

Heritage Statement – 10 Newlands Manor, Everton, Milford on Sea, SO41 0JH

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1. Introduction and context

This Heritage Statement has been produced to reflect upon a live planning application for extensions and alterations to a dwellinghouse within the Newlands Manor estate, further to an initial objection from the Conservation Officer. The case reference is 23/10978. The Conservation Officer's first objection is to a lack of information, which this statement seeks to address.



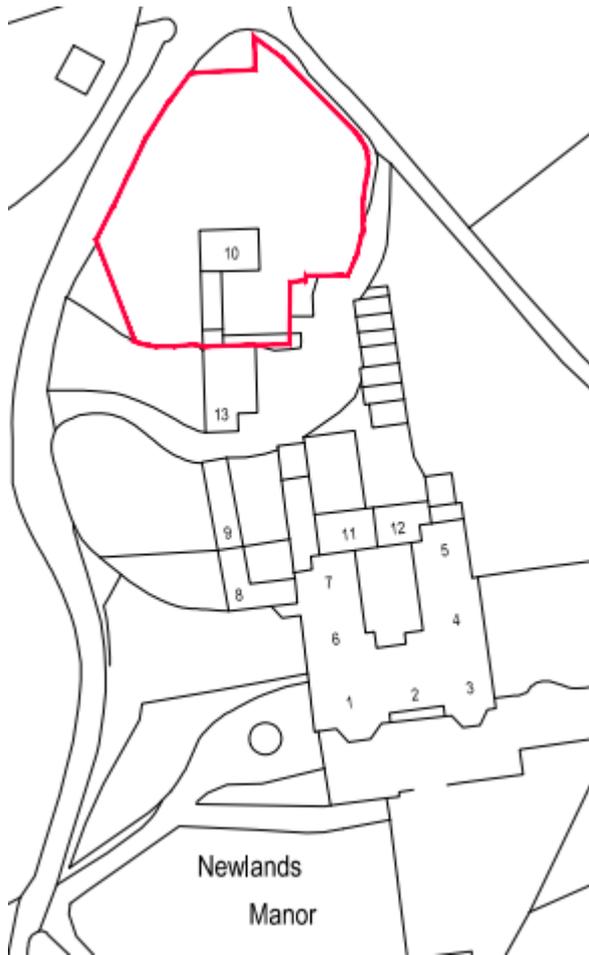
The existing house known as 10 Newlands Manor

2. Background to 10 Newlands Manor and its 'Listed' status

The existing building – pictured above - doesn't give the initial impression of being a 'listed building'. On the Location Plan, derived from Ordnance data, it is shown attached to a longer range of buildings which lead down towards the converted Manorhouse, however, in reality there is a gap between structures – as pictured on page 2. Unit 10 is the northernmost building in the suite of service accommodation, with a gravel access track between units 10-13 and the rest of the Manor buildings.

Newlands Manor dates from 1805. Admiral Sir William Cornwallis and Mrs Cornwallis-West lived there then. It was built following a fire in 1801, which destroyed the former Manor house.

The estate was sold around 1919/1920, and again around 1938/1940. The principal elevations of the Manor are to the south, with servicing to the north. It was divided up into residential apartments, further to a private sale of the Manor in 1948.



Excerpt from the Location Plan submitted with the current application



Photo of site from east, with gap between the brick and rendered buildings

As shown on the Historic England website, there are 2 Listings at the Newlands Manor site:



Excerpt from Historic England Listing map

The lower pin is for Newlands Manor, and reads as follows:

Details

1. 5235 LYMINGTON ROAD (West Side) MILFORD ON SEA ----- Newlands Manor
(Formerly listed under Milford Road) SZ 29 SE 10/122 22.12.53.

II GV

2. Late C18/early C19 house in Gothic style not dissimilar to the simpler Gothic work of James Wyatt. Symmetrical facade. Faced with Roman cement. Now divided into separate dwellings. 2 storeys, the main front faces south and has 9 windows. Consists of a centre portion of 3 windows, each bay flanked by octagonal buttresses with pointed crocketed pinnacles. Plain buttresses between the other windows of the bays with smaller similar pinnacles above. Castellated parapet over the whole front. The centre portion has a loggia on the ground floor between the bays, with buttresses separating each loggia bay and a castellated parapet, with pinnacles above. Gothic windows with glazing bars. The east front has 6 windows but possibly was built out at a later date on the ground floor, or ground and first floors. Inside open well iron staircase with straight balusters and stone stairs. 6 panel doors. **At rear, lower brick buildings also now converted into houses.**

The listed buildings on the Newlands Manor Estate, form a group.

List Entry Number:

1275018

Date first listed:

22-Dec-1953

The central pin relates to the same listing, 1275018.

The highest pin refers to the Clock Tower at Newlands Manor:

Details

1. 5235 LYMINGTON ROAD (Westside) MILFORD ON SEA ----- The Clock Tower at Newlands Manor (in garden of Garden Cottage) SZ 29 SE 10/265

II GV

2. Late C18/early C19. In the centre of what was originally the kitchen garden of the house, though it is suggested (ref Pevsner, Hampshire) that it may have been part of earlier stables. Square section, standing on 4 square columns with a round headed arch between them on each side. This ground floor portion and the section above, which is inset, are faced with Roman cement. Above is a section, further inset, of red brick with an octagonal cupola above containing a bell with a dome and weather-vane over.

The listed buildings on the Newlands Manor Estate, form a group.

The final pin refers to the Pavilion Garden Temple at Newlands Manor:

Details

1. 5235 LYMINGTON ROAD (West Side) MILFORD ON SEA ----- The Pavilion Garden Temple at No 5 Newlands Manor SZ 29 SE 10/264

II GV 2. LateC18/early C19. Small Doric temple, of which the front is pedimented with 2 wooden columns and 2 pilasters.

The listed buildings on the Newlands Manor Estate, form a group.

In each entry, the Listing is finished with the phrase:

“The listed buildings on the Newlands Manor Estate, form a group”.

It is important to note that this does not say: “all of the buildings at Newlands Manor are Listed”.

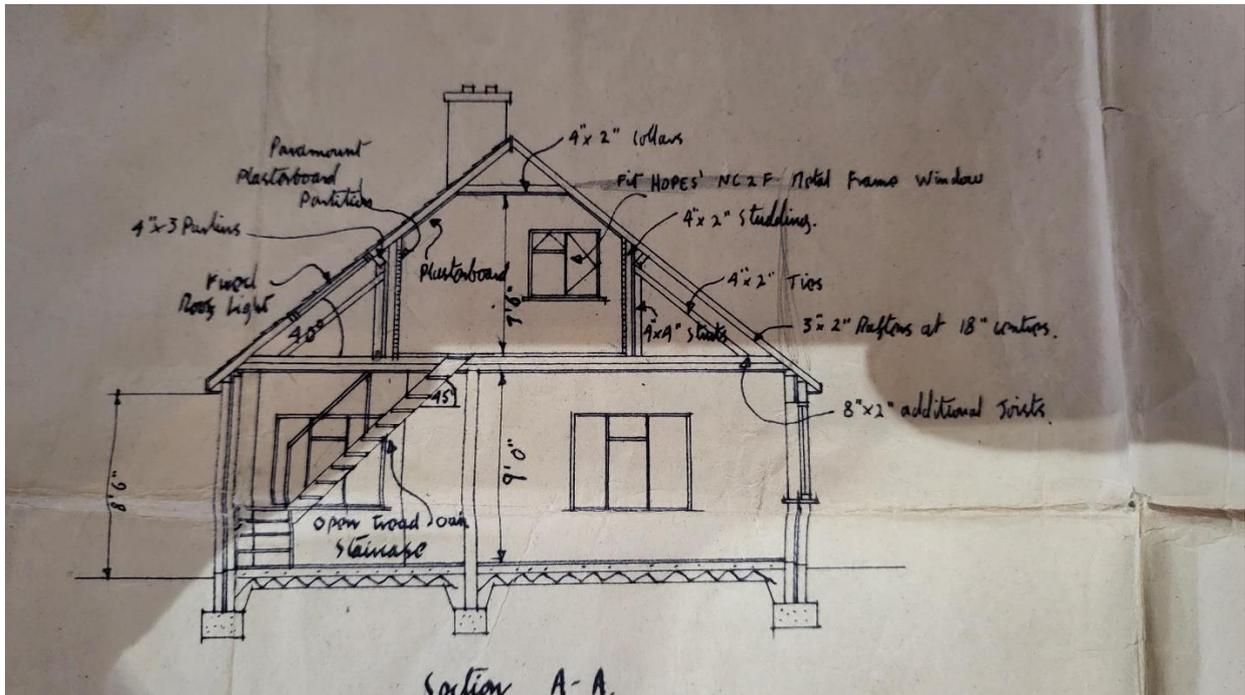
It means that there is group value in the arrangement and proximity of the Manor House, the clock tower and the pavilion garden temple.

There is, however, a reference in the listing to rear, lower, brick buildings which were converted to houses at the time of the main listing, i.e. by December 1953.

It is pertinent to note that the building the subject of the application is not wholly a ‘brick building’. Plans from the 1950s confirm that the building has modern foundations and cavity walls, as pictured below. However, the first-floor gable walls are constructed of brick in a bond which matches the garden walls of the site. So 10 Newlands is somehow derived from a ‘brick building’. Whether this is through re-use of materials or more of a conversion, it is not entirely clear.

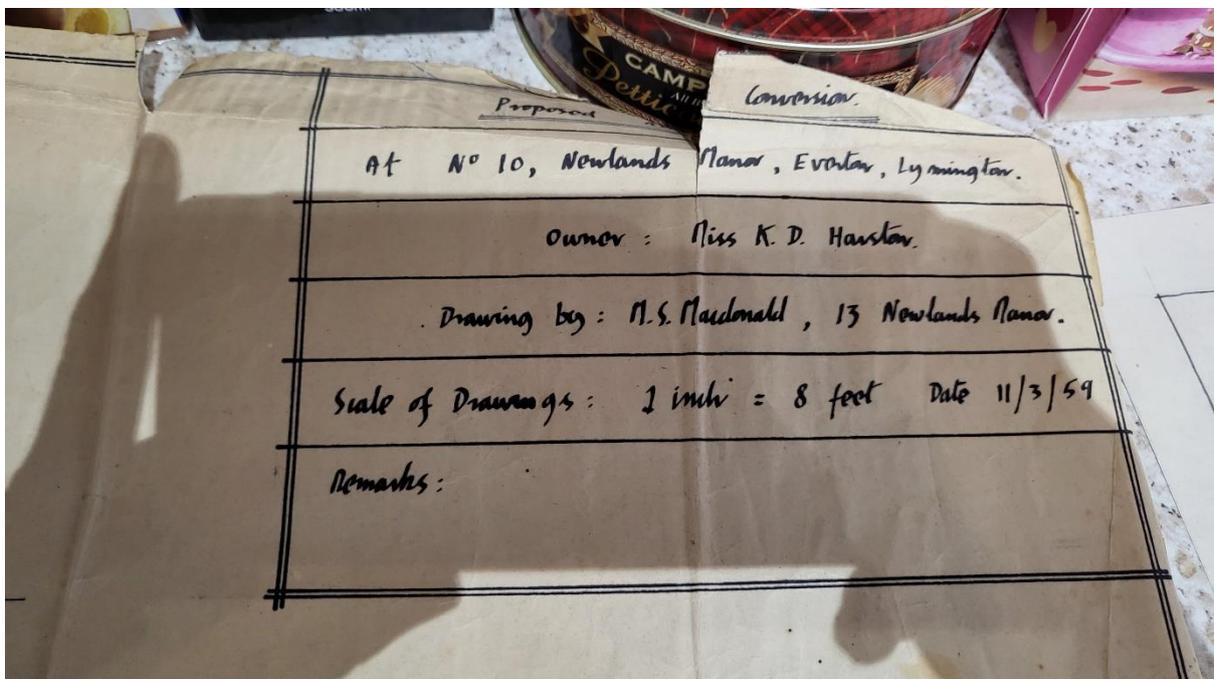
Whilst there is nothing specific from the Listing which confirms that our site, number 10, is Listed or curtilage-listed to the Manor, it is in my view a reasonable conclusion that we are dealing with a building which is included and described in the List description, in this case.

The next matter to investigate is the details of the site as it stood in 1953, at the time the Listing was issued.



Excerpt of plans from the 1950s for 10 Newlands

The plans appear to show modern foundations and cavity walls at ground floor level.



The 1950s plans note 'proposed conversion'

The plans are dated 1959, and confirm that the building was classed as a 'conversion' at this time. In my view, we are therefore dealing with one of the 'lower brick buildings' mentioned in the listing, in this instance.

3. Newlands Manor unit 10 origins

The Conservation Officer concludes that the building the subject of this application is derived from a former *stable block*, apparent on OS maps from 1867 onwards.

The Hampshire Gardens Trust summarises the history and development of the Manor as follows:

Historic development

Sir John Hadley D'Oyley moves from Newton Park and builds a cottage at Milford. In 1800, Admiral Cornwallis rented the Manor from Sir John, and after the house burnt down in 1802 Cornwallis acquired the freehold and rebuilt the house in a 'Strawberry Gothic' style. The estate was managed by Mary Whitby, the wife of a friend, John Whitby, who helped to complete the house and layout of the grounds and inherited the estate on Cornwallis' death in 1819. The house was set in a parkland landscape with clumps and belts of trees, a little copse screens views of the house from the principal approach through a 'Gothic' lodge with gate piers and rails in the north east. The pleasure grounds around the house included a woodland garden with sunken/water garden with ponds and rills, conservatory and sweeping lawns down to the lake, with four (now three) islands, the south drive crosses a bridge with railings over the inflow and the outflow was a cascade surmounted by a rustic bridge. A walled kitchen garden with a clock tower, glasshouses and a 'Dutch' garden on the west side. There are three other lodges including the Round Lodge on the north side of the park. Gothic railings and gates enclosed the pleasure grounds from the surrounding parkland.

Mrs Whitby's daughter, Theresa, inherited the estate in 1850, she was married to Frederick West, there is no evidence of any change during this period. The estate then passed to their second son, William Cornwallis West, who married and had three children and during the 1890s entertained lavishly; guests included British and German royalty, a line of commemorative lime trees were planted between 1896 and 1902. Patsy, one of the granddaughters, was a great gardener and planted lots of flowering shrubs including azaleas and rhododendrons.

George inherited in 1917, and put the estate up for auction in 1920. It was bought by John Cecil Power, who did a great deal to the house and gardens, including a new terrace and balustrade on the south side, tennis courts, one with 'Doric' pavilion, Yew hedges, formal paths and steps linking the house to the lake, one enclosed by a Cypress avenue. An Italian garden was created in the central court of the house.

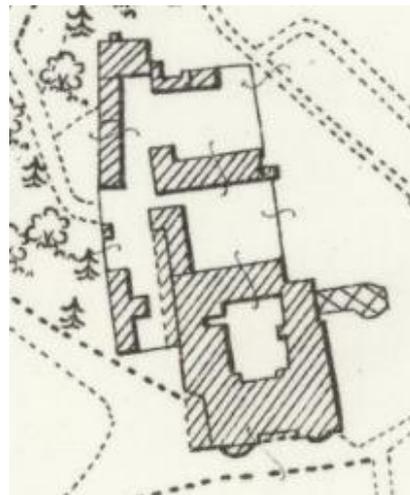
In 1950 the estate was divided up and sold, the house and grounds of 38 acres was divided into 12/13 dwellings, each allocated some garden area, the remaining area including woods and lake managed communally by a joint management company.

[Newlands Manor | Hampshire Garden Trust Research \(hgt.org.uk\)](http://hgt.org.uk)

So it sounds like there would have been 12/ 13 dwellings when the site was divided up in 1950, and therefore present at the time of the 1953 Listing. This reflects the number of units present at the site today.



Excerpt from 1867 map of Newlands



Highlight showing location of current number 10 on the 1867 and 1898 maps

There is an element of building shown in the location of modern-day number 10 on the 1867 map. The unit is drawn slightly differently on the 1898 map, and was also narrower in the 1860s:

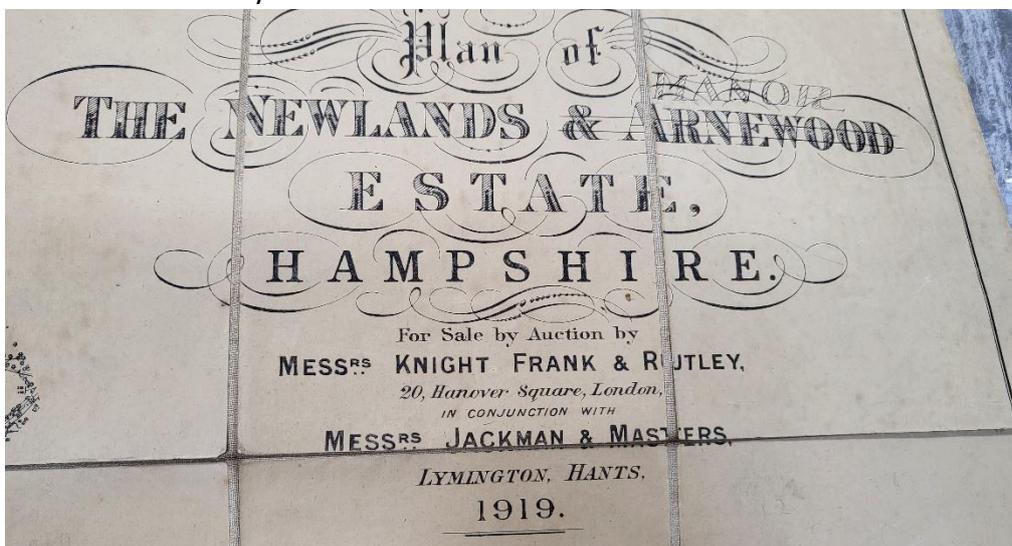


Excerpt from Newlands Estate Map, dated 1862, revised 1866 (source: St Barbes archives)

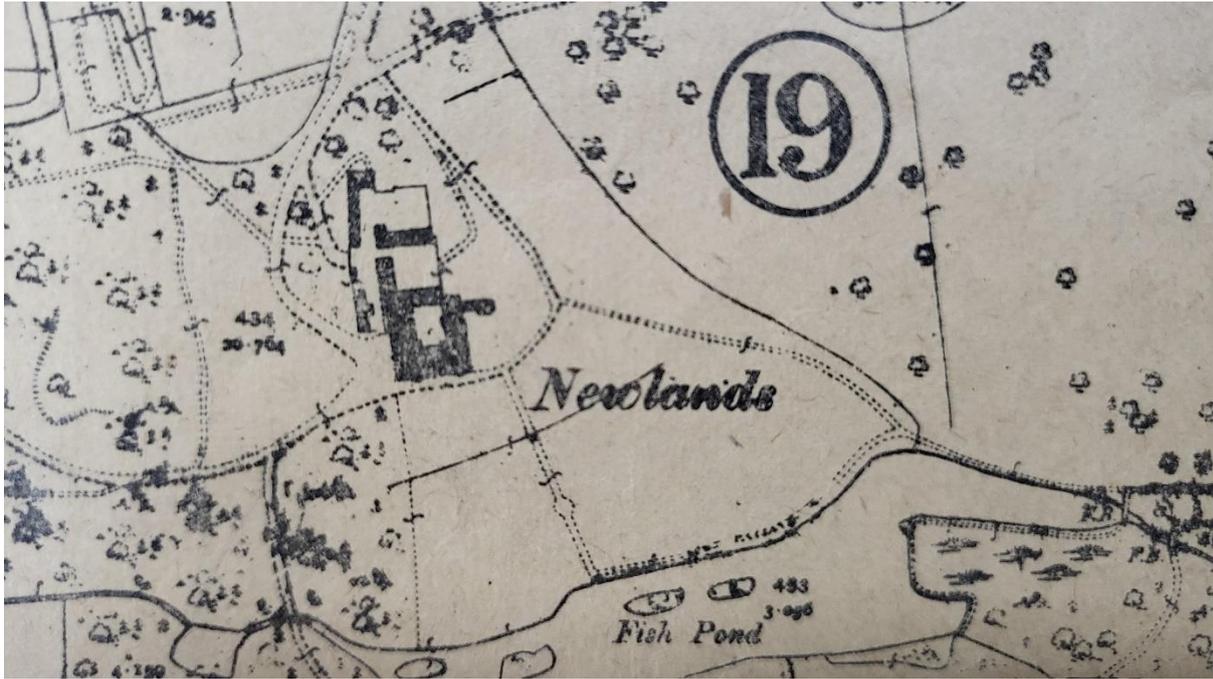


Modern aerial photograph of the site for comparison

The 1919 sales particulars include number 10 as follows. The Manor was draw up for sale in 1919 and identically in 1920.

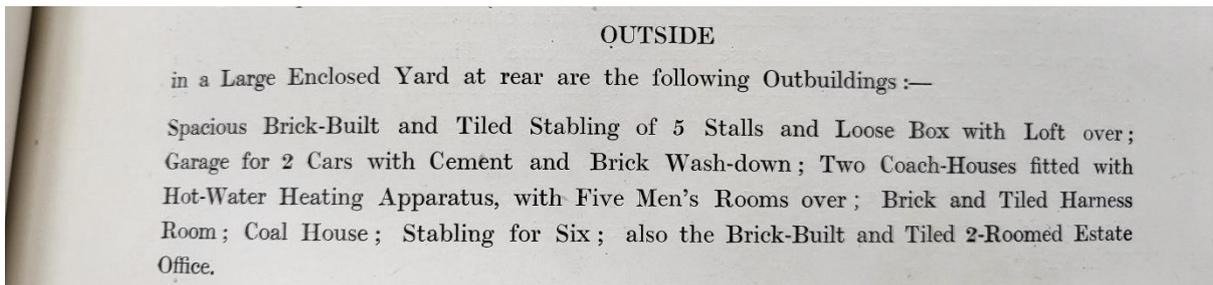


Excerpt from 1919 sales particulars (source: St Barbe Museum archive)



Excerpt from 1919 sales particulars (source: St Barbe Museum archive)

The 1919 sales particulars detail the buildings immediately surrounding the Manor house as follows:

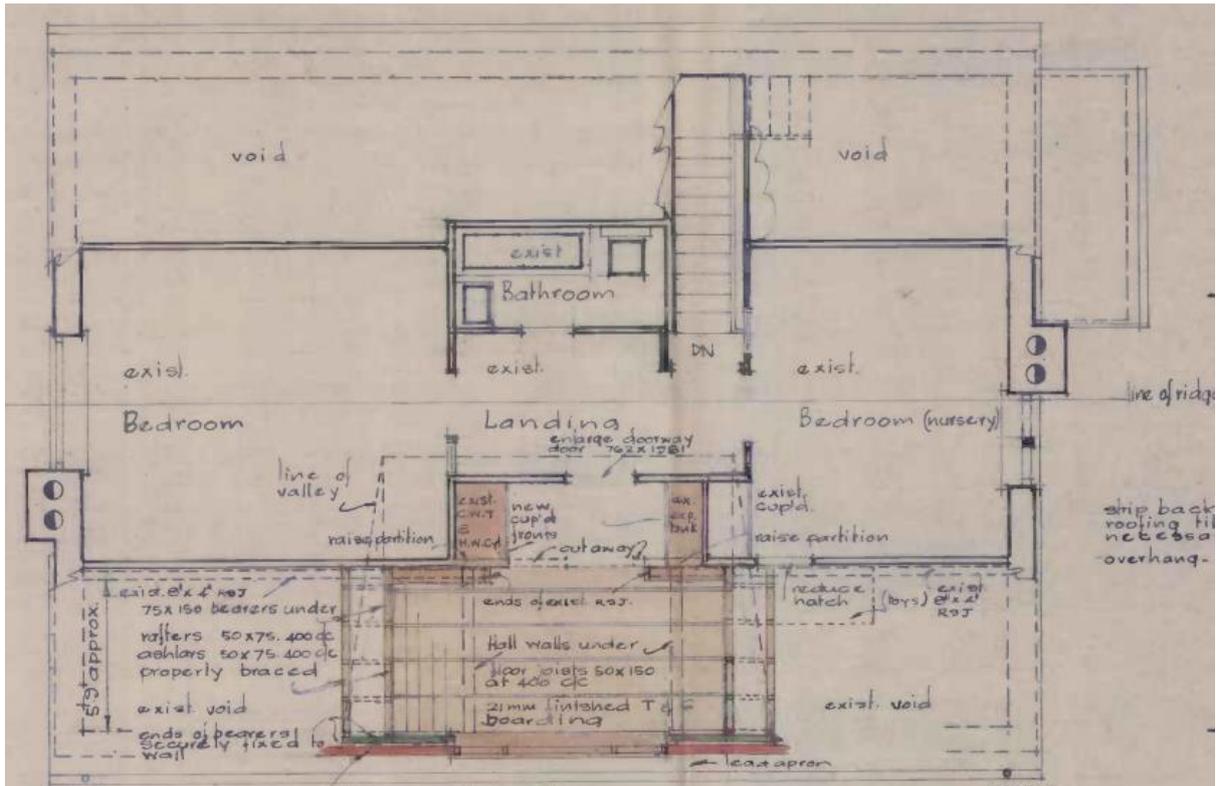


So number 10 could have had one of several ancillary uses at that time, and many units of ancillary accommodation are noted at this time.

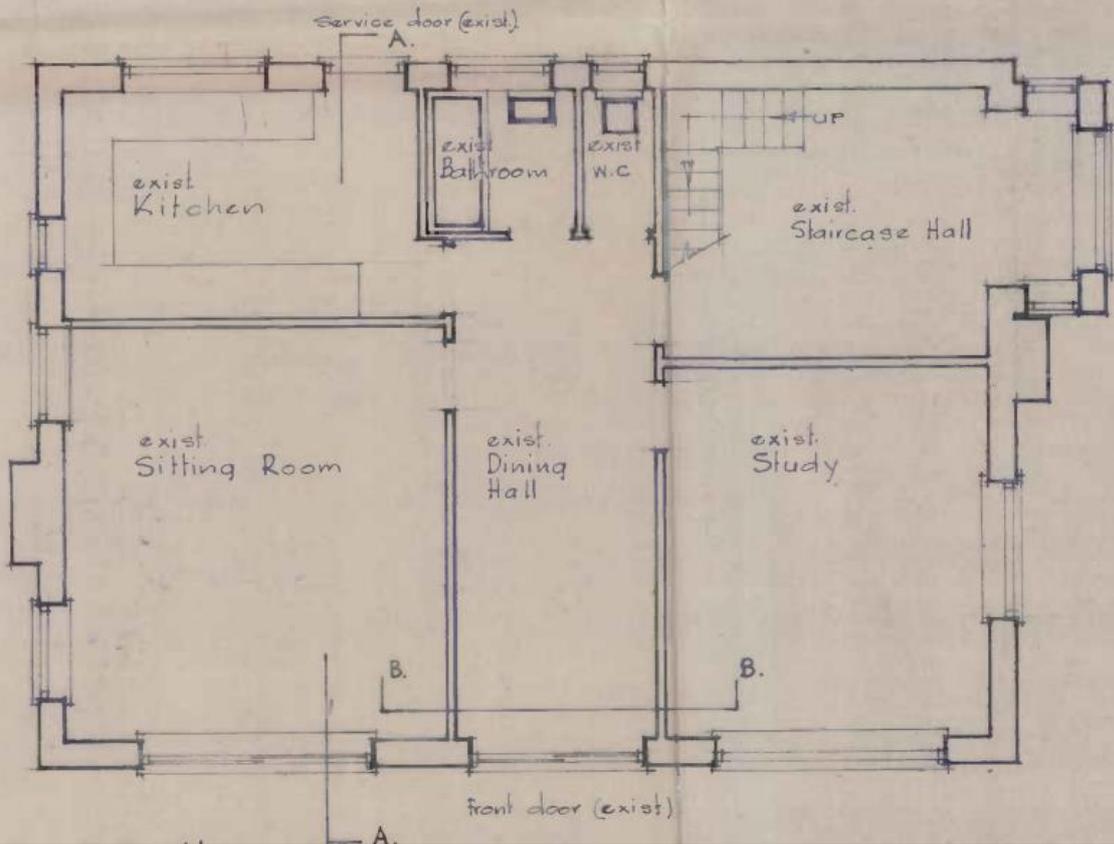
4. Planning history

The first-floor rooms in number 10 are derived from Listed Building Consent 77/NFDC/08016/LBC.

The house was already rendered in 1977, and not of brick facing appearance. The house already had first floor rooms at that time.



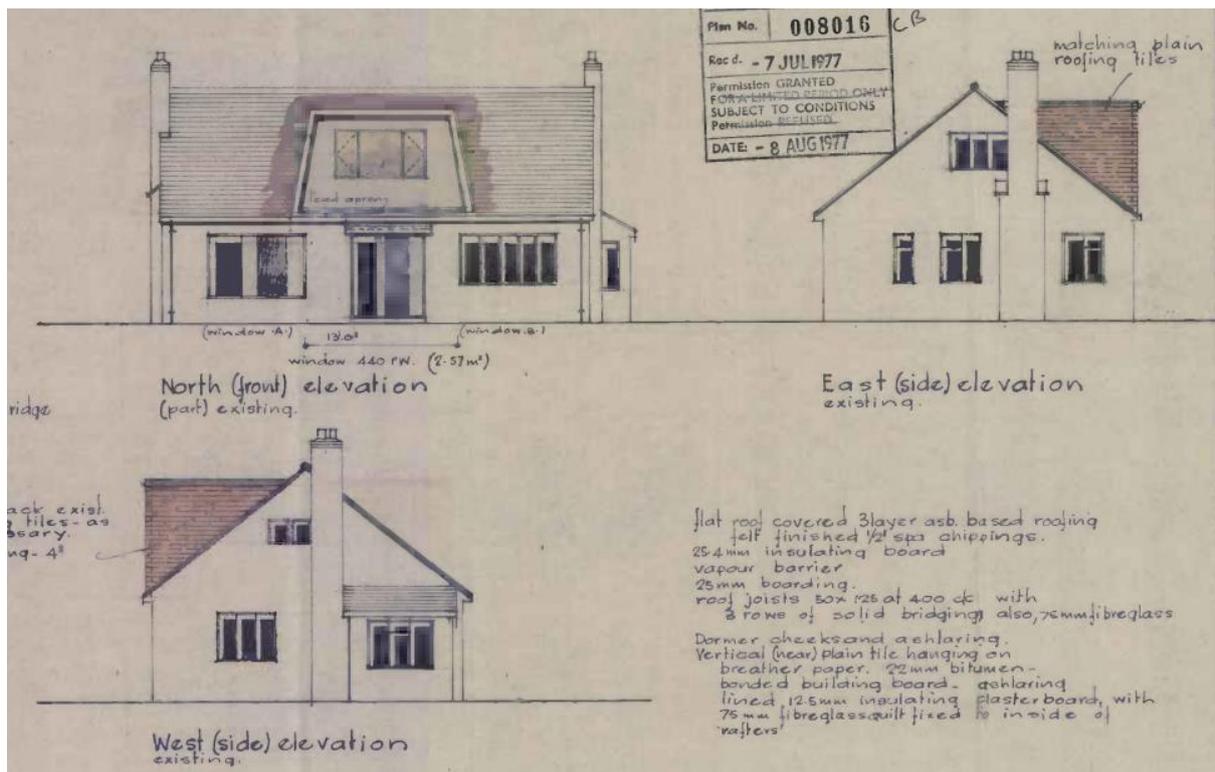
First floor plan



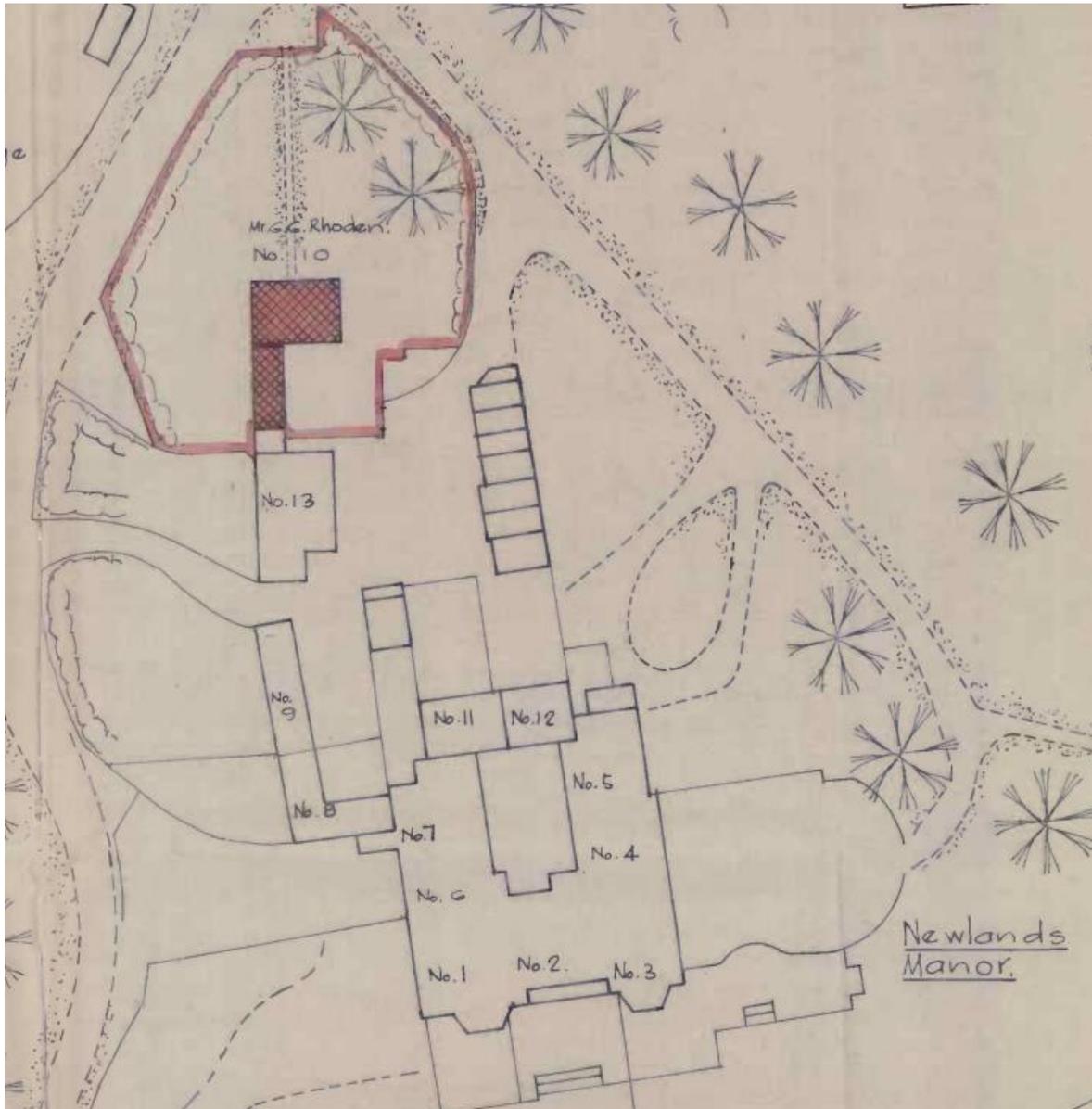
Excerpt from 1977 plans showing stud partition walls



10 Newlands Manor in 1977

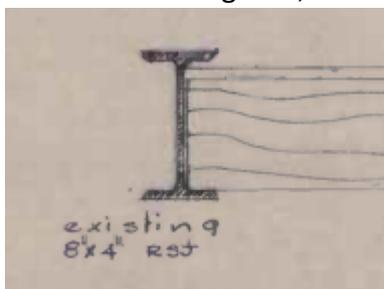


Excerpt from 1977 plans



Excerpt from 1977 plans

The 1977 Building regulation plans show that the floorplate for the first-floor was originally constructed using RSJs, not timber, prior to the 1977 works:-



Excerpt from 1977 plans

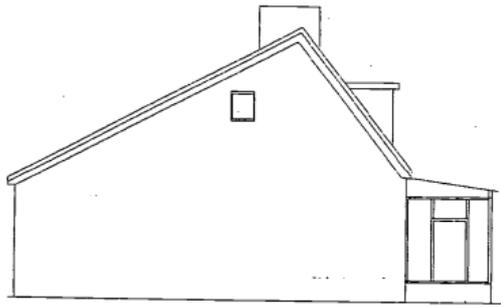
10 Newlands Manor is quite similar in character to 13 Newlands Manor.

13 Newlands Manor has a similar form and appearance, with a similar planning history:

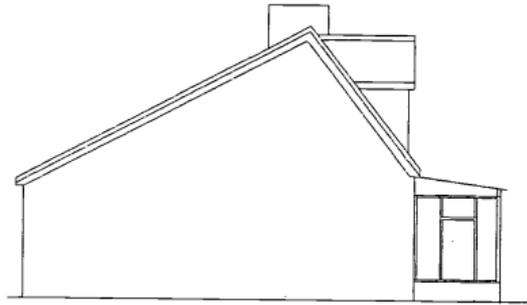


13 Newlands Manor circa 1992

It is not clear whether the 'orange' colouration is caused by render, paint, modern brickwork or the photography itself.



NORTH ELEVATION - EXISTING



NORTH ELEVATION - PROPOSED

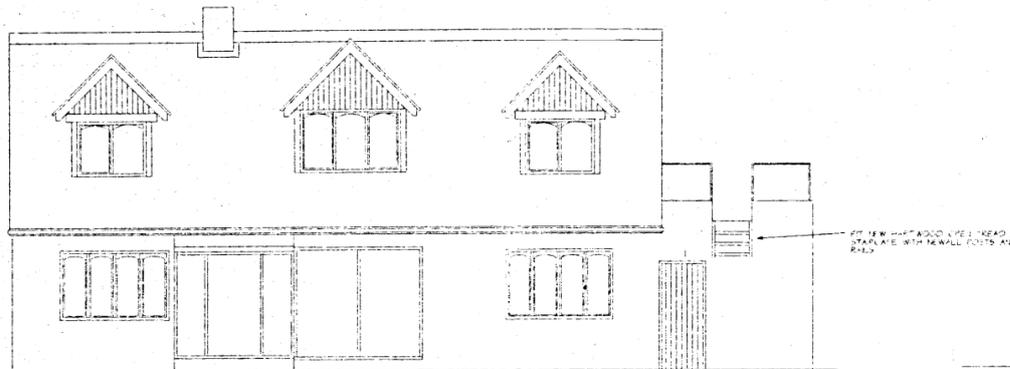
LBC consent is not required

DATE: 16 Sept 92
 PERMISSION GRANTED FOR A LIMITED PERIOD ONLY SUBJECT TO CONDITIONS
 PERMISSION REFUSED
 Rec'd: 21 AUG 1992
 Plan No. 050609
 NEW FOREST DISTRICT COUNCIL

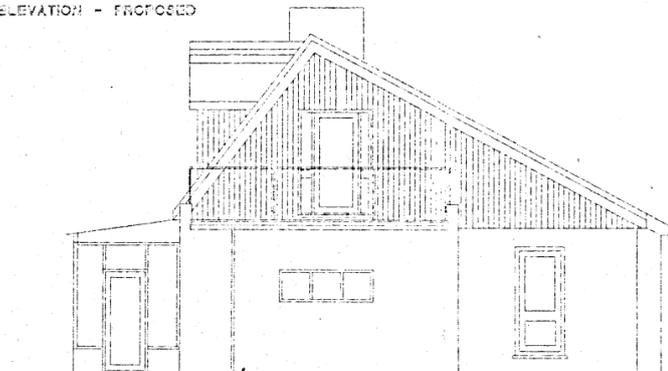
westec DRAWING SERVICES
 JCH WILSON LEAD R.I.E.D.
 Architectural Consultant The Coach House, 27 Southern Road, Lymington, Hants. SO41 9RF Tel 0530-671423
 Project PROPOSED ALTERATIONS TO 13 NEWLANDS MANOR, MILFORD-ON-SEA
 Client: MR & MRS P BROCKETT Title: NORTH ELEVATIONS
 Scale: 1:100 Date: AUG 92 Dwg No: CH350/6

Excerpt of plans from 13 Newlands Manor 92/50609LBC

In 1992, planning permission was granted for dormer windows and extensions to 13 Newlands Manor (pp ref: **92/NFDC/50782**). The parallel LBC application was withdrawn, with a series of notes on the plans, hand-written by an NFDC officer, that state "LBC consent is not required". Example above.



WEST ELEVATION - PROPOSED



SOUTH ELEVATION - PROPOSED

Excerpt from permitted plans for 13 Newlands Manor

So clearly in 1992, it was not thought that the Listing included 13 Newlands Manor (nor the units to the north of it).

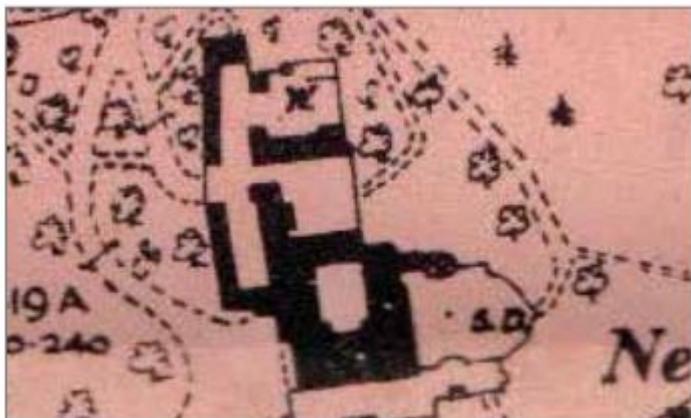
A further application, for 11 Newlands Manor, shows buildings which more clearly accord with the List description of “lower brick buildings now converted into houses”, i.e. 6, 7, 8 & 9 Newlands Manor:



Fig 6-North Elevation context with 6,7,8, 9 Newlands Manor

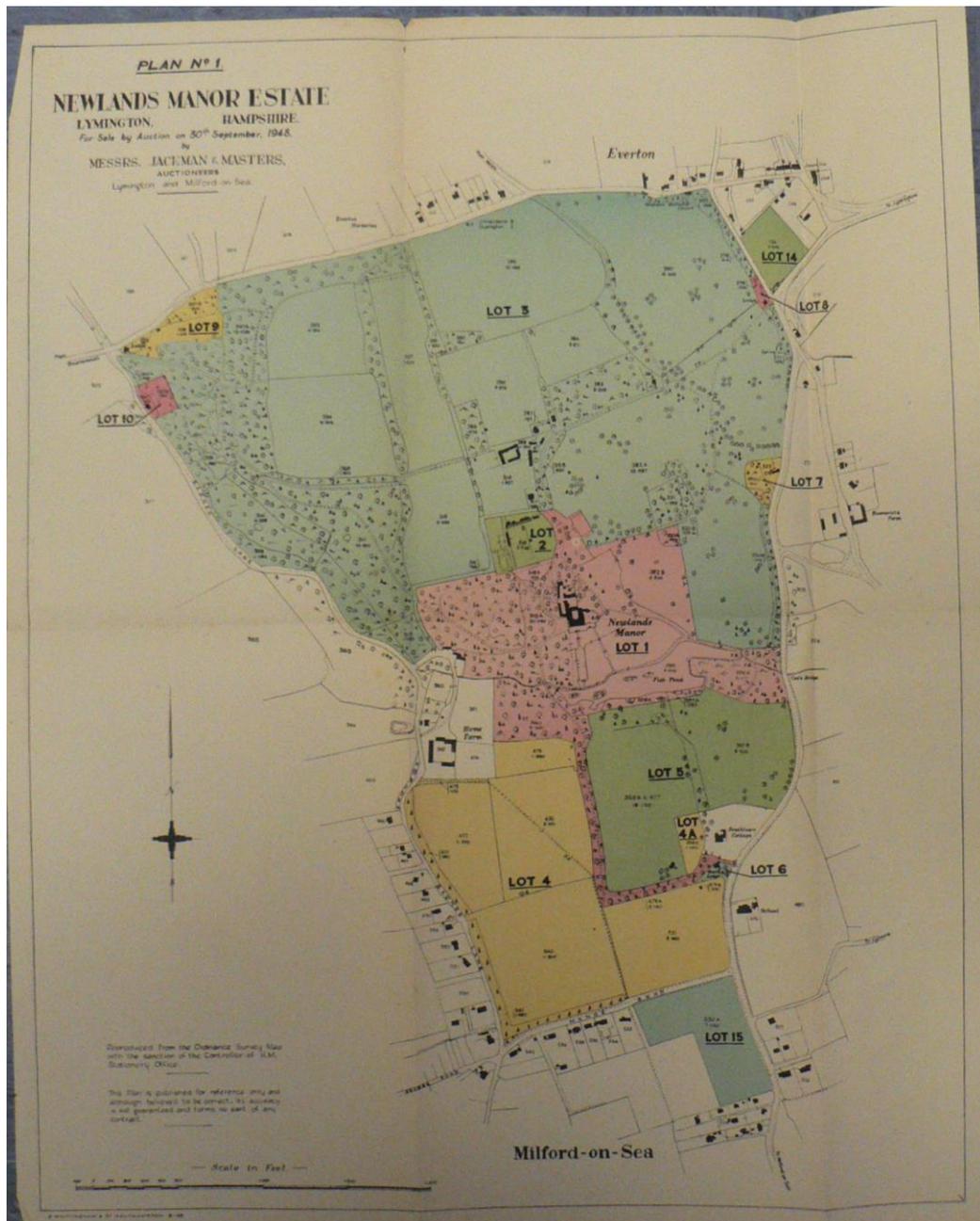
Excerpt from 17/10093 for 11 Newlands Manor

However, we cannot know for sure that the Listing description was only designed to refer to these buildings, as the further units (10 & 13) were present at the time of the Listing in 1953:



Excerpt from 1948 sales catalogue

Number 10 specifically is not mentioned in the 1948 sales particulars.

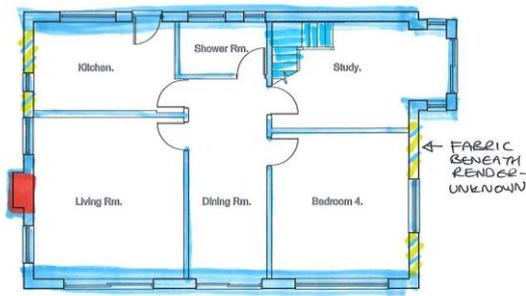


Newlands Manor Estate plan from the sale catalogue of 1948 (thanks to Milford History Society)

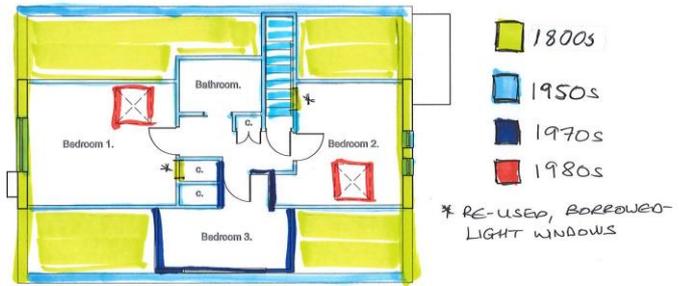
In conclusion, in my view, number 10 could reasonably be considered to form part of the Listing here, and should therefore be considered as a listed building.

5. Elements of significance in the listed building

As noted above, the building has undergone extensive alteration in this instance. I have shown my findings on the phasing diagram below.



Existing Ground Floor Plan



Existing Rooms in Roof

Phasing Diagram

As shown above, much of the remaining built fabric in this case appears to have been derived from the 1950s. A lot of the significance has been lost or eroded, compared to the ‘low-lying brick buildings’ of the List description, There are a couple of quirky borrowed-light windows internally, which may well have been re-used from elsewhere on the earlier building form, but do not bear any resemblance to stable windows. The brick gables remain, in a form of (irregular) Sussex bond. The extent of brickwork behind the well-concealed render is unknown. The roof appears to pre-date the 1950s conversion, with the exception of the dormer addition from post-1970s.



Borrowed-light windows and brick gables

6. Impact of proposals upon significance

The proposals comprise a single storey side extension, a porch, rooflights, window alterations.

In addition, the rear dormer would be replaced with a new box dormer of better quality and insulation.

The Conservation officer's opinion is that the historic form and layout of the building remains. The footprint appears to be very close, but the layout of the building itself has changed drastically, as evidenced by the plans from the 1950s and the 1970s.

Concern is raised about the implications of extending beyond the western building line. Having assessed this on site, this line is not appreciable in the landscape, nor in the context of the Listed manor. An extension in this location would be particularly discreet, compared to the openness of the northern and eastern elevations of the site. This is best appreciated on-site, but is shown to some degree by the photograph below. The western edge is punctuated by outbuildings and changes in garden boundaries, such that the western extension would be the position which offers least discernible impact for an extension in reality.



The western boundary

There is already a small offshoot of building in this position, pictured below.



The western offshoot

The western boundary is 'cranked', and not straight in appearance. The proposed extension would not oversail the building line created by numbers 8 and 9, which are far closer to the Manor house:



The western building line

In all documents pertaining to the Manor and its grounds which have informed this assessment, no weight is given to, or comment made about, the configuration of the western boundary. Rather, the trees and landscaping are noted around the manor, for example in earlier sales particulars. This well-landscaped western boundary will remain intact, and will not be affected or impinged upon by the proposed extension in this location. The use of brickwork to the extension, to continue the tradition of ‘low, brick buildings’ as per the list description, could assist here.

The larger dormer window would have some disbenefit in detracting from the simple, plain tiled roof of the building. However, the existing dormer window is extremely incongruous in both form and palette. A wider dormer window which did not protrude as high or as close to the eaves, combined with a more natural and recessive palette e.g. ebony timber cladding and black metal windows, could therefore present a design solution which was beneficial or at least neutral in impact, compared to the existing situation.

The plans have been amended in light of this, to suggest a brickwork extension in a garden-wall effect (Sussex) bond, as well as a dormer window which gives a more generous verge of clay tiles at the top and bottom of the roof, compared to the existing situation:



Proposed Rear Elevation (facing North)

Simple casement fenestration in a recessive colour palette would help minimise the degree of apparency of the dormer window, and would present a better solution than the current dormer window, with its white/cream and very ‘apparent’ detailing. The dormer as suggested would help to give a low-lying and horizontal emphasis back to the building, which would be of design benefit, when considering its origins. The removal of the tile porch would help reinstate simplicity. The standing seam roof in dull grey colouration, and minimal roof verge, would assist the traditional appearance of the proposed detailing. Conservation rooflights would be utilised, to minimise roof bulk and aid the traditional detailing. These would enhance the sustainability of the existing first floor accommodation.

Amending to a narrower glazing form on the gabled elevation, with the greater surround of brickwork, would assist in minimising impacts. Re-use of tiles on the extension would be a great idea for sustainability and ensuring roof finishes remain largely traditional.



The proposed front porch and casement windows will assist in ensuring the character of the unit remains modest and cottage-like in appearance. The off-white paint will be more sympathetic in colour, and more similar to colours used closer to the main Manor House (such as 11 Newlands Manor, pictured above). Taking account of all factors set out above, it is therefore considered that the proposal would preserve the character of the listed building in this instance, and uphold elements of its significance, such as they remain.