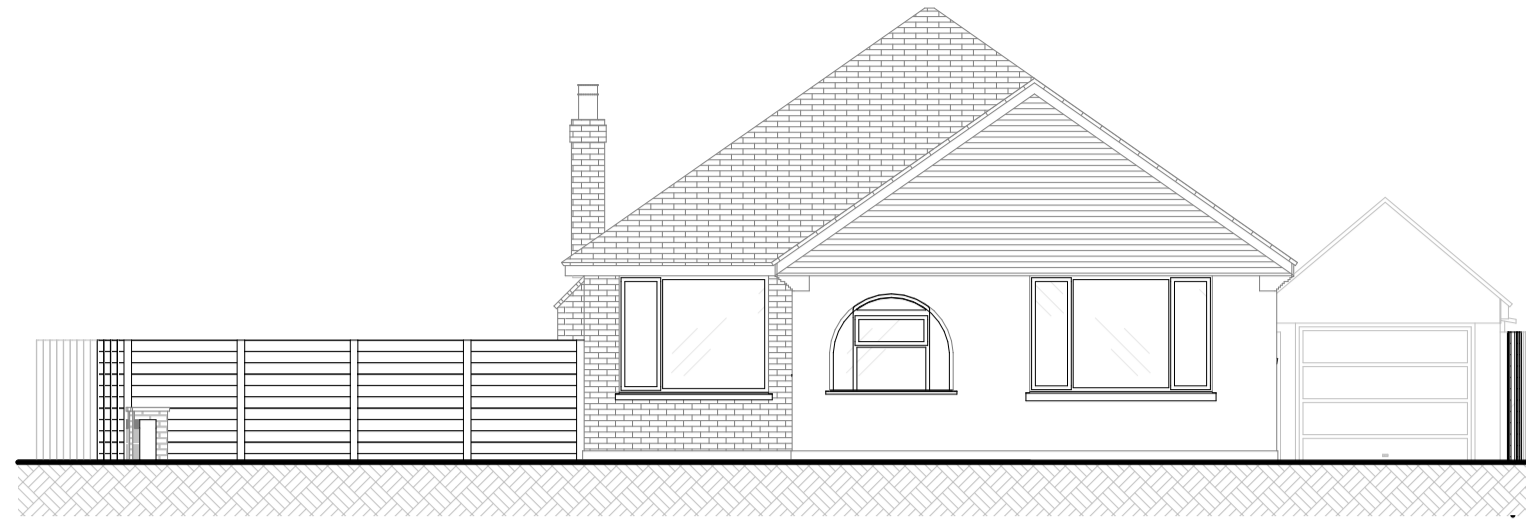
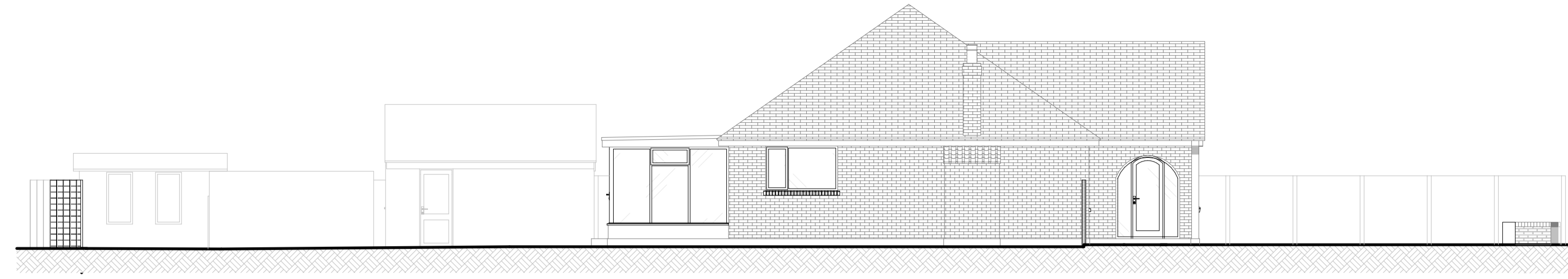


Existing



Front (South West) Elevation
1:100



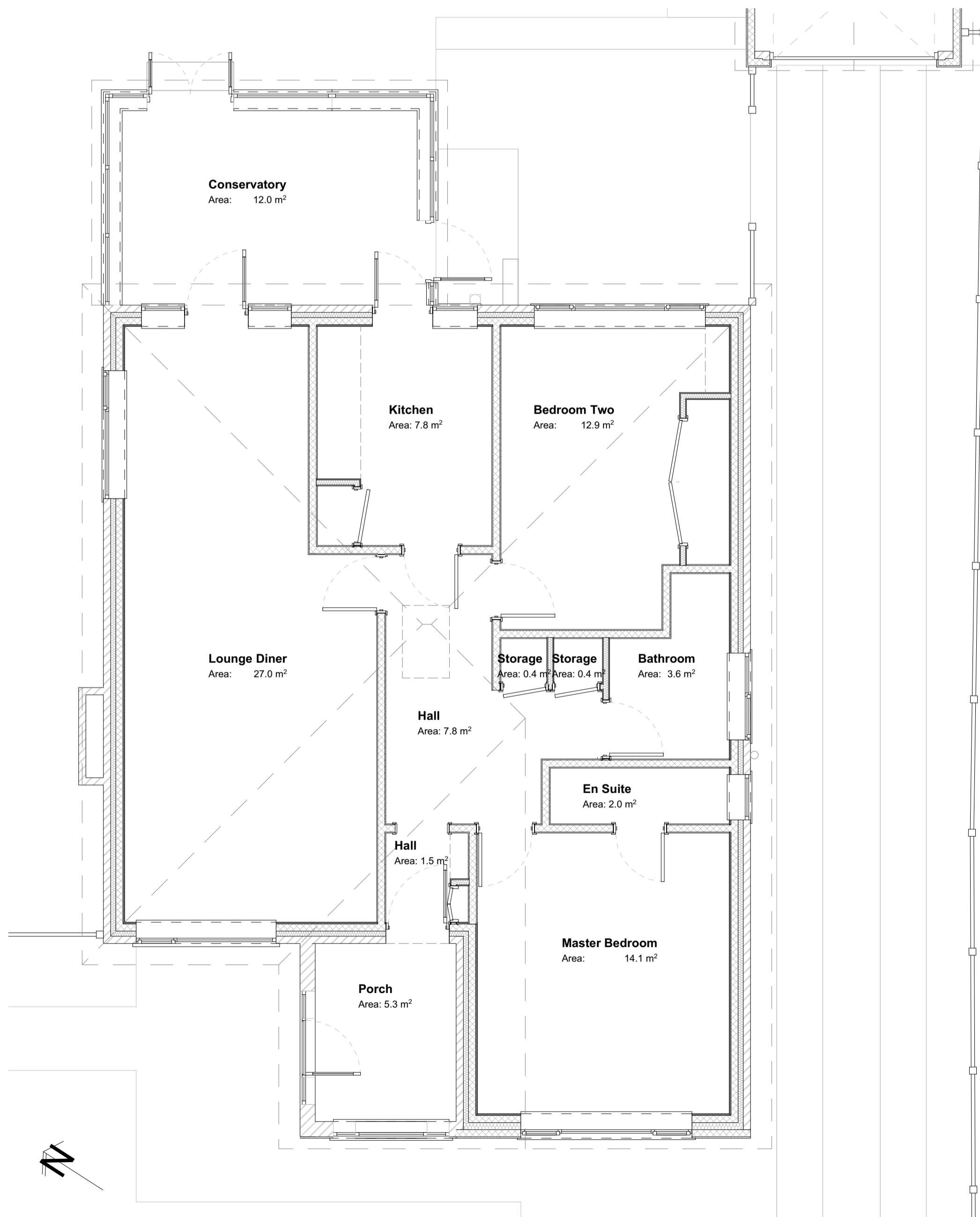
Side (North West) Elevation
1:100



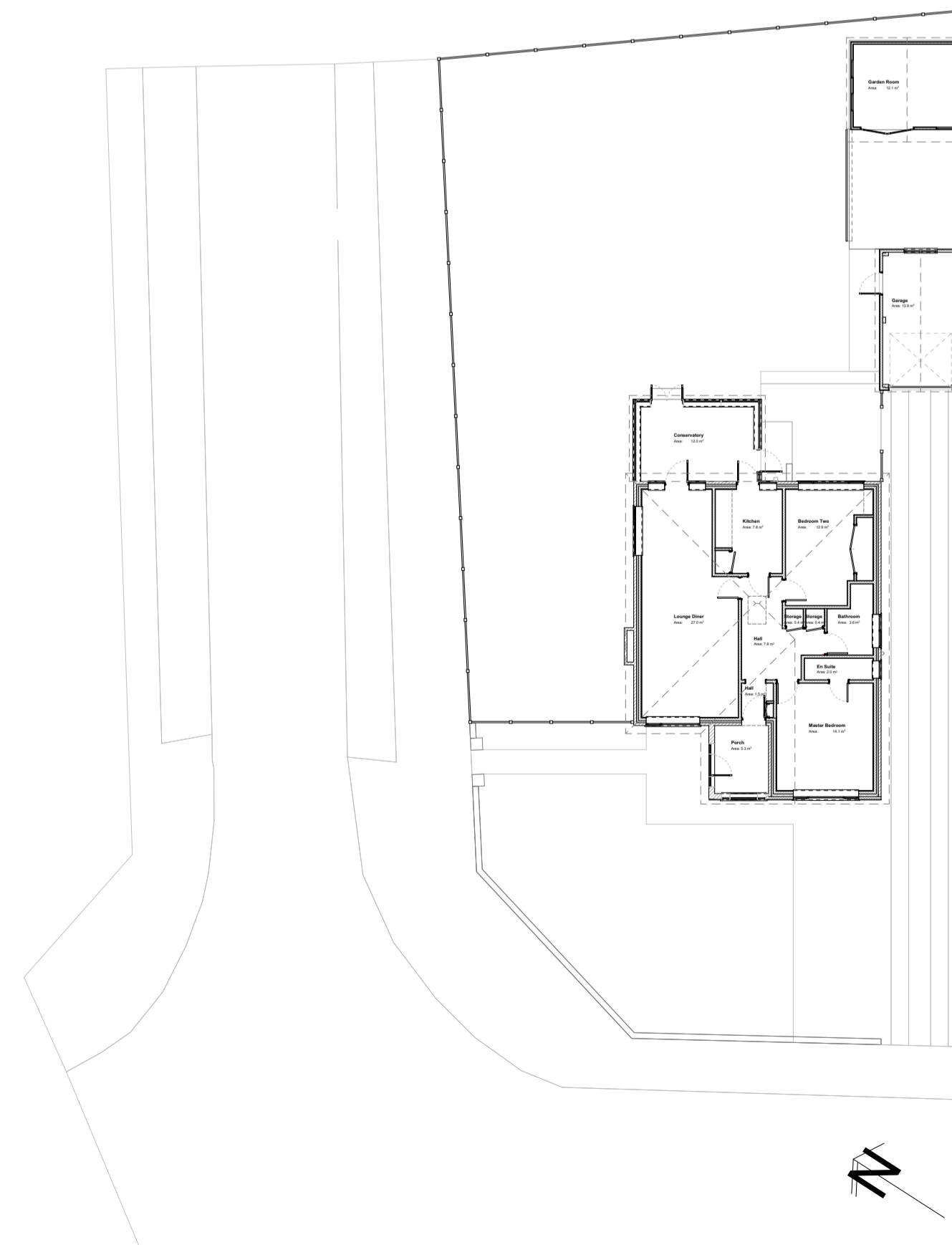
Rear (North East) Elevation
1:100



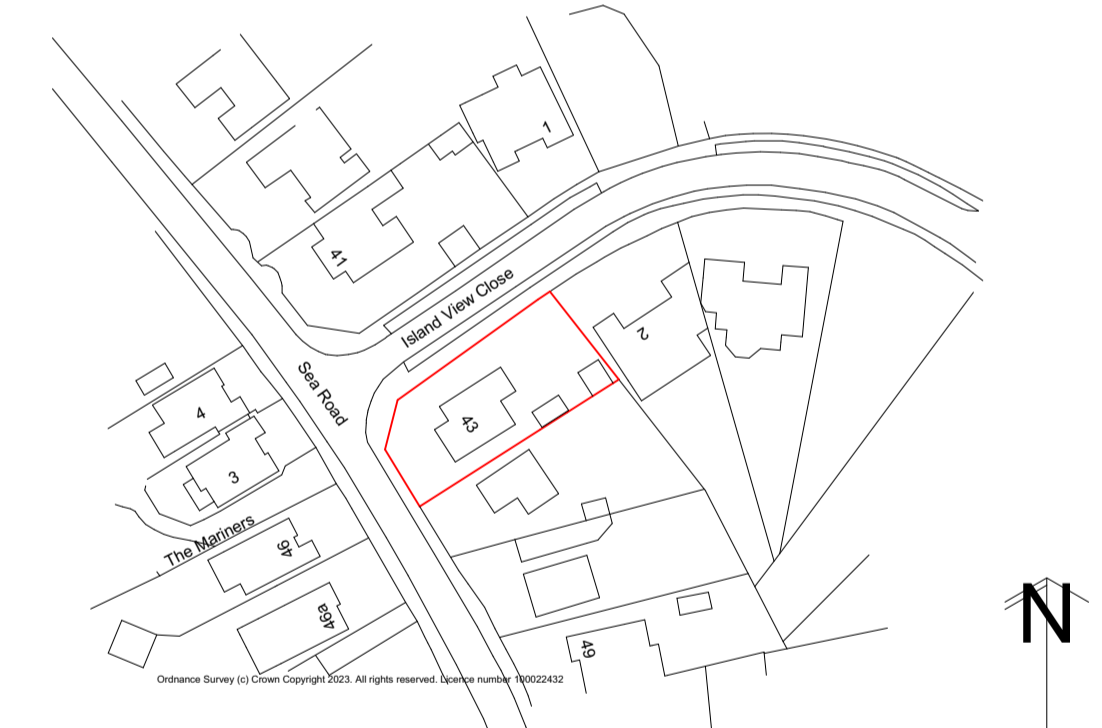
Side (South East) Elevation
1:100



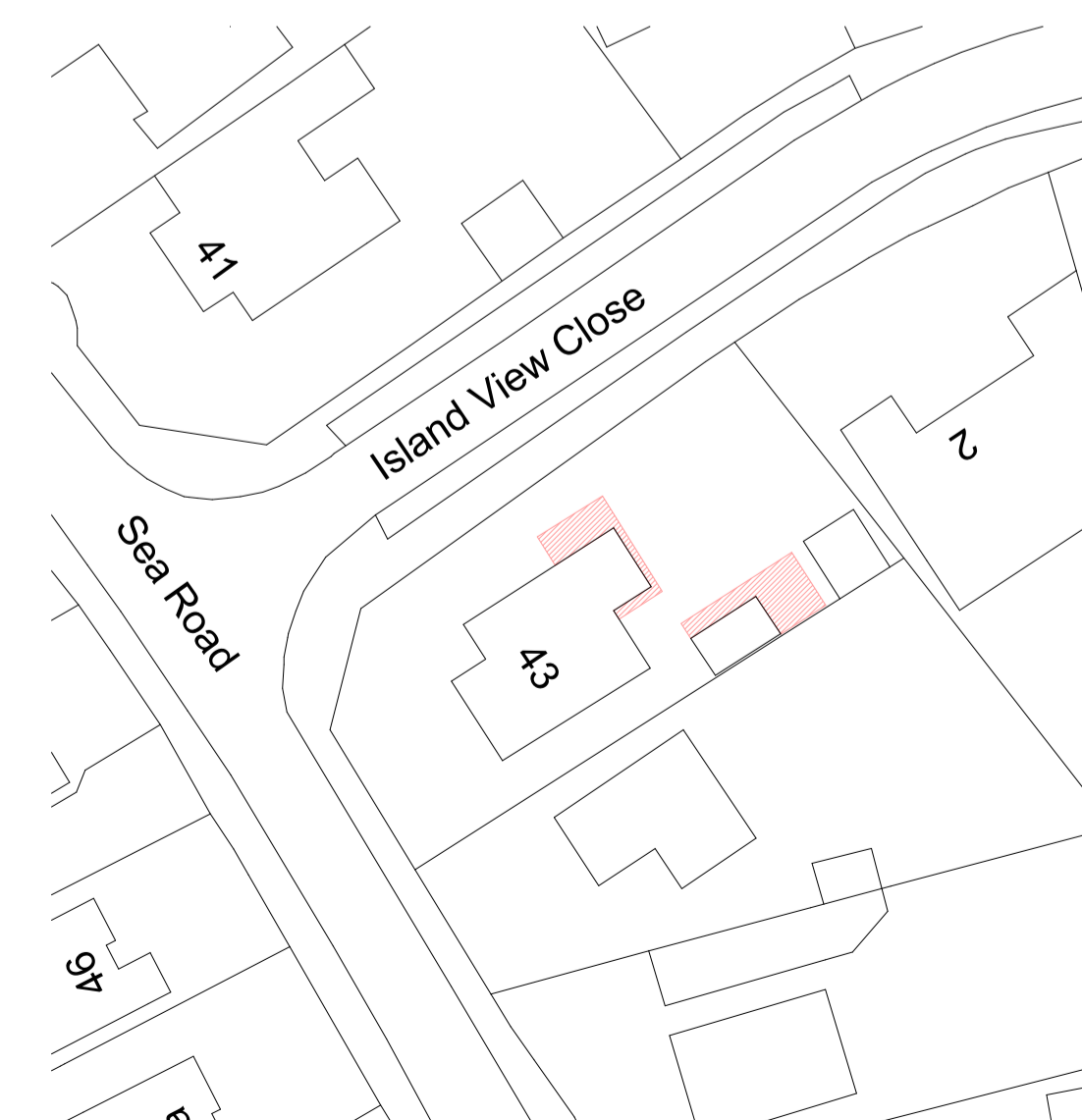
Ground Floor
1:50



Site Plan as Existing
1:200



Location Plan
1:1250



Block Plan
1:500

ADAM DUNN DESIGN
ARCHITECTURAL DESIGN
& PLANNING APPROVAL

ARCHITECTURAL DESIGN
PLANNING APPROVAL
BUILDING CONSULTANCY

PLANNING NOTES

DRAINAGE (SUDS)
A new soakaway will be designed in accordance with Approved Document H & BRE Digest 365, the design allows an increase of 30% for climate change. The proposed hardstanding areas shall be laid with a cross fall so all rainwater shall be directed into the ground locally and within the site boundaries.

Provide a silt trap to the surface water drainage line so that the silt and debris can be removed before it can enter the soakaway. The silt trap shall be cleared weekly until the development is completed after which a three monthly inspection rota shall be followed.

WASTE STORAGE
Unchanged

BOUNDARY TREATMENT
Unchanged

EXTERNAL MATERIALS

| | |
|-----------------|---|
| Walls | 01 - Facing brickwork |
| | 02 - Timber cladding |
| Roof | 03 - Slate tile |
| Windows & Doors | 04 - uPVC white/ off white |
| Rainwater Goods | 05 - uPVC white |
| * | Denotes obscured glazing Pilkington level 5 |

AREAS

| | |
|---------------------|-----------------------|
| Existing Floor Area | 120.80 m ² |
| Proposed Floor Area | 234.30 m ² |
| Site Area | 680.20 m ² |

DRAWING NOTES

C 03/11/2023 Client Amendments
A 01/10/2023 Client Amendments

REV DATE DESCRIPTION

CLIENT Nicola Paterson

PROJECT Proposed Rooms in a New Roof, Alterations to Existing Garage and Single Storey Rear Extension

ADDRESS 43 Sea Road, Milford On Sea, Lymington SO41 0PH

DRAWING Plans as Existing

STATUS Planning Permission Application

DATE August 2023

SCALE @ A1

1:500, 1:50, 1:100, 1:1250, 1:200

DRAWING N° 22082-00-02

REVISION C

ARCHITECTURAL DESIGN
PLANNING APPROVAL
BUILDING CONSULTANCY



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07933 277770

ISSUE SCHEDULE

| | | | |
|----------------------|-------------------------------------|---------------|--------------------------|
| Preliminary Planning | <input checked="" type="checkbox"/> | Building Regs | <input type="checkbox"/> |
| | <input type="checkbox"/> | Construction | <input type="checkbox"/> |

This drawing has copyright protection and should not be reproduced without written permission from Adam Dunn Design. The Contractor is responsible for checking the dimensions on site and any discrepancy to be verified prior to the commencement of any building works or fabrication. These drawings are not to be scaled and must be read in accordance with all associated architectural, surveying, engineering and service drawings. If in doubt, please ask.

