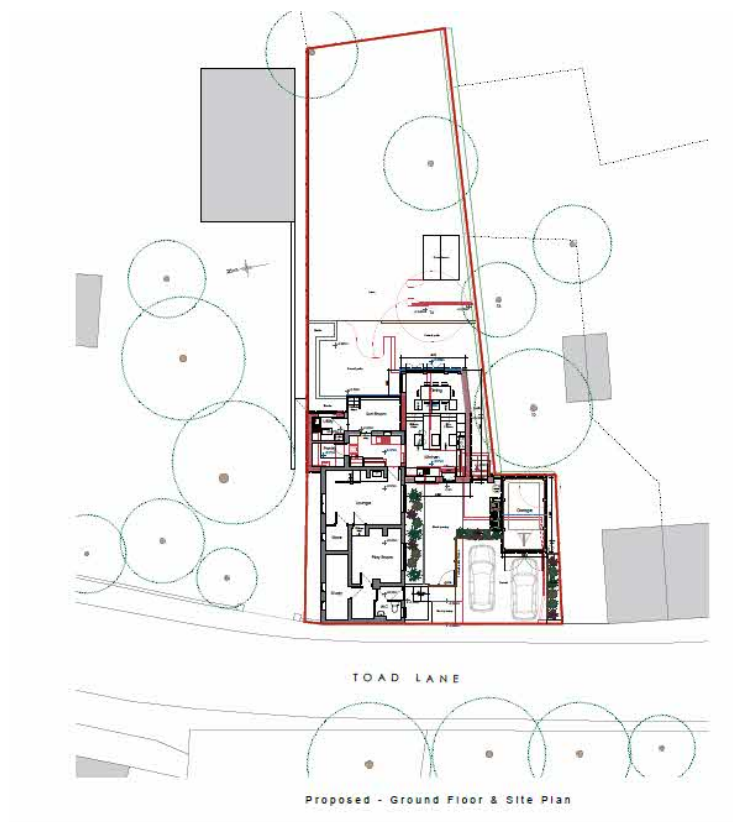


The logo features a stylized green tree icon composed of two overlapping triangles and a vertical stem, positioned to the left of the text '4D TREE SURVEY'.

4D TREE SURVEY

Pre-development tree survey to BS5837 May Cottage
Elston.



Brief:

Provide Arboricultural Survey to discharge the requirements for a predevelopment survey of trees pending the submission of a planning application.

The information to be supplied has been done so in the format of BS5837 2012 methodology to assess the trees on site and draw conclusions as to the extent and requirement for protection during construction.

A tree survey and site assessment were undertaken on the 08.12.2023 the weather was bright and sunny at the time of inspection.

The client wishes to extend the existing property into the site of the existing garden area.

The trees are believed to be contained within a conservation area.

A BS5837 Tree survey was undertaken to establish the quality of the trees concerned and establish any impact on trees affected by the proposed development.

The survey established that:

All the trees observed to be affecting the site have been categorised as per BS5837 2012.

The retention of category C trees is not essential in terms of long-term landscaping or visual amenity.

Category U tree should be removed in any event.

I have recommended that trees: 01392,01394, TU01 be removed prior to the commencement of development due to their poor form and general lack of arboricultural merit. The position of these trees is as indicated on the plans within the documents appended to this report as category C.

I have also recommended that TU02 is examined by the neighbouring properties appointed tree care professional to ensure that their public liability is maintained. In my opinion the tree is classified as U due to the findings of my visit.

TU02

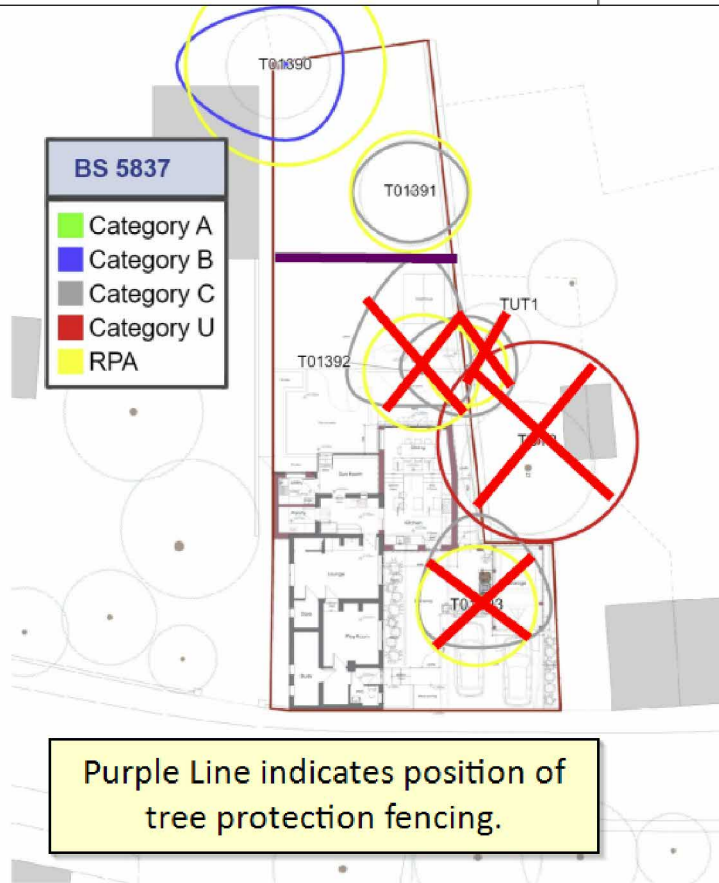
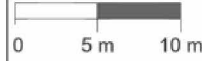






Tree Constraints and protection Plan.

Tree Protection Plan



Purple Line indicates position of
tree protection fencing.

Proposed - Ground Floor & Site Plan

Notes
Please refer to the drawing for annotations, see only separate drawings.

Rev	Description	Date
C	Change plan & add amended	04.11.23
B	Client amendments	02.10.23
A	Client amendments	28.03.23

Rev / amendments Date

Oscarlo
architectural design
[Redacted] mail@oscarlo.co.uk

Project
May Cottage
Ticad Lane, Elston
NG23 5NS
Side Extension & Garage

Drawing Title
Proposed Floor Plans & Site

Scale	Date	Rev
1:100	July 2023	A1
Drawing Name	Entity Number	Rev
Planning	2301B-15	C

The protective fencing for this site should be located as shown on the Tree Constraints/ Protection Plan above (as illustrated with a thick red line).

Remaining areas of root protection zones outside of the fenced zone are already under hard standing, the removal and replacement of which will be discussed within the arboricultural method statement.

The precise fencing location may need to be slightly adjusted on site due to local site conditions but is not expected to differ from

that shown on the TPP. The final fencing position must be agreed on by the LPA before the commencement of any site works.

The tree protective fencing details should be incorporated into relevant subsequent plans, method statements used for design purposes and construction drawings issued for use on site, to ensure that all interested parties are fully aware of the areas in which access and works may and may not take place.

The protective fencing will be appropriate to the degree and proximity of likely construction works. In this instance, the default BS 5837:2012 tree protection fencing as indicated.

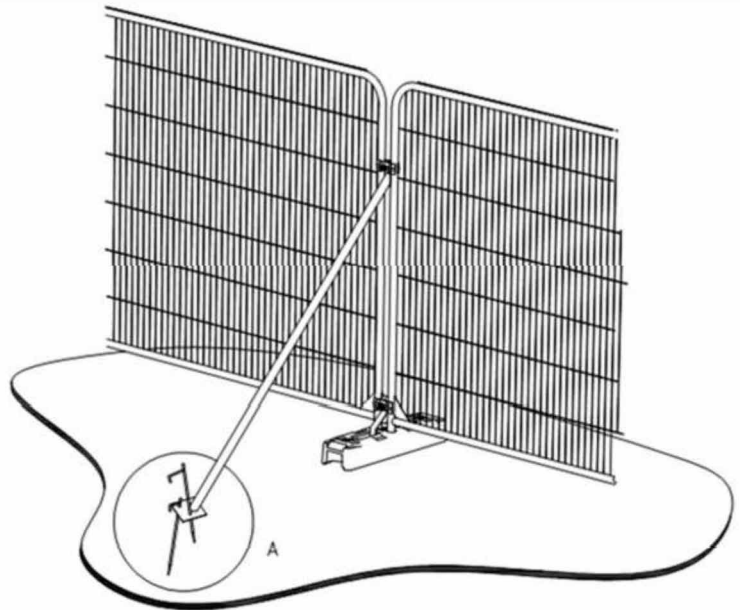
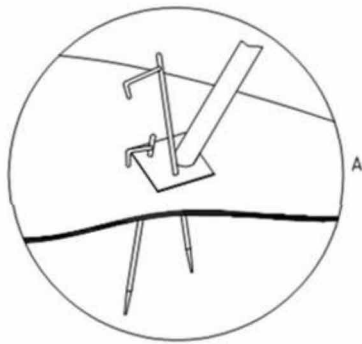
The fencing should be joined together using a minimum of two anti-tamper couplers, installed so that they can only be removed from inside the fence. The fencing panels should be supported on the inner side by stabiliser struts, which should normally be attached to a base plate secured with ground pins or mounted on a block tray (see Appendix 1 for an example).

The area enclosed by the fencing is referred to as the Construction Exclusion Zone (CEZ); this area should be considered a restricted area. No pedestrians, vehicles, storage of materials, equipment or machinery should be allowed within the CEZ unless specified in this method statement. The site manager must ensure that all personnel are aware of the restrictions that apply to the fenced-off area.

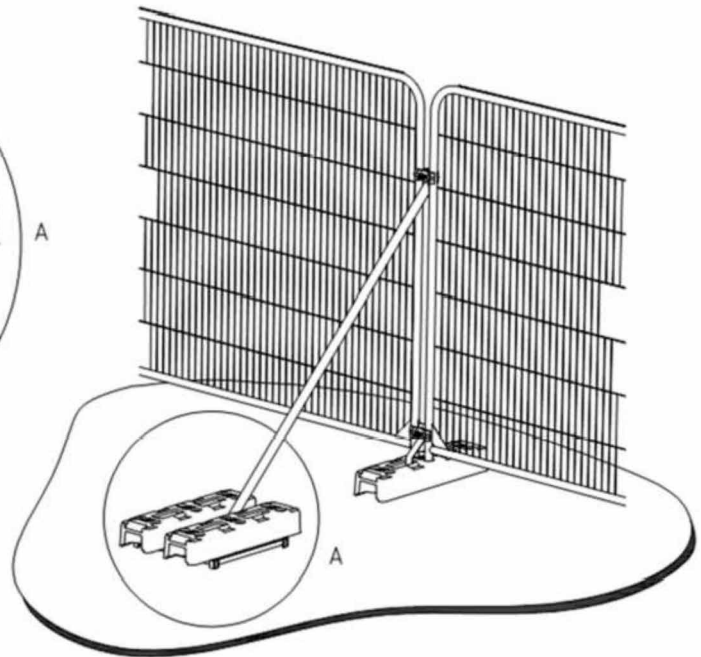
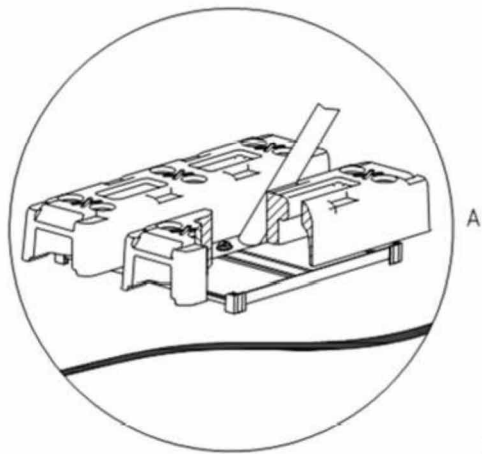
Once the fencing is erected, waterproof warning signs labelled 'Tree Protection Area' should be placed at 3m intervals to ensure that all personnel are aware of the restrictions that apply to the fenced-off area.

The protective fencing should be inspected for faults or damage by the site manager or other responsible named person on a regular basis and a written record kept. Any faults or defects should be repaired or replaced as soon as is reasonably practicable. The Tree Protection Fencing shall not be removed, breached or altered without prior written authorisation from the local planning authority and under arboricultural supervision by a suitable named responsible individual appointed by the site manager.





a) Stabilizer strut with base plate secured with ground pins



b) Stabilizer strut mounted on block tray



Additional Precautions

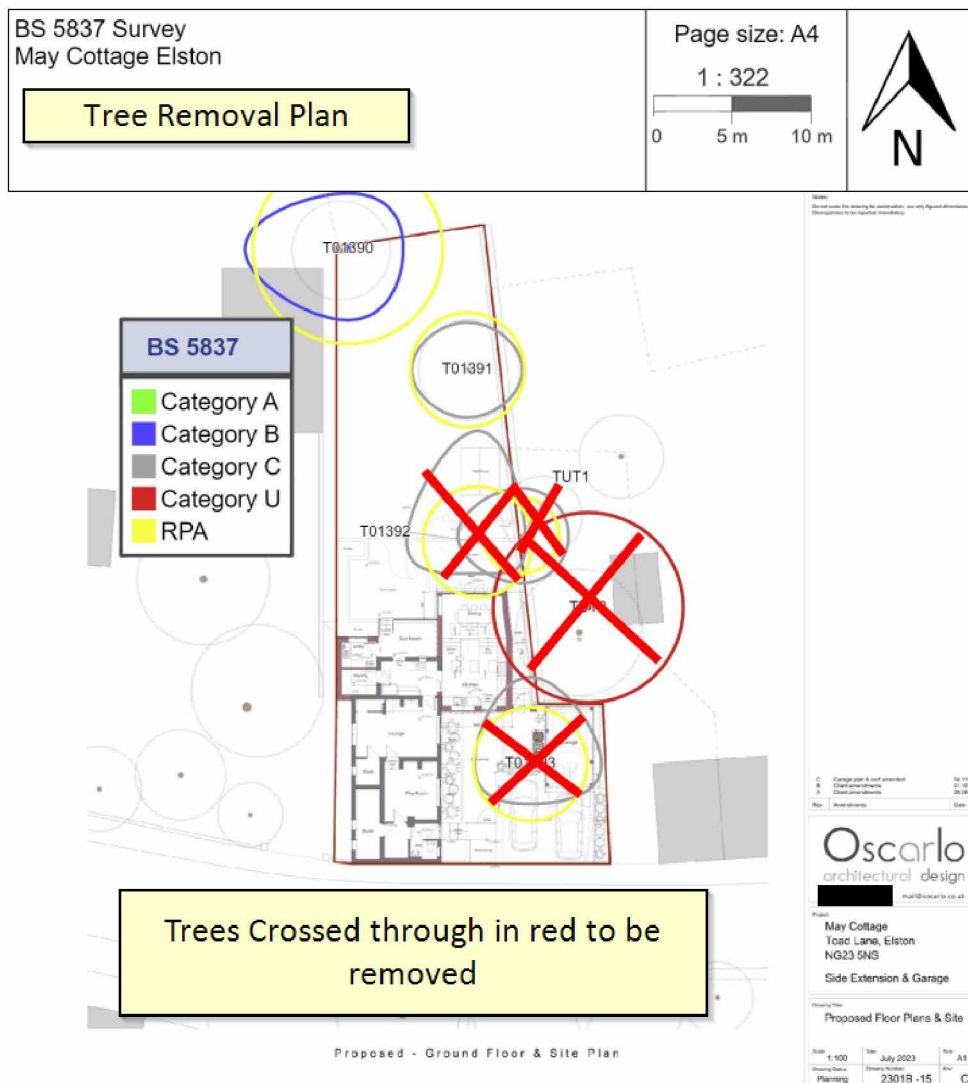
Allowance should be made for operations outside of the CEZ that could indirectly impact on trees. Including space for site huts, temporary toilet facilities (including their drainage) and other temporary structures; and space for storing (whether temporary or long-term) materials.

Care must be taken to prevent contamination with chemical spillages, including petrol, diesel and oils. Cement mixers and any other toxic materials should not be permitted within the RPA of the trees. Any materials whose accidental spillage would cause damage to a tree should be stored and handled well away from the outer edge of its RPA.

Fires on site should be avoided.

However, should any site queries arise, I will be happy to attend site to discuss.

Tree Removal Plan.



Arboricultural Method Statement.

No specific arboricultural method statement is required aside from abiding to the Tree Protection Plan.

Conclusion.

I believe that development of this site is feasible given the site constraints present via the trees on site should the information within this report be followed.

REPORT LIMITATIONS

Site boundaries worked to were supplied by the client.

This survey does not include a detailed habitat survey. It is normally recommended that a survey to ascertain whether there is any potential habitat for protected species be carried out prior to any Arboricultural works being commenced. At the time of my inspection no obvious nests or roosts were identified.

The trees were inspected using Visual Tree Assessment (VTA) methods, which are non-invasive & carried out at ground level only and as an aid to the commissioned purpose of the report.

The aim of the inspection is to assess the physiological and structural condition of the tree and its suitability for retention within a development.

My speciality is as, an Arboricultural consultant and any comments made outside of this should be considered those of a "layman".

Supplied plans are accurate given the available GPS signal and technology however given canopy cover and limited position fixing points some discrepancies may exist.

Any works specified within this report should be carried out in accordance with the latest version of BS 3998.

Appendix.

BS 5837 2012 Survey plan encompassing canopy spread, and Root Protection Zones shown as PDF.

BS5837 2012 Survey sheet shown as PDF.