

DESIGN AND ACCESS STATEMENT

PROPOSED REDEVELOPMENT

**Land at KNOLE,
KITWALLS LANE, MILFORD ON SEA.
for Solent Projects New Homes Ltd.**

January 2023

The Local Area

Kitwalls Lane is a private road serving eleven detached properties in the built-up area of Milford on Sea. The general perception of the lane is its sylvan nature and relatively rural feel, many of the properties gardens containing mature trees and shrubs in addition to hedging bordering the lane.

With the exception of the neighbouring property 'Plovers' the built form is that of large footprint dwellings set in spacious grounds. The buildings are a mix of single and two storey of traditional appearance. The set back of the buildings from the border with the lane and gaps between buildings and their boundaries lend a spatial character to the area.



Kitwalls – opposite the Application Site

The Site and Existing Property

The site of Knole is currently occupied by a large two storey detached dwelling, its footprint being similar to the majority in the lane. It is a building with a very traditional character featuring lead light windows, facing brickwork to its facades and plain tiled gabled roofs. Within its spacious grounds are a number of outbuildings some of which the Application proposes to dismantle. A large timbered garage building is located in its frontage.

Application Site Background

A proposal was put forward by the owner of Knole in the form of a Pre-Application Guidance submission in the latter part of 2020. This proposed the subdivision of the Knole site and the construction of a chalet style dwelling and carport on the north eastern section of the existing garden. The formal response from the Planning Department was positive and supportive of the proposal.

Kee Design have subsequently been appointed to prepare proposals, based on this encouraging response, for submission of a Full Planning Application.



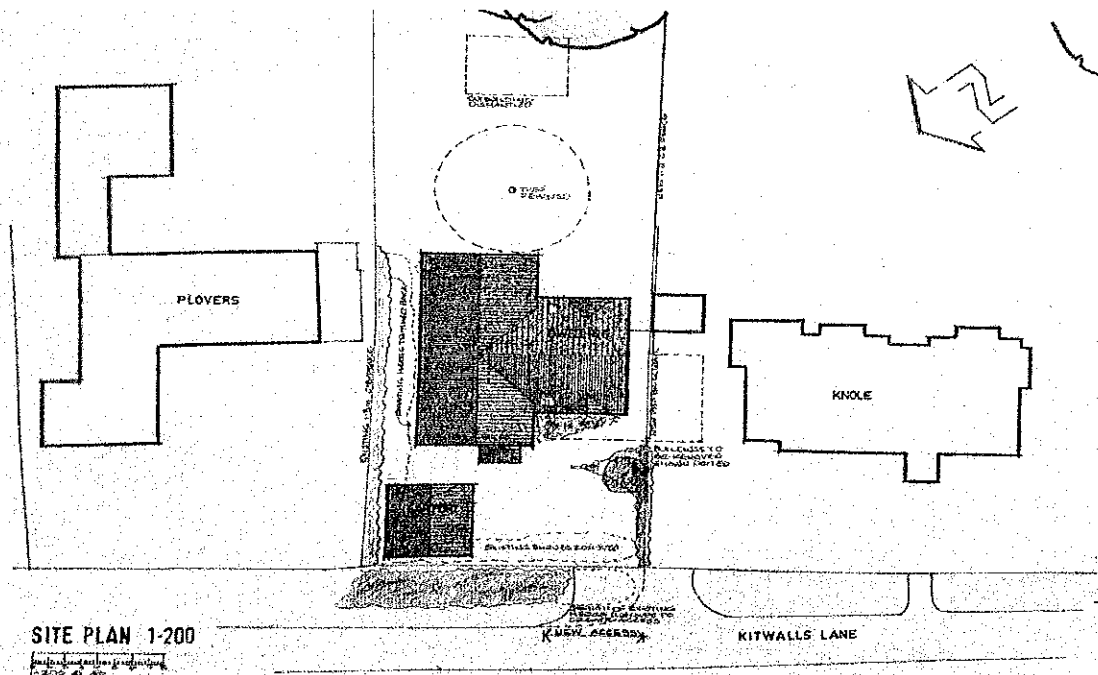
Knole with Field House in the background

The Application Proposals

The site form differs modestly from that of the Pre-Application submission as the owner of Knole wished to retain an existing gazebo feature within the grounds. The brick wall forming the south east side of this building now sets the Application Site boundary position and the proposals have been modified accordingly to suit this requirement.

The proposed dwelling has a footprint and positioning within the site similar to the Pre-App proposals, maintaining the gaps between buildings, boundaries and the set back from the lane and following the general 'building line' on this side of the lane.

As with the Pre-Application proposals access is gained alongside the existing access to Knole on the north east side of the site. Removal of a small section of the lane side hedging is required to achieve this. A carport to accommodate two vehicles is sited in the frontage.



The main change to the proposals is in the form that the building now takes. It was considered that the chalet style of the Pre-App proposals perhaps lacked cohesion with either the host property Knole or the adjacent dwelling Plovers. Therefore the external appearance of the building has been subtly modified to identify more closely with the host property.

The design retains a single projecting gable to the north east side of the dwelling, the roof sloping down towards the lower levels of Plovers. The ridge and eaves levels are similar to that of the host property, a gabled element facing towards Knole giving a reverse repeat of the pattern of this building. Dormer roofs on this section of the proposed dwelling echo a feature which predominates in the lane. A projecting pitched roof porch to the front of the building further link to the character of the host property.

External finishes are proposed as facing brickwork, plain tile hanging to the gables and plain tiled roof slopes, reflecting the traditional character that most of the properties in the lane feature.

Flood Risk Assessment

Research has identified that the site is not in an area that is at risk from flooding. Proposed arrangements on site for rainwater drainage would not present an additional risk in that regard.

Access, Parking and Access to the Proposed Dwelling

The proposal provides two parking spaces within the carport in addition to the availability of parking within other areas of the frontage. Access being gained from the private lane which accords with that proposed on the Pre-App submission.

The proposed dwelling would be in accordance with Part M of Building Regulations to ensure they are suitable for all future occupants and visitors.

Site Arboriculture

An Arboricultural Impact Assessment accompanies this Application, identifying the condition of trees on site, those to be removed and any which require protective measures.

Ecology

An Ecological Appraisal is submitted as part of the Application.

Renewable and Low Carbon Statement

The dwelling will be compliant with the revised Approved Document L of Building Regulations which came in to force in June 2022, with building targets requiring a 30% reduction in carbon emissions.

Broadband Connection

The proposed dwelling will be compliant with Approved Document R of Building Regulations ensuring that they will be provided with a High-Speed Internet connection.

Air Quality Statement

The applicant will provide the requisite fee to allow Air Quality Monitoring to be undertaken as part of a Unilateral Undertaking in respect of Mitigation Payments.

Conclusion

It is considered that the proposal is comparable with the scheme that received support under the Pre-Application Guidance process. It provides a positive and attractive contribution to the street scene an a harmonious balance with the form and scale of nearby properties, achieving a sympathetic redevelopment.

It accords with the requirements of all National and Local Planning Policy Documents.