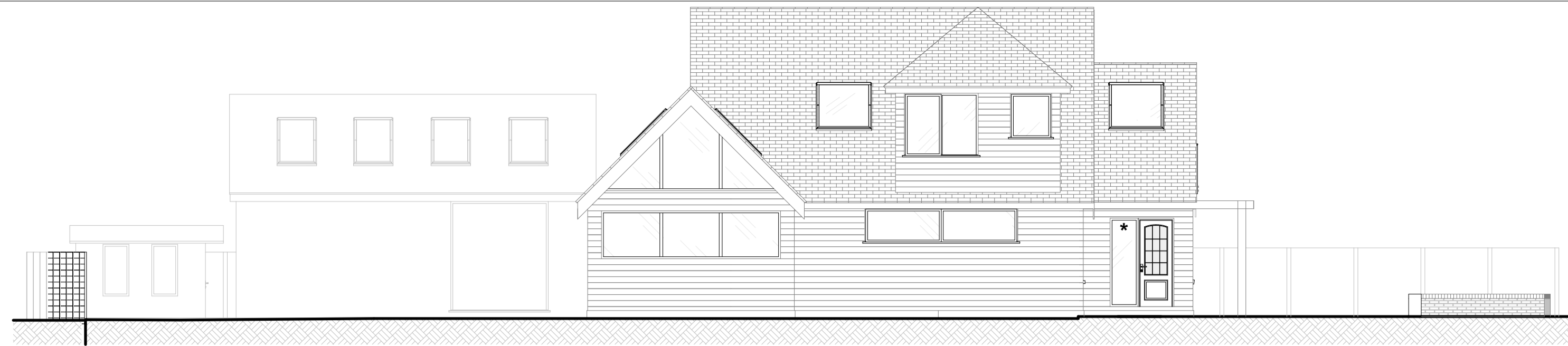


Proposed



Front (South West) Elevation  
1:100



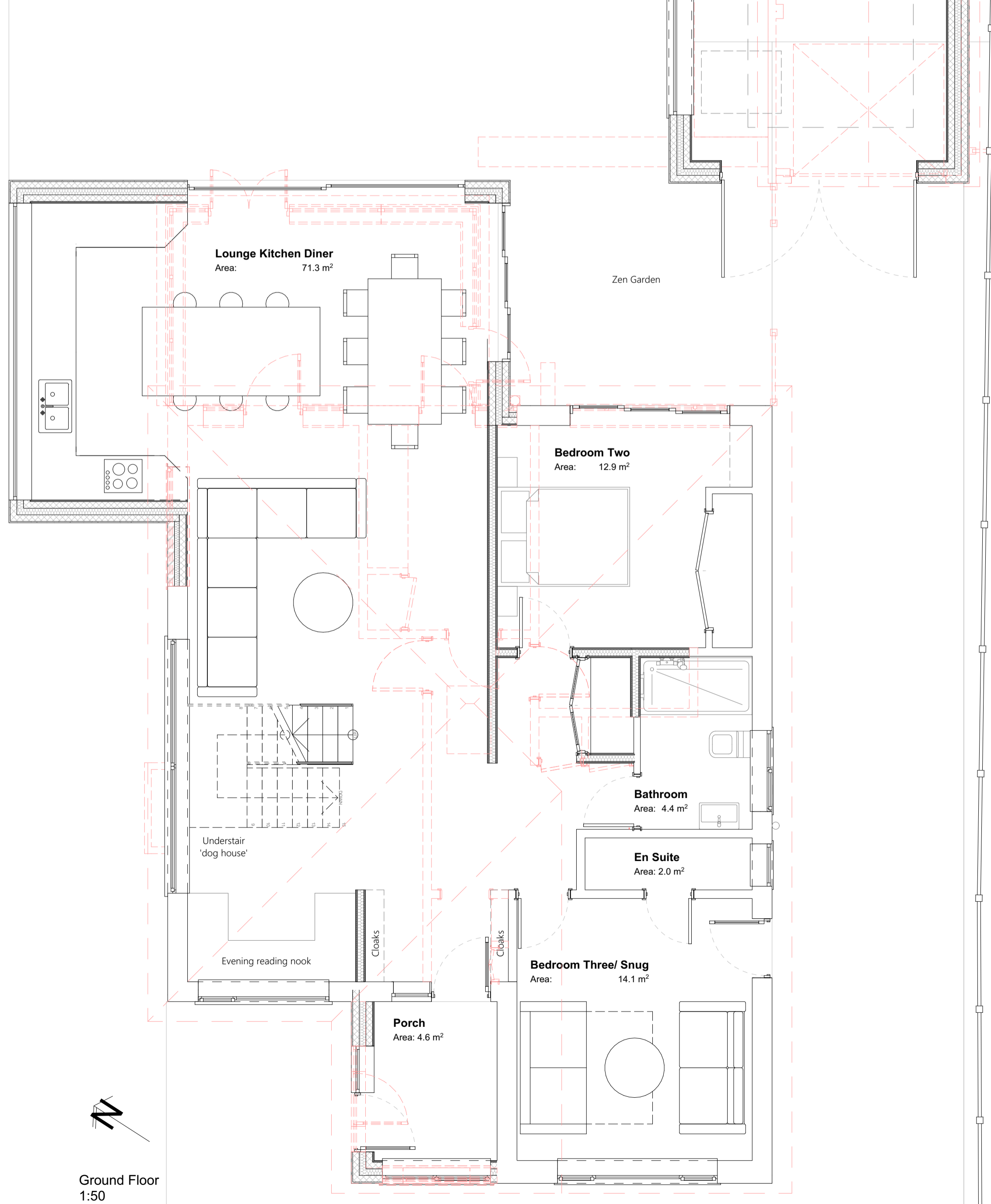
Side (North West) Elevation  
1:100



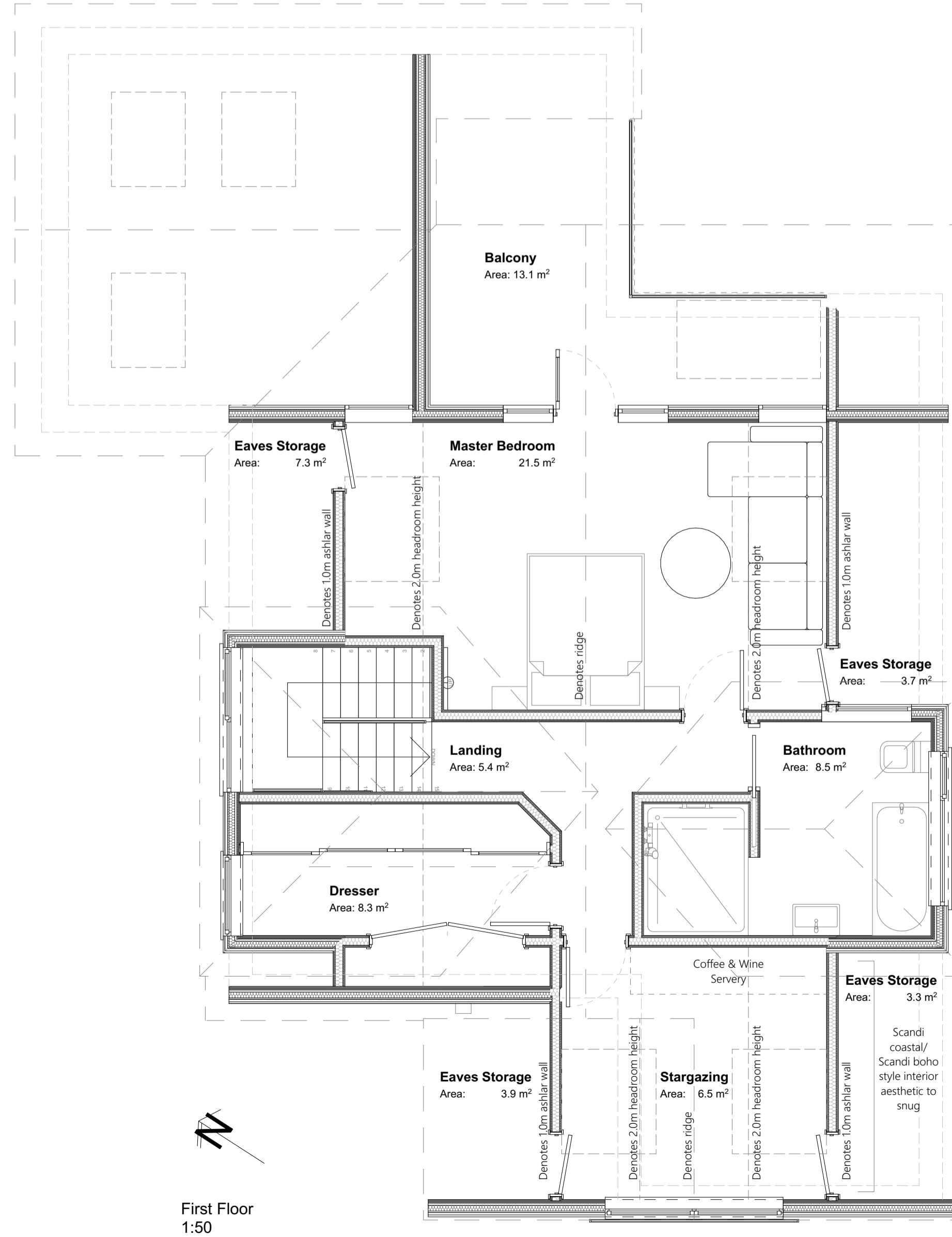
Rear (North East) Elevation  
1:100



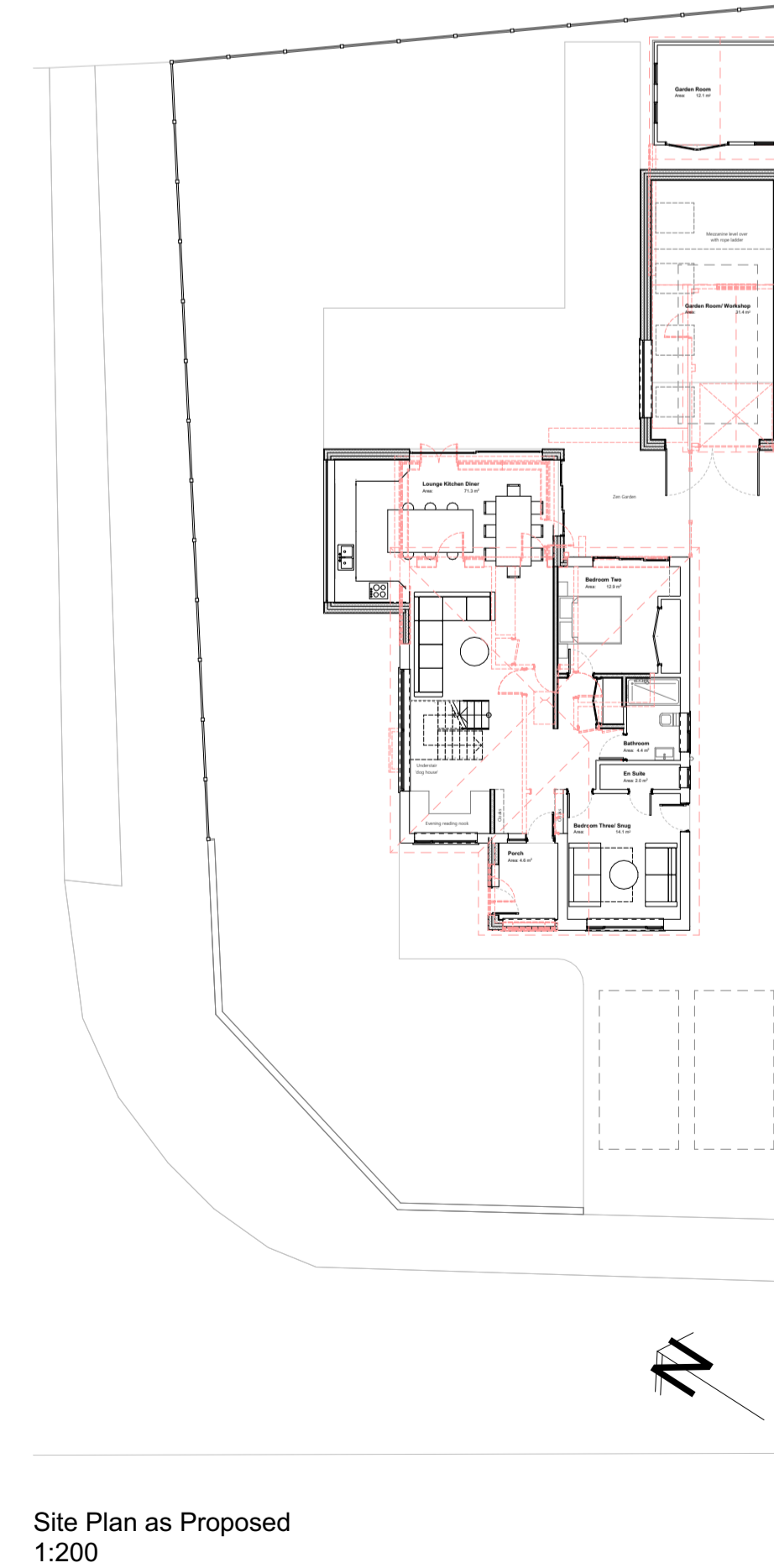
Side (South East) Elevation  
1:100



Ground Floor  
1:50



First Floor  
1:50



Site Plan as Proposed  
1:200

ADAM DUNN DESIGN  
ARCHITECTURAL DESIGN  
& PLANNING APPROVAL

ARCHITECTURAL DESIGN  
PLANNING APPROVAL  
BUILDING CONSULTANCY

PLANNING NOTES

**DRAINAGE (SUDS)**  
A new soakaway will be designed in accordance with Approved Document H & BRE Digest 365, the design allows an increase of 30% for climate change. The proposed hardstanding areas shall be laid with a cross fall so all rainwater shall be directed into the ground locally and within the site boundaries.

Provide a silt trap to the surface water drainage line so that the silt and debris can be removed before it can enter the soakaway. The silt trap shall be cleared weekly until the development is completed after which a three monthly inspection rota shall be followed.

**WASTE STORAGE**  
Unchanged

**BOUNDARY TREATMENT**  
Unchanged

**EXTERNAL MATERIALS**

Walls	01 - Facing brickwork
	02 - Timber cladding
Roof	03 - Slate tile
Windows & Doors	04 - uPVC white/ off white
Rainwater Goods	05 - uPVC white
*	Denotes obscured glazing Pilkington level 5

**AREAS**

Existing Floor Area	120.80 m <sup>2</sup>
Proposed Floor Area	234.30 m <sup>2</sup>
Site Area	680.20 m <sup>2</sup>

DRAWING NOTES

REV	DATE	DESCRIPTION
E	13/12/2023	Planning Amendments
D	06/11/2023	Client Amendments
C	03/11/2023	Client Amendments
B	12/10/2023	Client Amendments
A	01/10/2023	Client Amendments

CLIENT: Nicola Paterson  
PROJECT: Proposed Rooms in a New Roof, Alterations to Existing Garage and Single Storey Rear Extension

ADDRESS: 43 Sea Road, Milford On Sea, Lymington SO41 0PH

DRAWING: Plans as Proposed

STATUS: Planning Permission Application

DATE: August 2023

SCALE @ A1: 1:50, 1:100, 1:200

DRAWING N°: 22082-00-03 REVISION: E

ARCHITECTURAL DESIGN  
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ISSUE SCHEDULE  
Preliminary Planning  Building Regs   
Construction

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