



ZAC MONRO ARCHITECTS

Design & Access Statement for
119 The Drive, Rickmansworth, WD3 4DR

Document Ref:
J22006 - ZMA - PP - Design & Access Statement - PL - RevA - 230718

^x Issue Date	Issue To	Issued By	Checked By	Rev	Comments
18.07.23	Client	NL	ZM	/	Design & Access Statement
01.11.23	Client	JN	ZM	A	Design & Access Statement
09.11.23	Planning	JN	ZM	A	Design & Access Statement

Contents

Contents	3
Introduction	4
Assessment	5
Location	6
Flood Risk Assessment	7
Existing Use	8
Site Arrangement	9
Photos External	10
Photos Internal	11
Ground Floor Plan	12
First Floor Plan	13
Elevations	14
Evaluation	15
Opportunities & Constraints	16
Pre Application Response	17
Proposed Design	18
Proposed Site Plan	19
Ground Floor Plan	20
First Floor Plan	21
Elevations	22
Sections	24
Proposed Materials	25
3D Massing	26
Sustainability	27
Planning Policy	28
Planning Policy Context	29
Local Planning Applications	31
Conclusion	33

Introduction

119 The Drive is a private residential detached dwelling located in Rickmansworth. The 4 bedroom house sits on a generous plot with a substantial sloped garden to the rear. The house is in need of modernisation to bring the living accommodation in line with modern standards.

The Design & Access Statement is for a proposed ground and first floor extension. The proposal is to improve the quality of the interior spaces, provide additional space for the occupants, and make better use of the garden by improving the indoor-outdoor relationship.

Assessment

119 The Drive is located in Rickmansworth, southwest Hertfordshire. The large family home is 0.4 miles from Rickmansworth underground train station.

The property is located on a road with predominantly large detached homes and sits within a generous 0.54 acre plot

119 The Drive

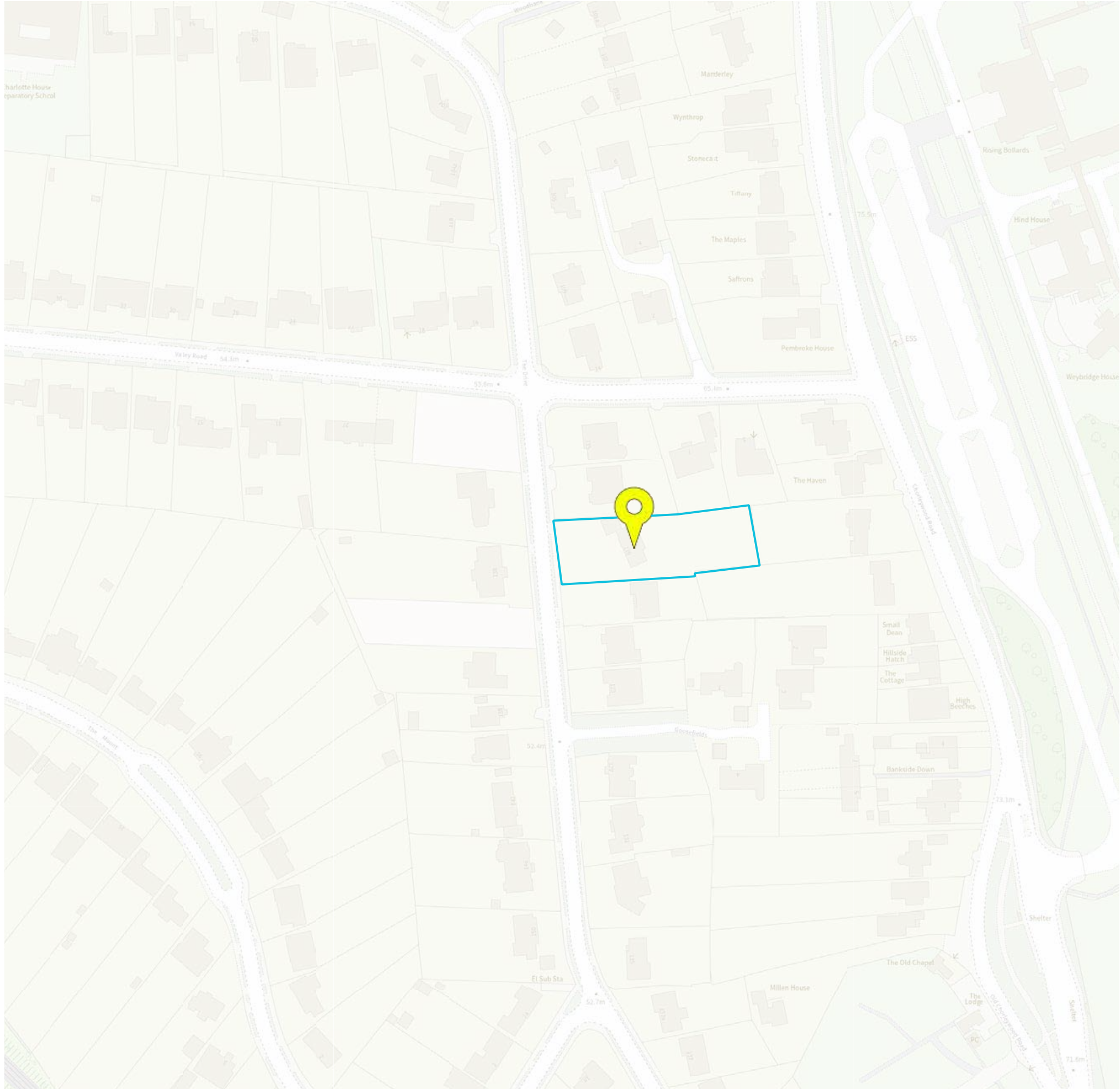










— Site Boundary

Flood Risk Assessment

119 The Drive is at very low risk of flooding from surface run off [Refer to Environment Agency Flood Map adjacent]. The Environment Agency describes Flood Zone 1 as “land having a less than 1 in 1,000 annual probability of river or sea flooding.”

Design measures to mitigate the risks of flood water ingress will be considered where deemed necessary. The specification of finishes and services that withstand flood water damage, or are easily replaceable will be considered. But as the scheme is small scale and the risk associated with the area is low, the implementation of flood resilient or resistant design measures will depend on other varying factors.



-  Selected point
-  Flood zone 3
-  Flood zone 3: areas benefitting from flood defences
-  Flood zone 2
-  Flood zone 1
-  Flood defence
-  Main river
-  Water storage area

Existing Use

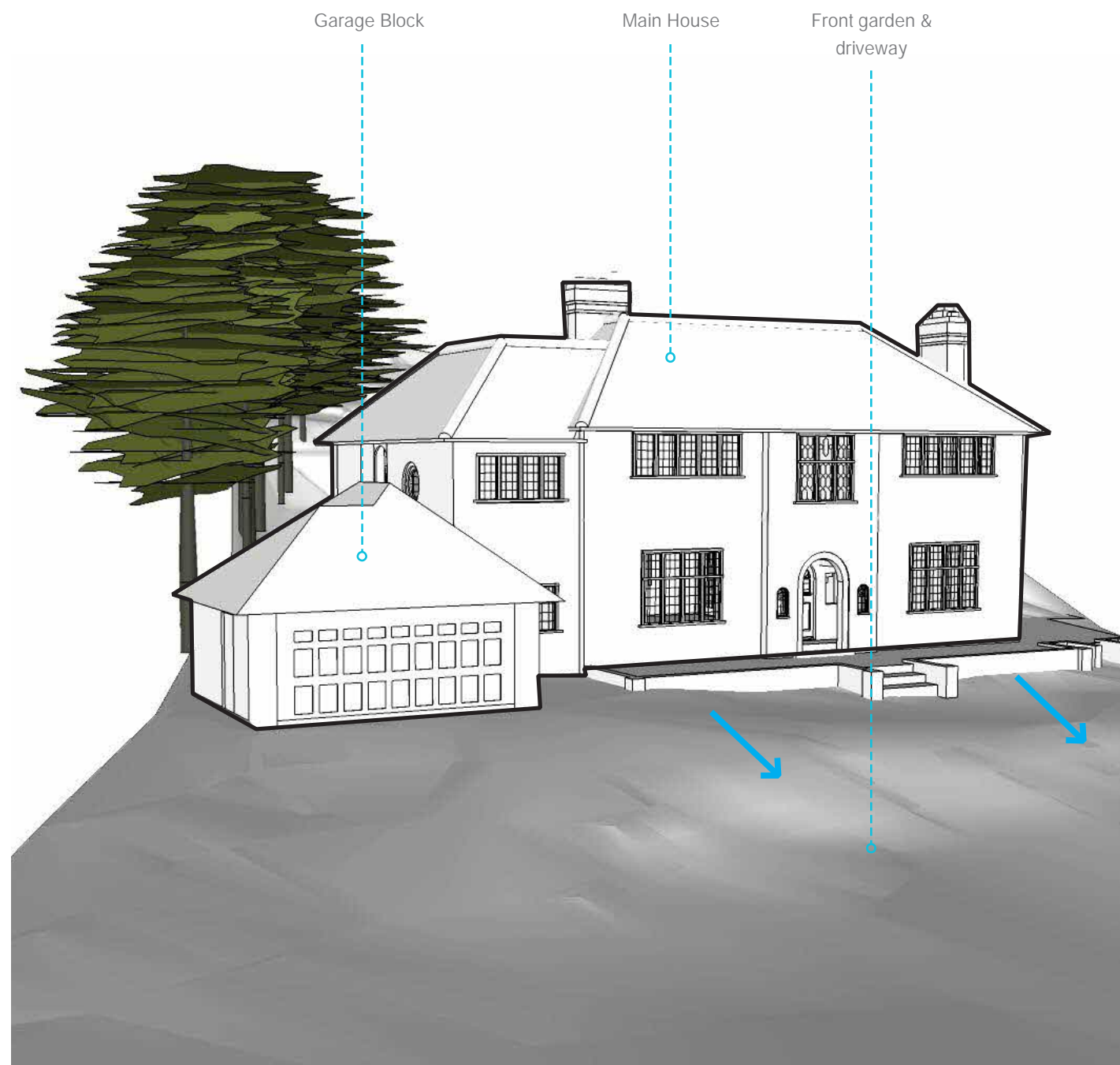
Existing Use

Site Arrangement

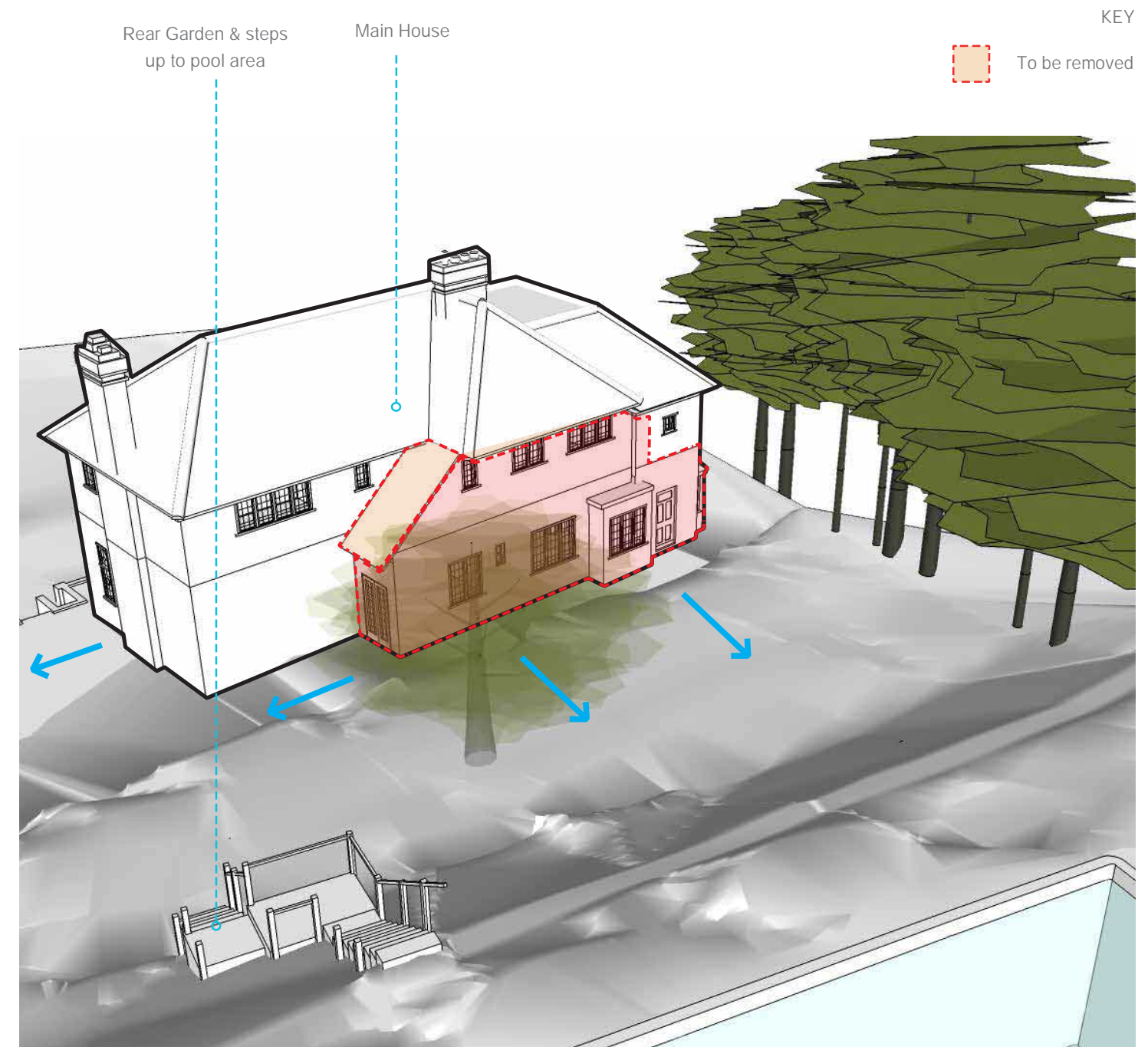
The property is made up of three main elements, the main house, the garage, and the pool house in the rear garden.

The rear garden can be accessed through the garage, from the front garden and the rear of the house. However there is limited access to the side terrace area from the main house.

The small windows on the rear elevation do not provide much in the way of natural light or passive solar gain.



Front of House

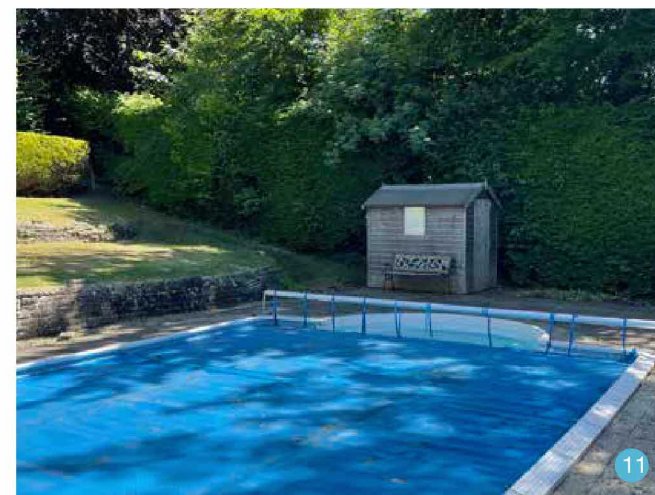
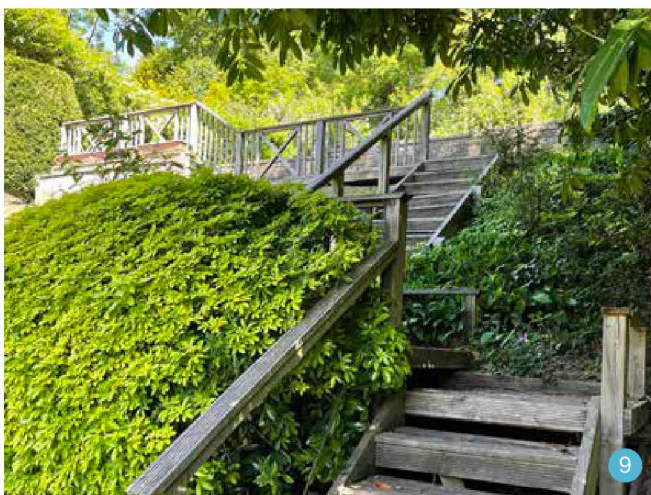
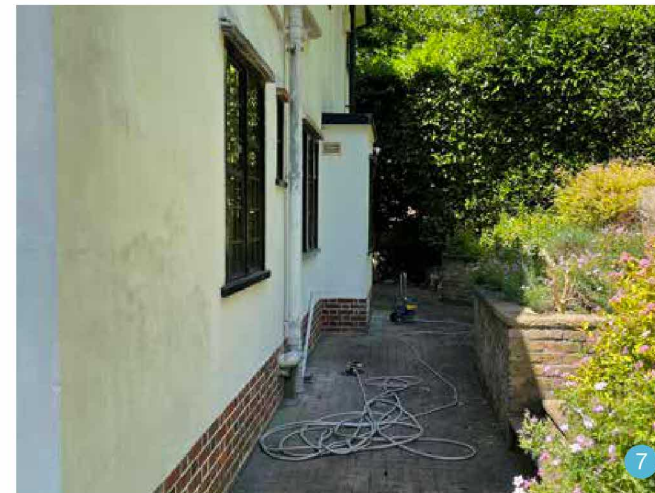


1. View of front elevation
2. View of front driveway
3. View of southern side patio area
4. View of rear elevation and garage along boundary wall
5. View looking from garage back door to rear garden
6. View looking to rear of garage and boundary wall

7. View of rear elevation and garden wall
8. View of pool area from kitchen
9. View of stairs up to pool area
10. View of rear of house and garden from pool area
11. View of pool and pool shed
12. View of pool and rear of house

Photographic Evidence - External

The existing house is detached with a generous driveway and rear garden. There is a significant level change between the ground floor level and the rear garden, requiring stepped access up to the pool area. The existing materials are white render, red brick, and red roof tiles.



Existing Use

1. View of main staircase
2. View of ground floor hallway, leading onto rear garden
3. View of kitchen and utility area
4. View of kitchen
5. View of main living room
6. First floor narrow corridor
7. Bedroom looking onto rear garden.
8. View of rear garden from first floor bathroom

Photographic Evidence - Internal

Internally the property boasts a number of large rooms and high ceilings, including a generous entrance hallway. However a number of smaller windows on the rear elevation give way to darker and disjointed spaces and a disconnection from the garden.

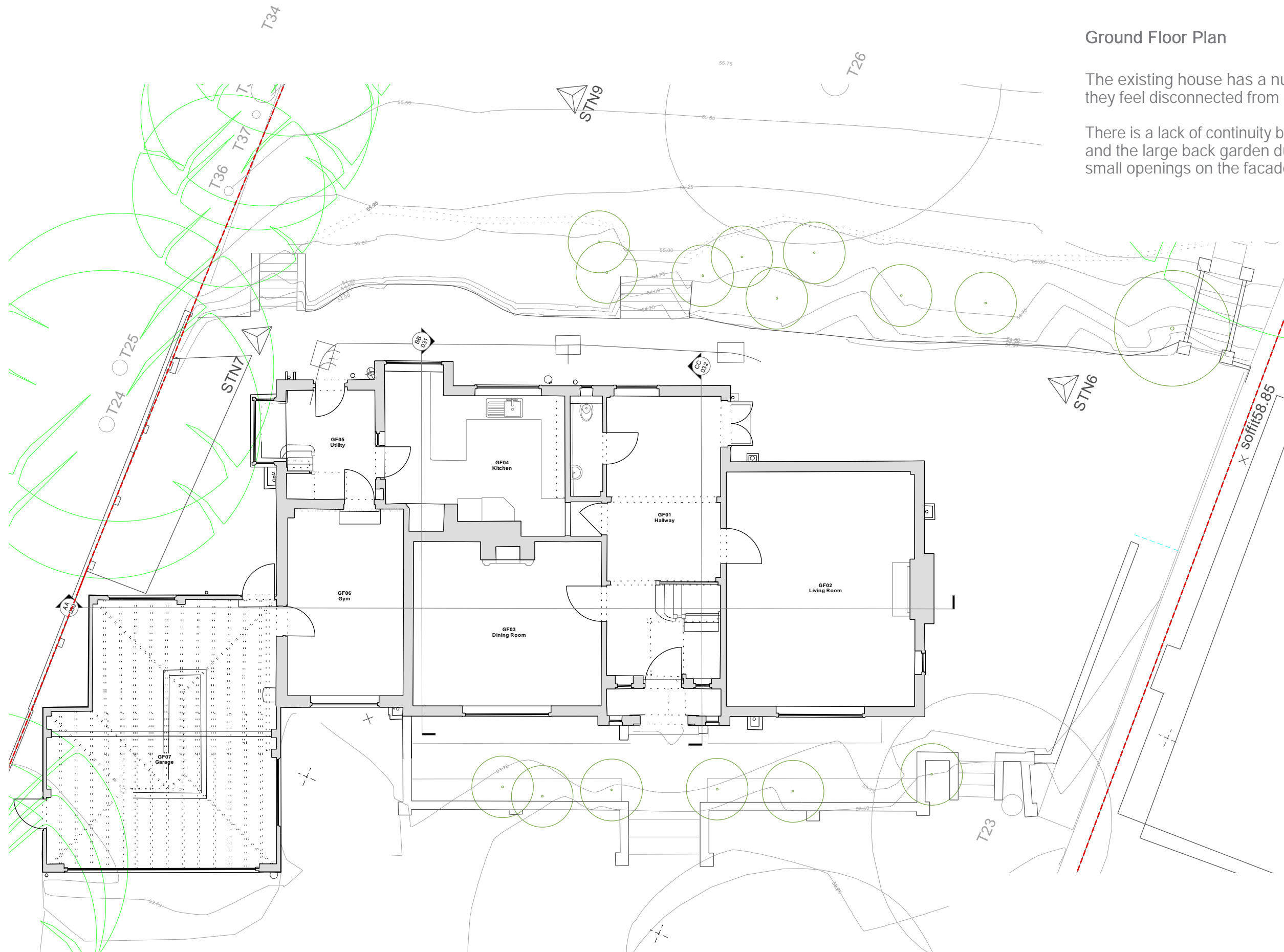
The first floor as a generous landing but a narrow and dark corridor that leads to the rear rooms.



Ground Floor Plan

The existing house has a number of large reception rooms but they feel disconnected from one another and the rear garden.

There is a lack of continuity between the kitchen and living spaces and the large back garden due to a significant level change, and small openings on the facade.



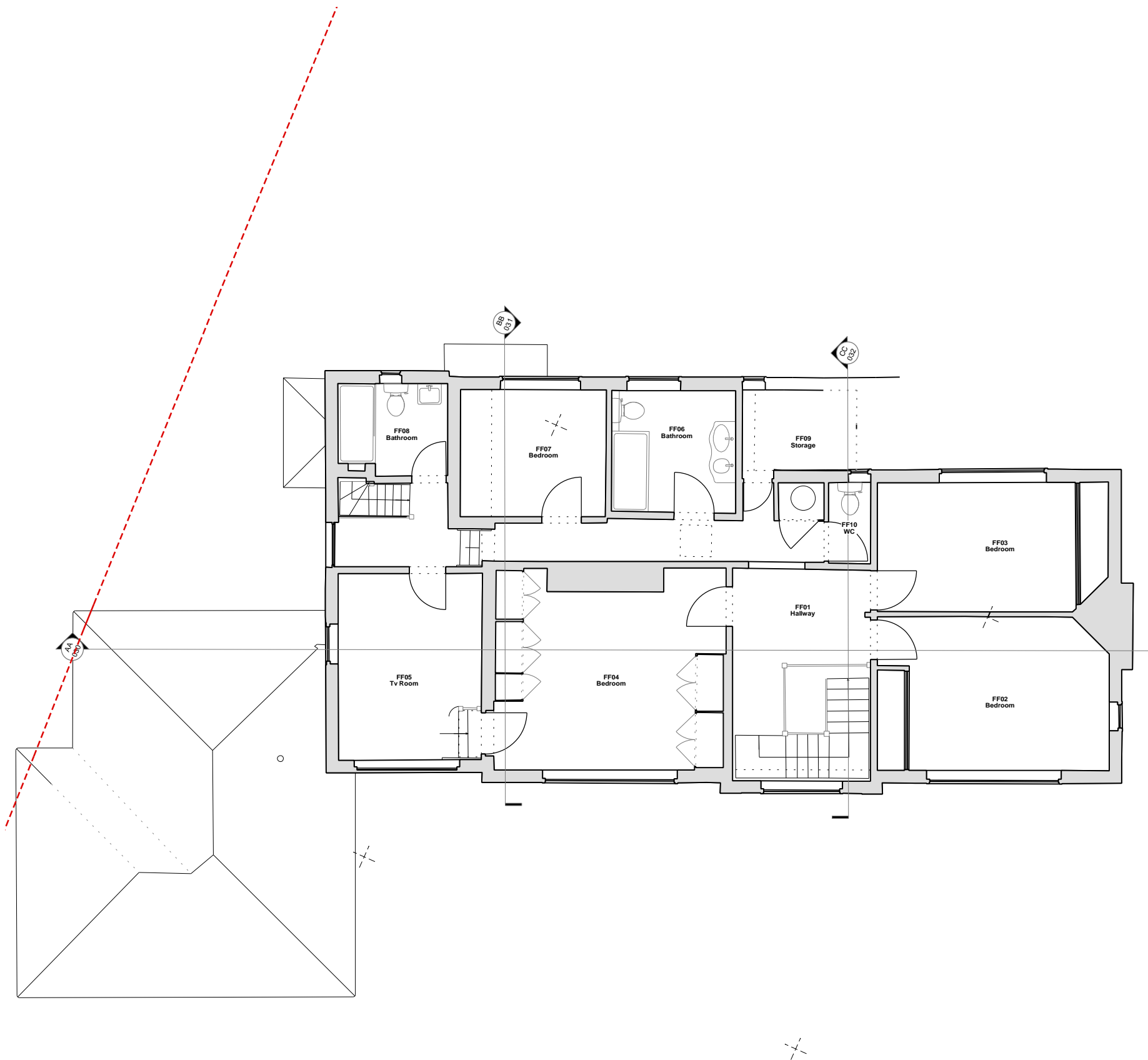
First Floor Plan

Upstairs the hallway leads to 2 bathrooms and 4 double bedrooms. These spaces feel in need of rationalising and a slight reconfiguration to fit the families needs, now and in the future.

The main corridor leading off the large hallway to the rear rooms is very narrow. The hallway currently has no views to the rear garden, and its only natural light comes from the front western window.

The northern rooms are at a lower level and accessed via a number of steps. The ceiling levels also drop in these areas.

FF.09 is unusable due to the low level ceiling and roof pitch.



Existing Elevations

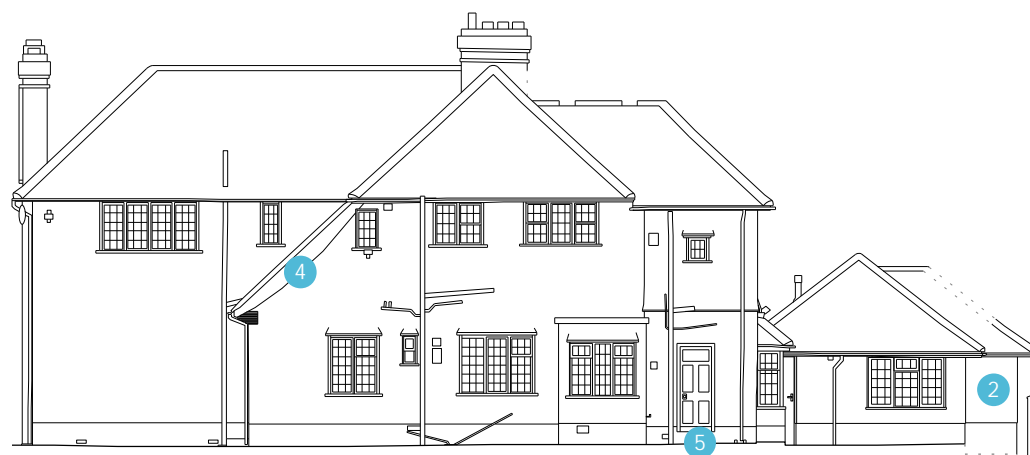
The following elevations clearly depict the awkward change in roof profiles and levels within the house.

The external character of the rear elevation feels in need of modernisation, along with rationalisation of its form. The new design will improve the overall interior light levels, particularly to the living room and new kitchen.



Existing Front (West) Elevation

Existing Side (North) Elevation



Existing Rear (East) Elevation



Existing Side (South) Elevation

Disclaimers:
 All dimensions are to be confirmed on site. Zac Monro Architects takes no responsibility for any dimensions that are obtained by scaling this drawing if no dimension is given, it is deemed to be the responsibility of the contractor to ascertain the dimension from site measurement before any work is carried out. Any discrepancies are to be brought to the attention of the architect before the work is carried out.
 All copyright for information included in this drawing remains with Zac Monro Architects.

Disclaimers:
 All dimensions are to be confirmed on site. Zac Monro Architects takes no responsibility for any dimensions that are obtained by scaling this drawing if no dimension is given, it is deemed to be the responsibility of the contractor to ascertain the dimension from site measurement before any fabrication takes place. Any discrepancies are to be brought to the attention of the architect before the work is carried-out.
 All copyright for information included in this drawing remains with Zac Monro Architects.

1. Main Entrance
 2. Garage
 3. Side terrace and access to rear garden
 4. Awkward roof profile
 5. Rear Entrance
- *NB. For the avoidance of doubt, the coded numbers on this page relate to this page only*

Evaluation

Opportunities & Constraints

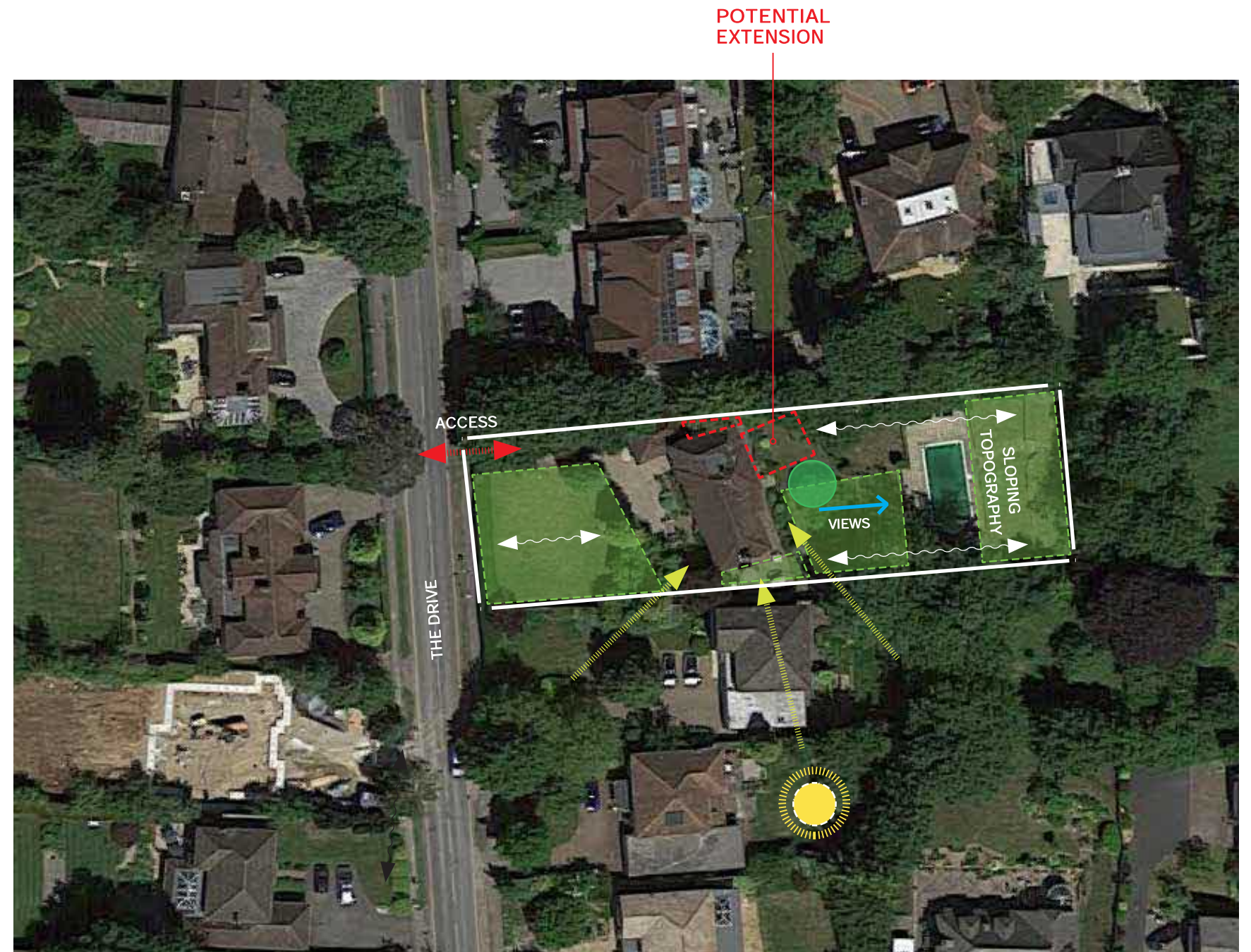
Below is a list and diagram to explore opportunities and constraints on the site, relating to buildings, landscape and access. These factors have been taken into account when designing a scheme to add a new extension and open up the kitchen area with new key views to the rear gardens.

Opportunities

- **Landscape** - Connect with the surrounding landscape and topography, visually and physically
- **Views** - Maximise the opportunity to take advantage of the views of the surrounding landscape and the garden
- **Light** - Improve the quality of daylight filtering into the internal spaces throughout the day
- **Sustainability** - Opportunity to use better construction techniques to improve thermal insulation and reduce the energy wastage of the property, increasing long term sustainability.
- **Open Spaces** - Create landscaped open spaces to link the inside and outside freely (dotted in green)
- **Screening** - The site benefits from a boundary of mature trees and hedges, therefore any proposals should not impact the views or context of neighbouring dwellings

Constraints

- **Built Form** - Respectful of immediate and wider context
- **Height** - Building heights and topography to be taken into account so that the new proposal doesn't dominate the main house, site and context



Pre-application Response

Pre-Application ref: 22/2353/PREAPP
Date: 31/01/2023

Pre-application advice was sought prior to submitting this full application and the proposal has been redesigned to take on board the comments from the pre-app response.

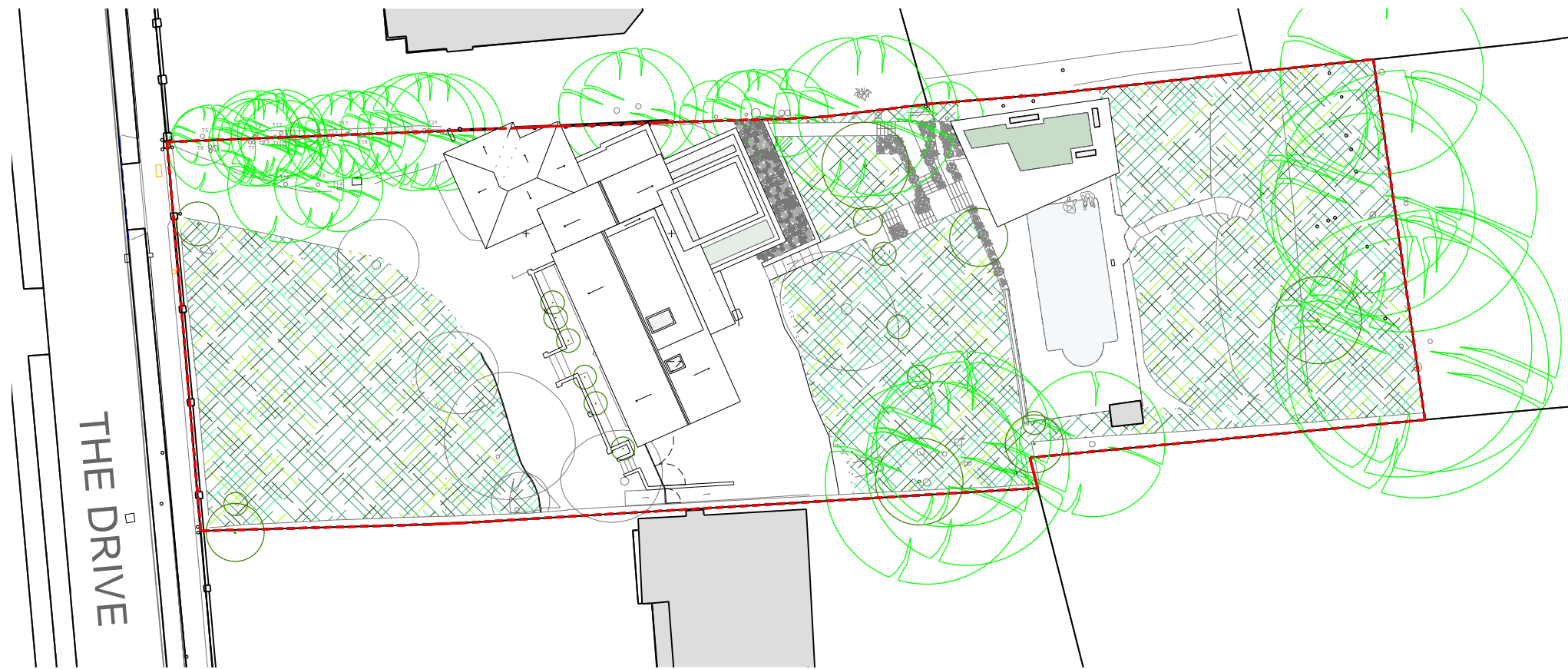
Impact on the character and appearance of the host building and streetscene:

The proposal submitted for the pre-app included a dormer extension, proposed walkway, and pool house. The advice on this noted that 'extensions should not be disproportionate in scale to the original dwelling'.

The following changes have been made to the proposed scheme in response:

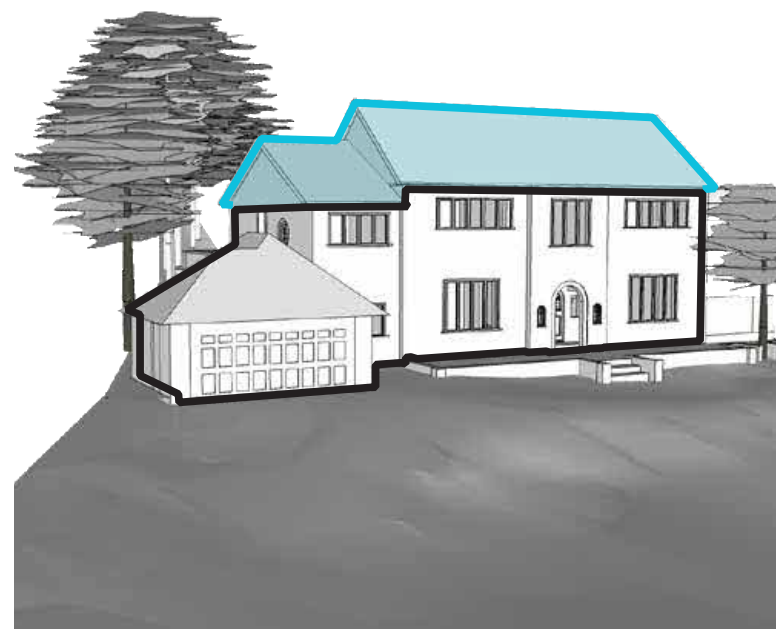
1. The increase in ridge height, hip to gable extension, and the dormer extension have been removed from the new proposal.
2. The rear hipped roof is to be retained
3. The rear ground and first floor extensions have been reduced by 1m.
4. The proposed level of vertical fenestration to the south and rear elevations have been reduced. The first floor rear windows have been replaced with a larger square picture window.
5. The proposed raised walkway has been removed.
6. The new side gate has been reduced in height.

ZMA and the client have taken on board this advice and reduced the scale of the proposals in order to be more inkeeping with the character of local plots, and reduce the overall scale of development. The appearance of the new proposal is more traditional in its form than what was submitted at pre-app and does not impact on the streetscene.

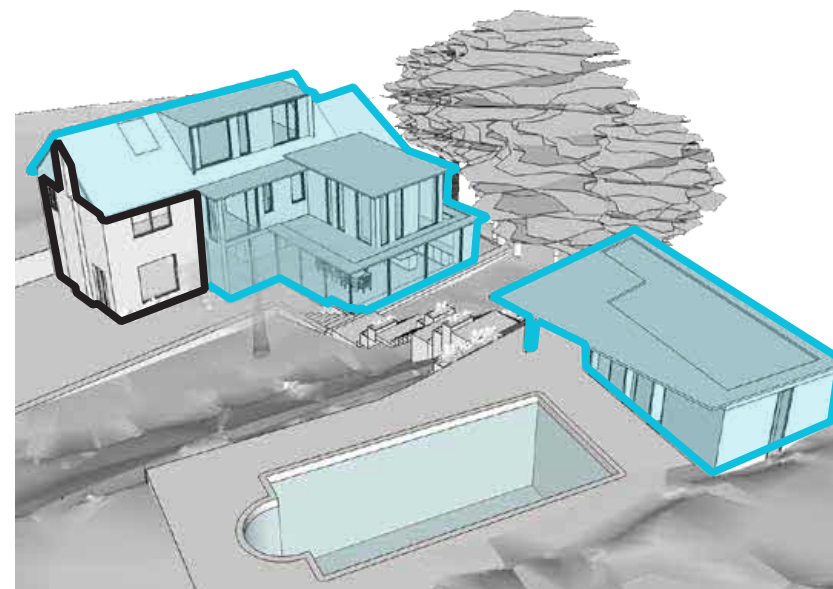


Proposed Site Plan

0.91m RH



Proposed 3d of front of house



Proposed 3d of rear of house

- Existing House
- Proposed Design

Impact on the amenity of neighbours
The advice in this report is to 'protect residential amenities to account the need for adequate levels of discretion of privacy, prospect, amenity and garden space'. In response the southern first floor windows to the rear extension are proposed to be obscurely glazed. In addition planting has been proposed along the southern boundary to reduce any overlooking from the slightly raised plot to No. 121. Refer to the proposed South elevation to existing and proposed site plans.

Disclaimers:
All dimensions are to be confirmed on site. Zac Monro Architects takes no responsibility for any dimensions that are obtained by scaling this drawing. If no dimension is given, it is deemed to be the responsibility of the contractor to ascertain the dimension from site measurement before any fabrication takes place. Any discrepancies are to be brought to the attention of the Architect before the work is carried-out.

Biodiversity:
All copyright for information included in this drawing remains with Zac Monro Architects. A Local Biodiversity Checklist has been submitted as part of the submission.
Impact on Trees and Landscape
An Arboricultural Impact Assessment has been submitted as part of this application. Please refer to the Arboricultural Impact Assessment AIA-27320-REV 0 report prepared by Artemis Tree Services Ltd.

Proposed Design

Proposed Design

Site Plan



Proposed Design

Ground Floor Plan

The eastern walls in the entrance hallway have been opened up to allow views of the rear garden as soon as you enter the house. The hallway has been opened up further by reconfiguring the stairs to the first floor, creating a central open feature staircase.

A large extension to the rear of the ground floor allow for a generous open plan kitchen and dining space, with a better connection to the rear garden.

A new side extension provides a utility and service kitchen, which is connected to the kitchen via a hidden door.

New window and door openings are proposed in the living room to access the side patio area, and offer views of the terraced garden.

The proposals ensure that the main living spaces on the ground floor have better links to one other, and to the surrounding garden and terraced areas, each zone having direct access.



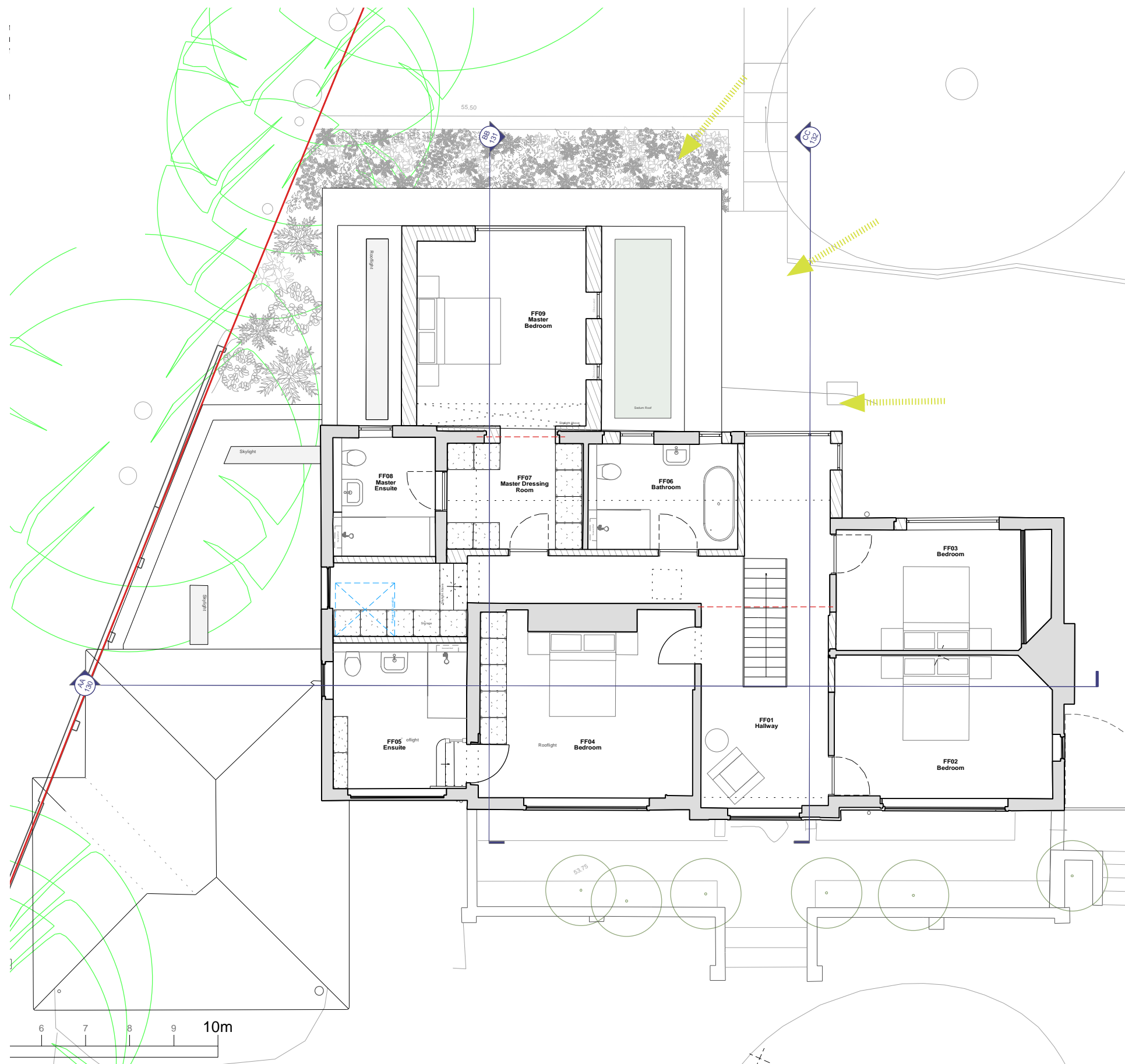
Proposed Design

First Floor Plan

Upstairs the rooms have been reconfigured to offer four generous double bedrooms, two with ensuite shower rooms.

A first floor extension is proposed at the rear of the house to provide a master bedroom with views onto the rear garden. The hallway corridor, leading to the master suit and family bathroom has been widened. The space at the end of the corridor has been utilised as a storage area, and potentially a future lift.

The existing storage and WC area has been opened up, to create a small seating area, and offer views from the hallway and staircase of the garden. To create the required headroom a new roof flat profile has been proposed for this area.



Proposed Design

Elevations



Proposed Front (West) Elevation



Proposed Rear (East) Elevation

Key:

Boundary line

01
130

GA Section - Drawing No | Sheet No

01
120

GA Elevation - Drawing No | Sheet No

Disclaimers:

All dimensions are to be confirmed on site. Zac Monro Architects takes no responsibility for any dimensions that are obtained by scaling this drawing. If no dimension is given, it is deemed to be the responsibility of the contractor to ascertain the dimension from site measurement before any fabrication takes place. Any discrepancies are to be brought to the attention of the Architect before the work is carried-out.

All copyright for information included in this drawing remains with Zac Monro Architects.

1. New rear entrance
2. New window opening
3. Ground floor extension
4. First floor extension
5. Side extension
6. Proposed side gate
7. Amended window opening
8. Rebuilt extension
9. Replacement windows

**NB. For the avoidance of doubt, the coded numbers on this page relate to this page only*

Key:

Boundary line

01
130

GA Section - Drawing No | Sheet No

01

GA Elevation - Drawing No | Sheet No

DATUM 50.00m

ELEVATION 2



Proposed Side (South) Elevation

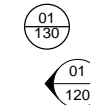
10m

Key:

Boundary line

GA Section - Drawing No | Sheet No

GA Elevation - Drawing No | Sheet No



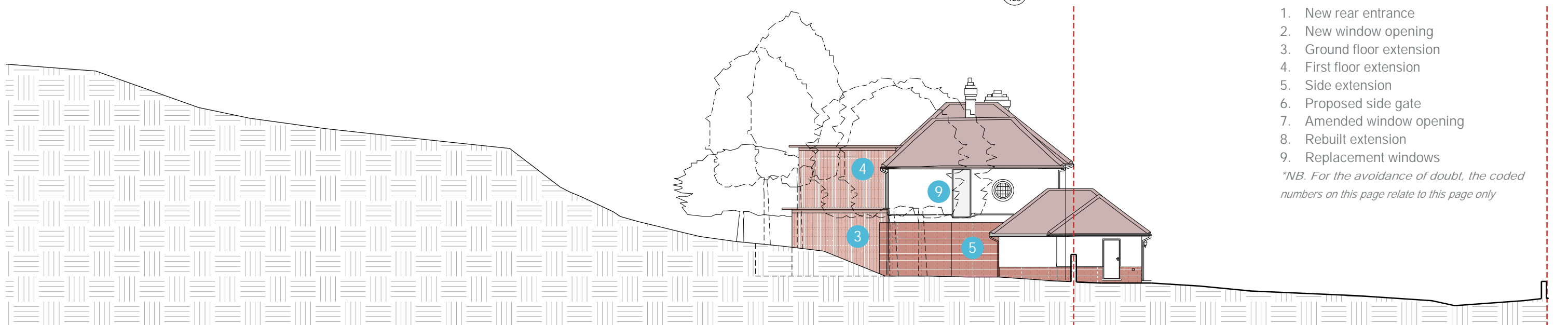
Disclaimers:

All dimensions are to be confirmed on site. Zac Monro Architects takes no responsibility for any dimensions that are obtained by scaling this drawing. If no dimension is given, it is deemed to be the responsibility of the contractor to ascertain the dimension from site measurement before any fabrication takes place. Any discrepancies are to be brought to the attention of the Architect before the work is carried-out.

All copyright for information included in this drawing remains with Zac Monro Architects.

1. New rear entrance
2. New window opening
3. Ground floor extension
4. First floor extension
5. Side extension
6. Proposed side gate
7. Amended window opening
8. Rebuilt extension
9. Replacement windows

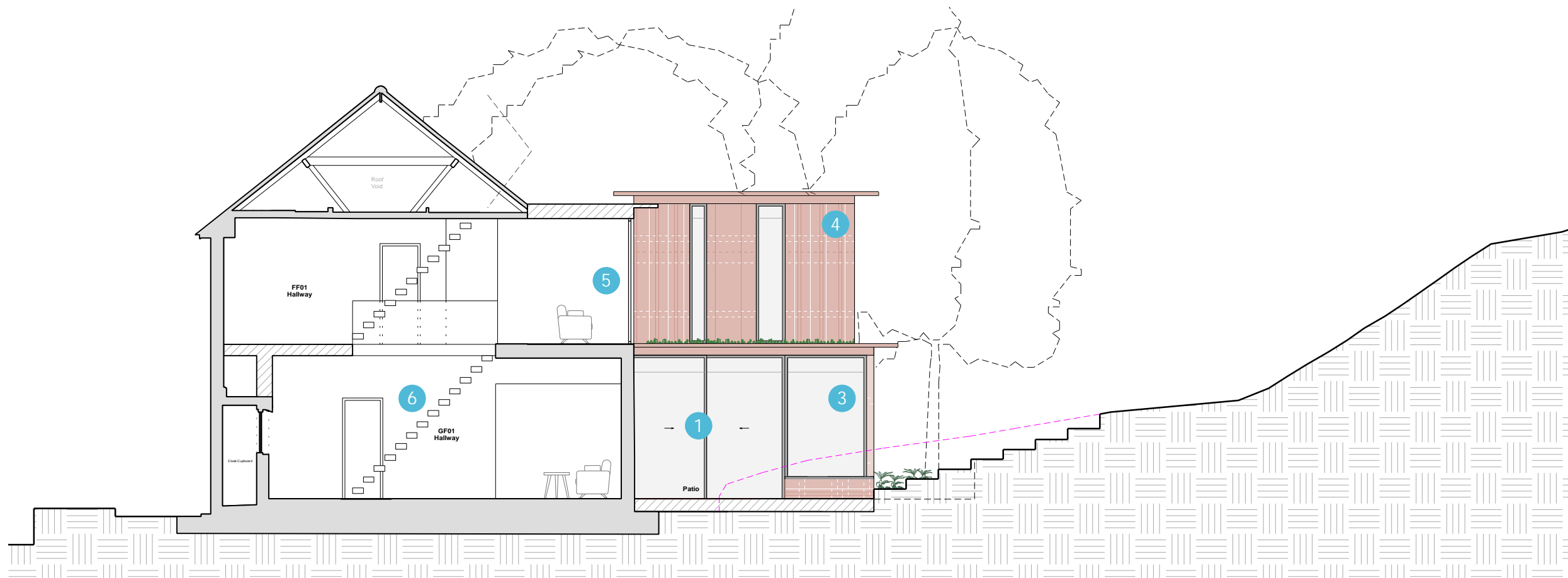
**NB. For the avoidance of doubt, the coded numbers on this page relate to this page only*



Proposed Side (North) Elevation



Section AA

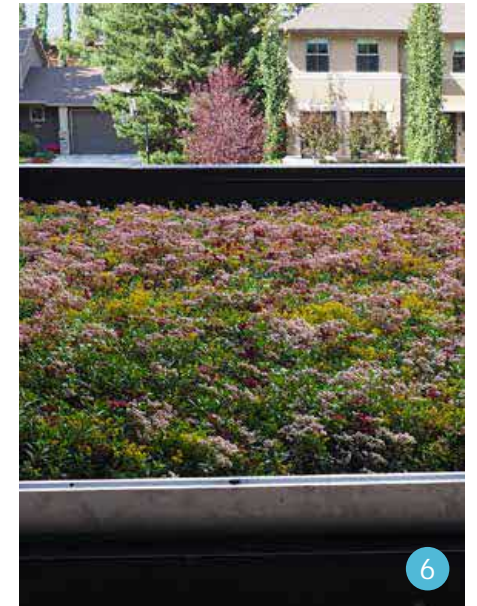
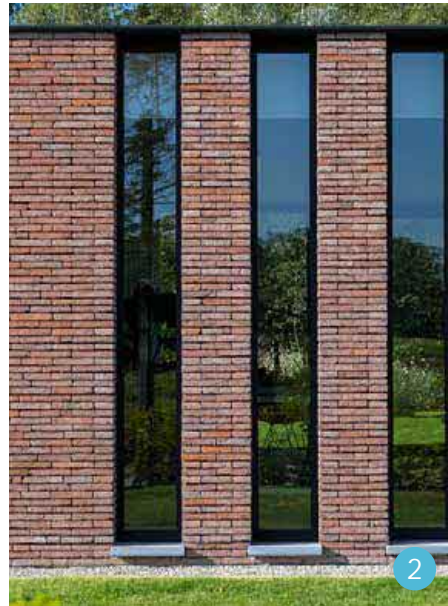


Section CC

1. New rear entrance
2. New window opening
3. Ground floor extension
4. First floor extension
5. Rebuilt extension
6. New central staircase

**NB. For the avoidance of doubt, the coded numbers on this page relate to this page only*

Proposed Materials



1. Horizontal & vertical thin profile red brickwork
2. Full height windows and panels of brickwork
3. Thin profile brickwork with flush glazing
4. Horizontal thin profile brickwork
5. Horizontal & vertical standard red brickwork
6. Sedum Roof

7. Thin roof profile and internal corner column
8. Set back roof fascia
9. Glazing sitting in front of lower ceiling level
10. Glass to glass corner
11. Roof overhand to create solar shading
12. Corten brise soleil

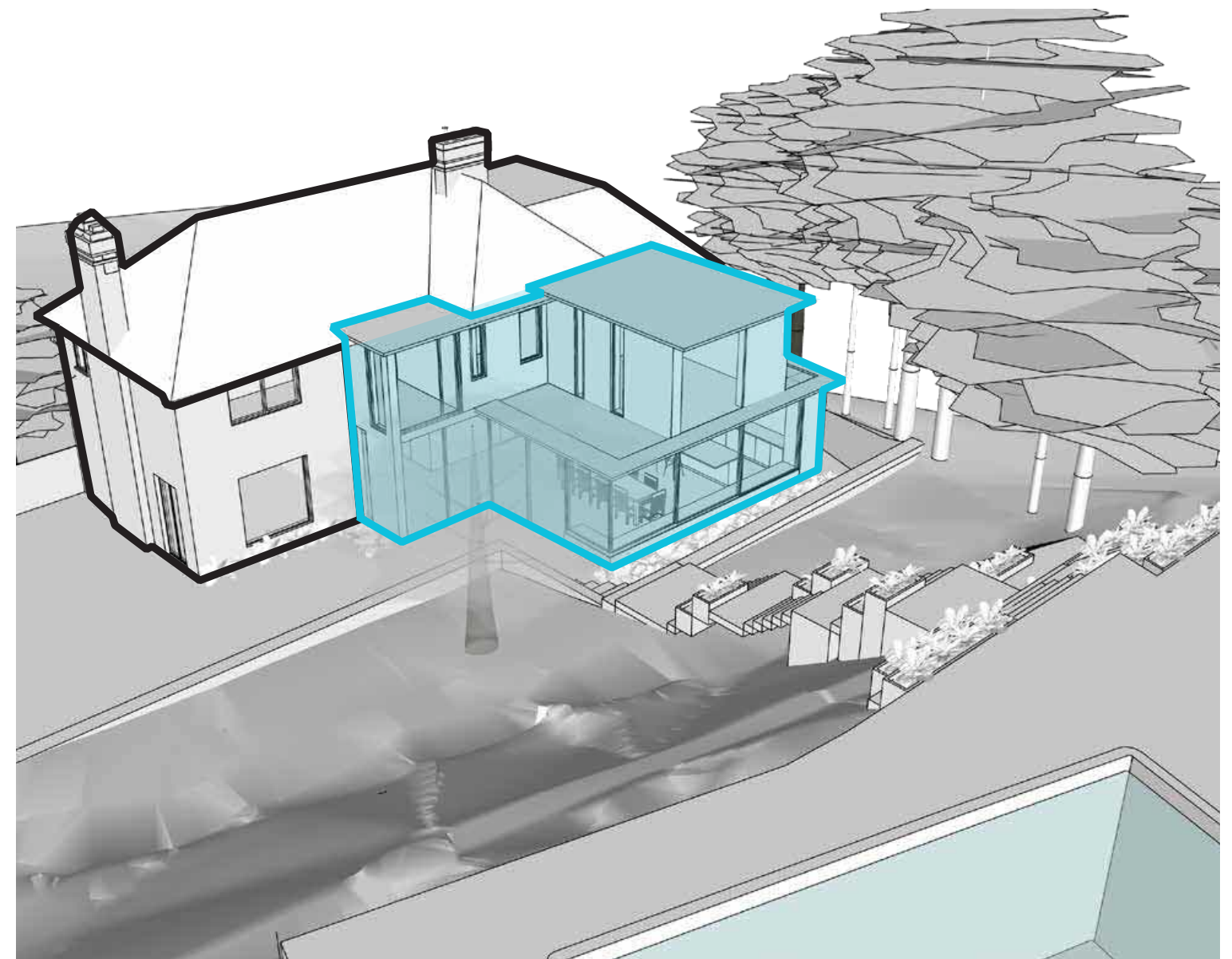
Proposed Design

3D Massing of proposal

- Existing House
- Proposed Design



Front of House



Rear of House

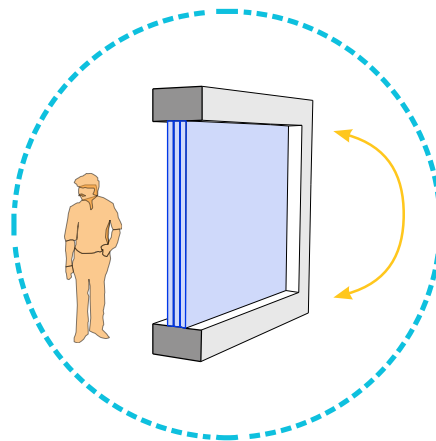
Daylight, Solar Shading and Sustainability

The following systems have been considered and incorporated into the design of the proposal to create a sustainable home.

Our ambition to create a proposal that is efficient and sustainability will be a key driving factor in the design process going forward.

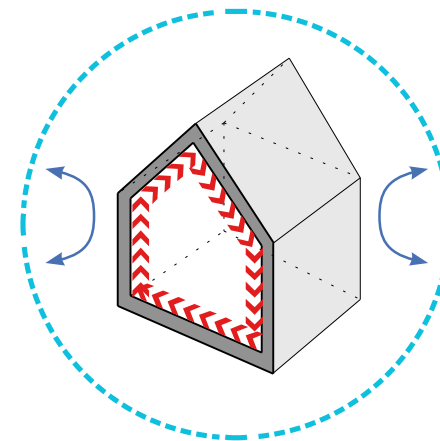
1. Higher Performance Windows and Doors

High rating, energy efficient, double/triple glazed windows will be used throughout, minimising heat loss and solar gain.



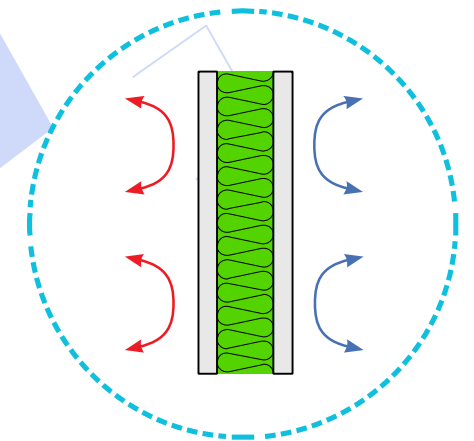
2. Airtight Construction

We will seek to improve the airtightness of the overall house by using modern methods of construction in the extended areas. Airtight membranes will be installed with no unintended gaps in the building envelope that will allow hot air to leak in or out of the building.



3. High Insulation

The extension/renovation will include an improvement in the standard and amount of insulation to all of the extended areas and the roof. This reduces the amount of heat loss, and cooling loads, and will make a huge difference to the energy consumption of the building.



Planning Policy

Planning Policy Context

Three Rivers Core Strategy - October 2011	Proposed Scheme at 119 The Drive
<p>CP1: Sustainable Development</p> <p>All development in Three Rivers will contribute to the sustainability of the District. This means taking into account the need to:</p> <p>a) Tackle climate change by reducing carbon emissions, increasing energy and water efficiency of buildings, promoting the use of renewable energy systems, and using other natural resources wisely, including through the use of sustainable building materials.</p> <p>b) Avoid development in areas at risk from flooding.</p> <p>e) Reduce waste going to landfill by reducing materials used, reusing and recycling building materials and providing opportunities for recycling wherever possible.</p>	<p>a) The proposal will increase the air tightness of the overall house to reduce air leakage and increasing the amount of insulation will reduce heat loss and energy requirements. High performance double/triple glazed windows will be used throughout.</p> <p>b) 119 The Drive is in Flood Zone 1 and is at very low risk of flooding from surface run off.</p> <p>e) Timber will be sourced in-line with FSC standards. Building waste materials will be recycled where possible.</p>
<p>CP9: Green Infrastructure</p> <p>The Council will seek a net gain in the quality and quantity of Green Infrastructure, through the protection and enhancement of assets and provision of new green spaces.</p>	<p>The proposal will not harm any existing green infrastructure. The ground floor rear extension roof will include a sedum green roof blanket.</p>
<p>CP10: Transport and Travel</p> <p>Development proposals will be expected to contribute to the delivery of transport and travel measures identified as necessary for the development</p>	<p>The proposal includes provision for 3 car parking spaces and secure cycle storage.</p>
<p>CP12 (a-d): Design of Development</p> <p>Proposals should regard local context, conserve/enhance natural assets, protect privacy & garden space, respect density, spacing and materials of surrounding area</p>	<p>The wider streetscene has been considered during the design process to ensure the proposal fits in with the character of the area and is of an appropriate scale and density.</p>
<p>CP12 (e-k): Design Development</p> <p>Proposals are expected to build resilience to climate change, reduce energy waste, benefit from natural sunlight and use high standards of materials.</p>	<p>The proposal will improve the sustainability credentials of the existing building in numerous ways including:</p> <ul style="list-style-type: none"> Improving the thermal performance of the building envelope with new double glazed windows and low emissivity glass sliding doors. Using high-quality and durable materials and robust detailing that will maintain a high standard of performance for years to come. Making the extension and rebuilt portions well insulated.

Care has been taken to ensure that the proposed design is appropriate in relation to the existing building and in line with council guidance.

This includes; The Three Rivers Core Strategy, The Development Management Policies Local Development Document (LDD), Chorleywood Neighbourhood Development Plan, National Design Guide, and National Policy Framework.

The application site does not hold any significant value in evidential terms. The application property is not listed and is not of any particular architectural note.

The following sections describe how ZMA have engaged with the relevant planning policy and how the proposed design addresses the policy requirements specifically.

- We have addressed the scheme in relation to these key points:
- Balance and appearance with existing property.
 - Impact on the streetscape and adjacent properties.
 - Impact on neighbours including daylight, sunlight and outlook.

Development Management Policies LDD - 2013	Proposed Scheme at 119 The Drive
<p>DM1: Residential Design and Layout</p> <p>All applications for residential development should ensure that development does not lead to a gradual deterioration in the quality of the built environment, and that landscaping, the need for privacy and amenity space and the creation of identity in housing layouts are taken into account.</p>	<p>The proposal does not result in loss of light to the windows of neighbouring properties nor allow overlooking. It is not excessively prominent or overbearing in relation to adjacent properties.</p>
<p>DM6: Biodiversity, Trees, Woodlands, Watercourses and Landscaping</p> <p>Development should result in no net loss of biodiversity value across the District as a whole.</p>	<p>The proposed development retains existing trees and other landscape and nature features. Trees will be safeguarded and managed during and after development in accordance with the relevant British Standards, following advice given in the arboriculturist's report.</p>
<p>DM13: Parking & Appendix 5: Parking Standards</p> <p>Development should make provision for parking in accordance with the parking standards and, the zone based reductions set out in Appendix 5.</p>	<p>The proposals do not effect the existing parking provision, providing for at least 3 vehicles in line with the standards.</p>
<p>Appendix 2: Design Criteria</p> <p>2. Privacy - Developments should not incorporate balconies, or first floor conservatories which overlook neighbouring properties to any degree. Windows of habitable rooms at first floor level should not generally be located in flank elevations.</p>	<p>Windows on the first floor are positioned to minimise overlooking and do not face directly towards adjacent properties. The proposal does not include a balcony or roof terrace, to avoid creating conditions for overlooking.</p>
<p>3. Amenity Space/Garden Space - a four bed dwelling should attain at least 105 sqm, and 21 sqm added for every extra bedroom.</p>	<p>The application site would retain in excess of 900sqm of amenity space, which would well exceed the guidance figures.</p>
<p>4. Extensions to Properties - extensions must not be excessively prominent in relation to adjacent properties or street, respect the character of the property/street in terms of its roof, positioning and stylistic qualities. Extensions must not result in loss of light to neighbouring properties.</p> <p>Rear extensions maximum depth 3.6 or 4m. Two storey extensions must sit 1.2m from the flank boundary.</p>	<p>The extension is obscured from the street due to its location at the rear and side of the property, therefore not disrupting the character and rhythm of the streetscene.</p> <p>The two storey part of the extension is further than the 1.2m minimum distance from the flank boundary.</p>

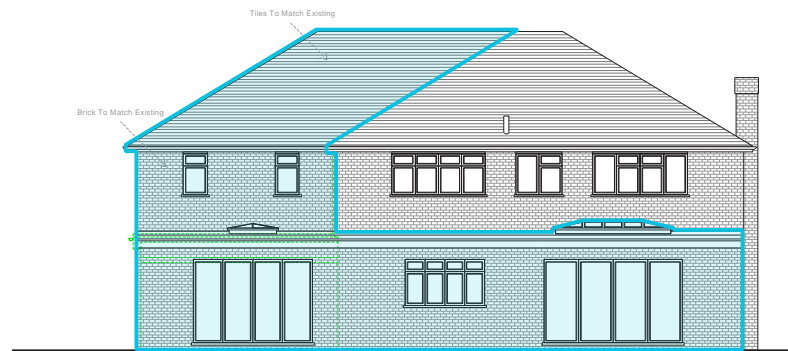


Local Planning Applications

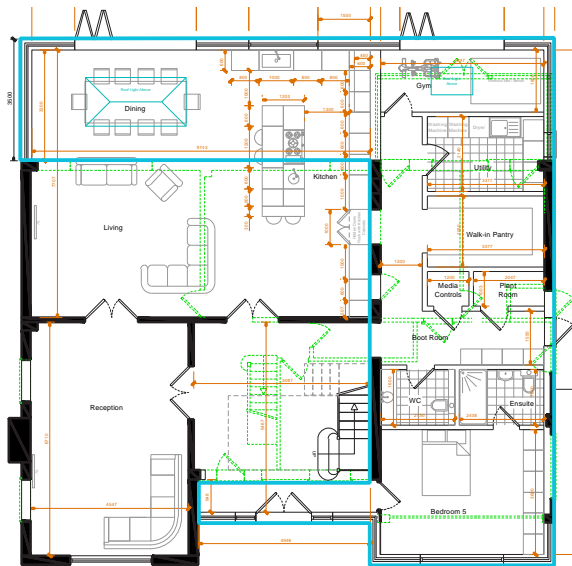
1 20/1150/FULL - 123 The Drive, Rickmansworth

Demolition of existing single storey attached garage and the construction of a two storey side and part front extension, single storey rear extension and a part single storey front extension.

This planning application, approved on 12-08-20.



123 The Drive Proposed Rear Elevation



123 The Drive Proposed GF Plan

2 05/1277/FULL - 124 The Drive, Rickmansworth

Part two storey, first floor side and single storey rear extension, loft conversion with rear dormer window.

This planning application was approved on 10-11-05.

3 12/043/FULL - 126 The Drive, Rickmansworth

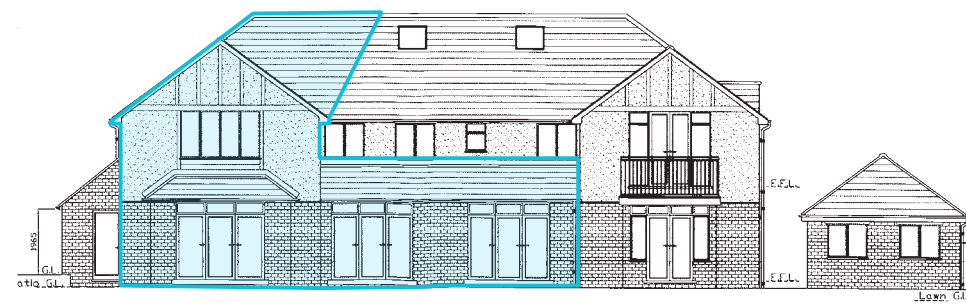
Replacement of a detached garage and outbuilding with two storey side and rear extension.

This planning application was approved on 01-05-12.

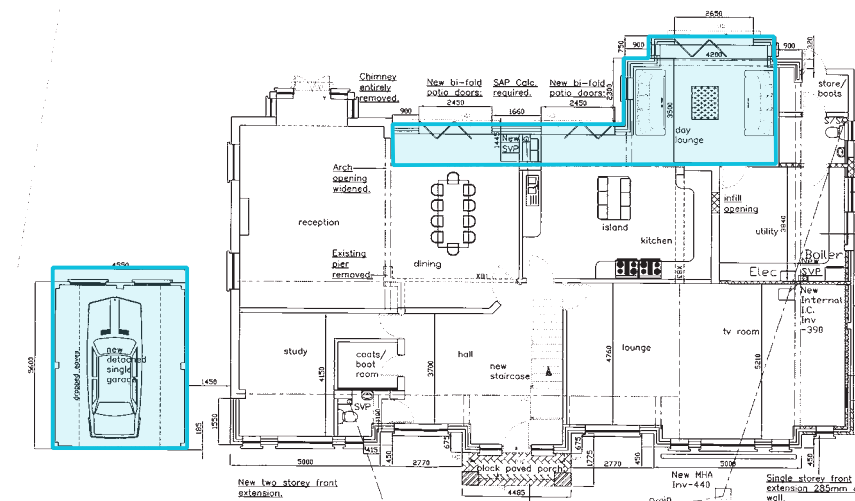
4 14/0472/FULL - 146 The Drive, Rickmansworth

Part two storey and part single front extensions, first floor side extension, single storey and two storey rear extensions, conversion of the garage into habitable accommodation, construction of detached garage and new front boundary wall and gates.

This planning application was approved on 15-05-14.



146 The Drive Proposed Rear Elevation



146 The Drive Proposed GF Plan

5 07/1411/FULL - 150 The Drive, Rickmansworth

Single storey front and side extension and two storey side and rear extension.

This planning application was approved on 13-09-07.

Conclusion



This project is a good opportunity to realise the potential of the existing house and site, in a way that respects and harmonises with the context.

ZMA have taken great care to understand the character of the locale through our own research and by studying the various planning resources including; The Three Rivers District Council Core Strategy (2011), The Development Management Policies LDD (2013) and the Chorleywood Neighbourhood Plan (2021), National Design Guide and National Planning Policy Framework.

A thorough design process has been undertaken with key features:

- An open plan living/dining/kitchen space.
- Contemporary materials and construction details for a modern aesthetic and durable building envelope.
- A scale that does not overwhelm the existing building and achieves a balance in the site.
- Proportions to compliment the existing building and surroundings.
- Massing which does not negatively impact the neighbours in terms of daylight, sunlight or outlook.
- The introduction of new green landscaping and a sedum blanket roof.

Architect: Zac Monro Architects
49 Effra Road
London SW2 1BZ

ZMA are an award winning practice working for private clients, local residents and developers for the last 20 years, with a proven track record in excellent design.