</p>

**Drawing Title:**  
Existing Plan and Elevations

**Drg.No:** 18/23/D003      **Date:** 29/11/2023

<b>Scale:</b> 1:100	<b>Revision:</b> P01	<b>Drawn:</b> HDK
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