

DEFA

2 MANOR PARK - PLANNING CONDITION 07a
EXTERNAL MATERIALS

0.0

SUMMARY

0.0 CONDITION 07A

EXTERNAL MATERIALS



PLANNING CONDITION 07A

Application Date: 23 December 2022
DC/22/129781

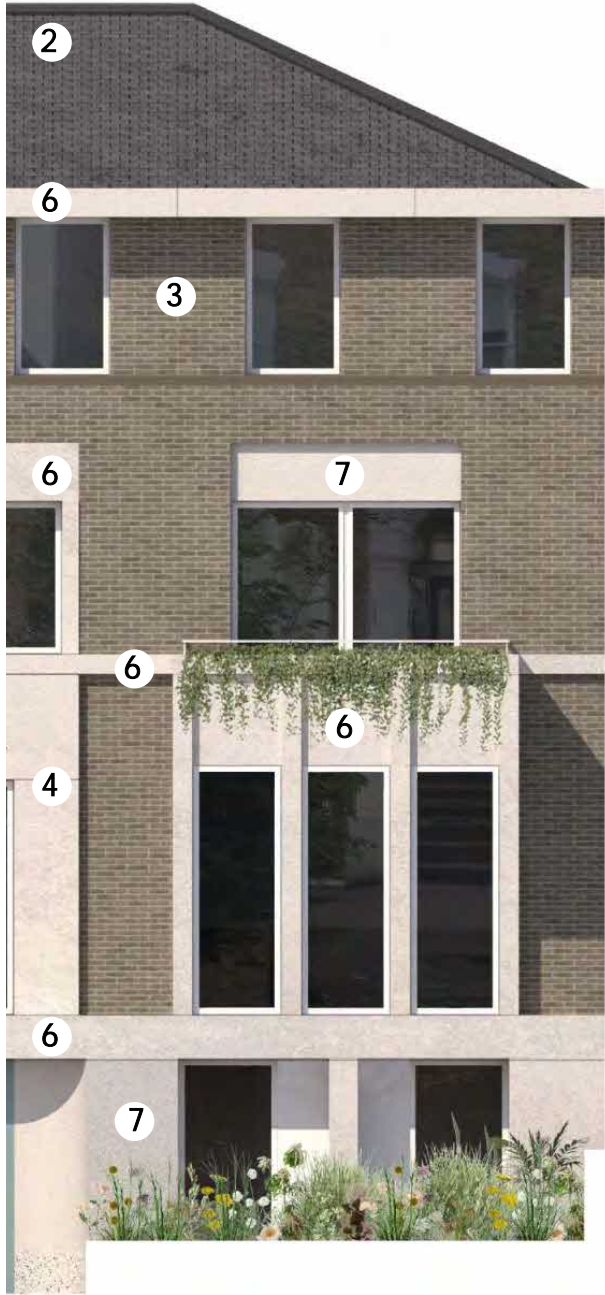
No development above ground shall commence on site until a detailed schedule (including product codes), specification and photographs of proposed material palette of all external materials and finishes, windows and external doors, roof coverings that clearly shows the relationships between all the proposed materials, which should be accurate in colour, texture and as far as possible size to be used on the buildings have been submitted to and approved in writing by the local planning authority.

Reason: To ensure that the local planning authority may be satisfied as to the external appearance of the building(s) and to comply with Policy 15 High quality design for Lewisham of the Core Strategy (June 2011) and Development Management Local Plan (November 2014) DM Policy 30 Urban design and local character.

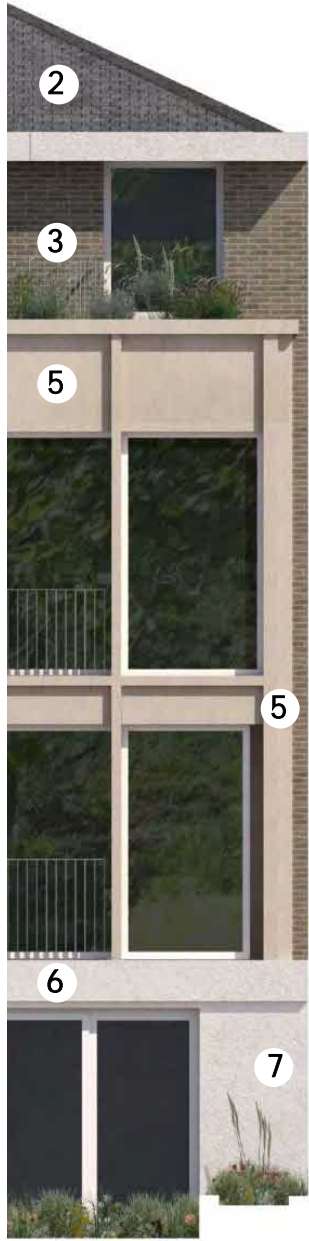
Extract from the Lewisham Planning Decision Notice:

- 1 East Rendered Material Elevation
- 2 South West - View From Weardale Road
- 3 North East - View From Manor Park Road

0.0 MATERIAL PALLETTE

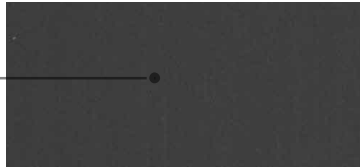


FRONT ELEVATION

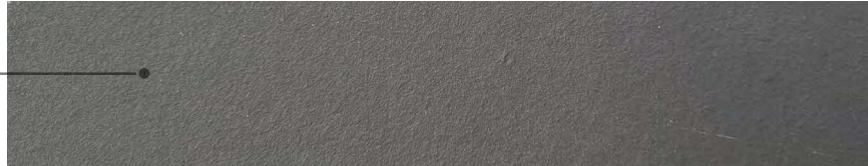


REAR ELEVATION

1 METAL ROOF



2 TILED ROOF



3 AAB - HASTINGS BLEND

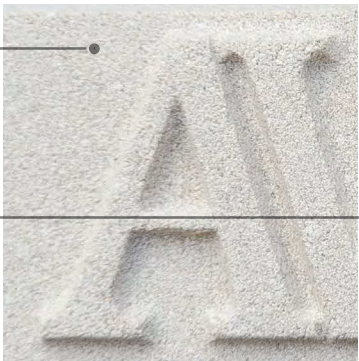


4 VELFAC - RAL 9003

5 DOUGLAS FIR



6 PRECAST CONCRETE



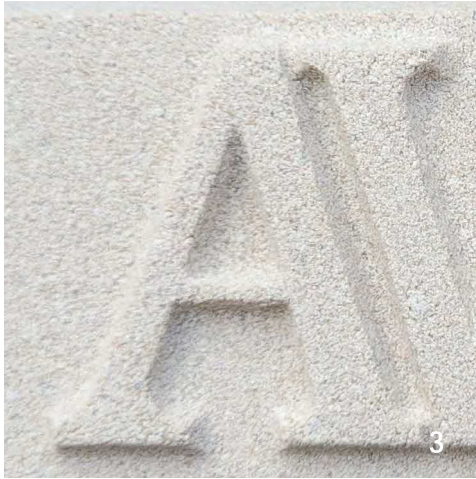
7 MONOCOUCHE RENDER



1.0

EXTERNAL ENVELOPE

1.0 PRECAST

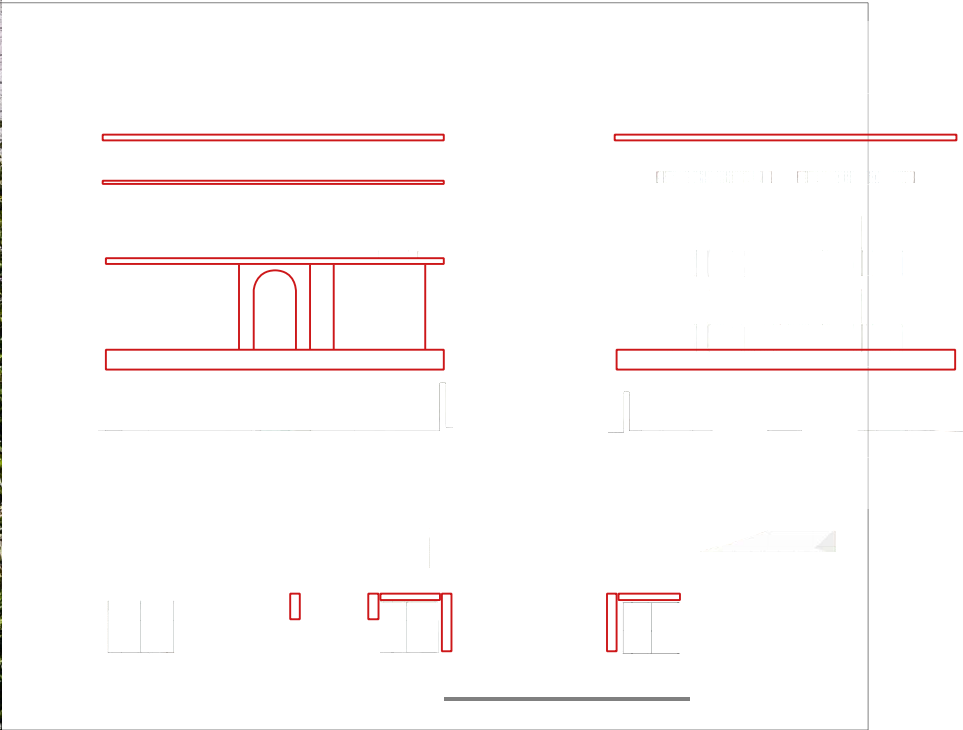


SPECIFICATION

Precast concrete banding is utilised to enhance key datums in the facade and reference architectural details along the existing streetscape. A horizontal band sits across the facade and doubles as a window sill; creating a defined separation between the monolithic ground floor and the upper level brickwork.

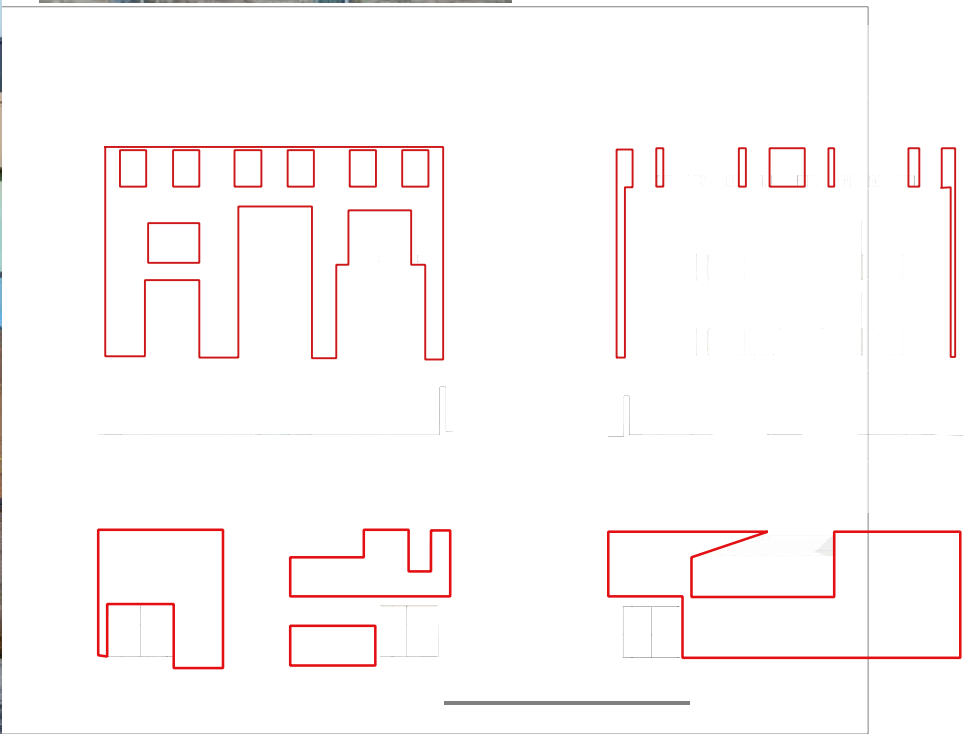
The proposed stone colour and material is muted in tone, complimenting the colour of the brickwork and the material at ground floor.

AVS - ARCHITECTURAL PRECAST: LIMESTONE



- 1 Garnham Street by DFA - Example of AVS Precast
- 2 Garnham Street by DFA - Example of AVS Precast
- 3 Physical Sample

2.0 BRICKS



SPECIFICATION

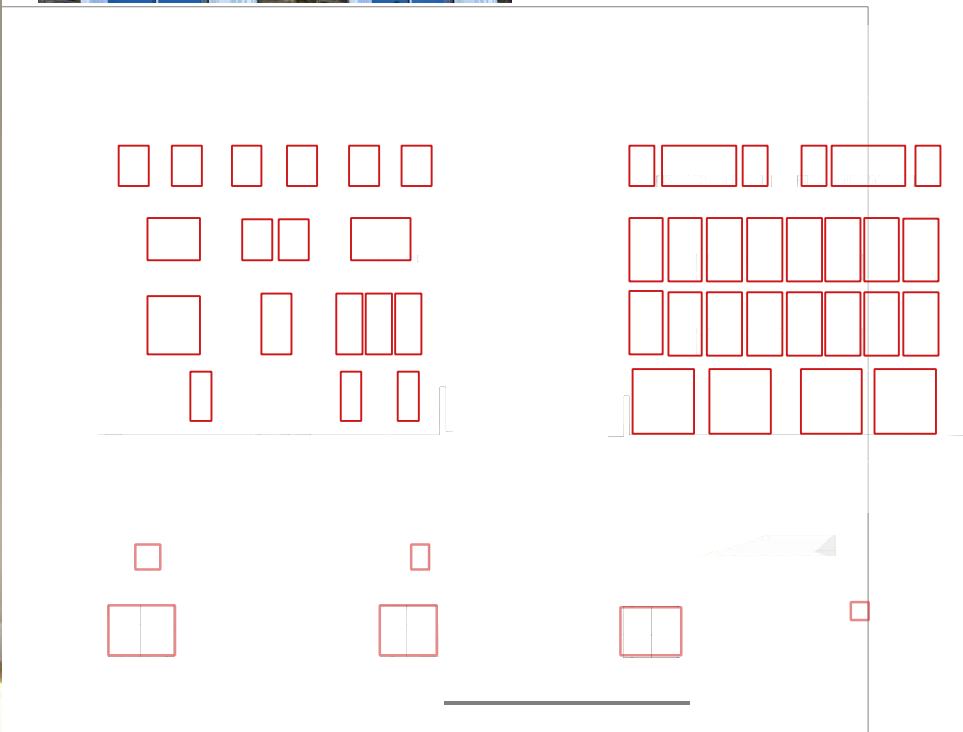
AAB Hastings Blend brickwork achieves a high-quality contemporary finish whilst retaining a muted look and feel that compliments the neighbouring properties.

Brick size, colour, texture and bonds, together with mortar mix, joint size, colour and pointing profile can be physically presented to the council on site as per planning condition 07b

**AAB - HASTINGS BLEND
DR133B**

- 1 Roussillon Park, Chichester, UK
- 2 Roussillon Park, Chichester, UK
- 3 Physical Sample

3.0 WINDOWS



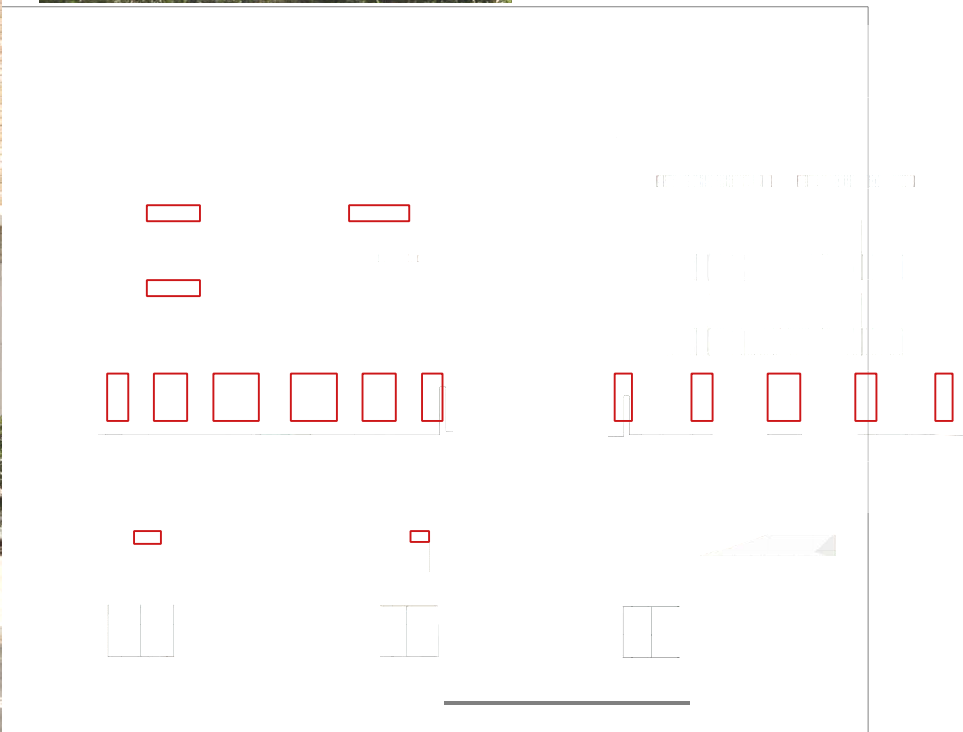
SPECIFICATION

VELFAC 200E are available in a range of opening functions with aluminium profiles in the range of 53mm finished in a high quality matte light grey in RAL 7044.

**VELFAC - RAL 9003
200 ENERGY STANDARD RAL RANGE**

- 1 Large composite timber aluminium framed windows enhance quality of interior spaces. (used in Belle Vue by Morris & Co.)
- 2 Timber aluminium composite framed windows enable a high-quality aesthetic achieved through contemporary brick reveals. (used Physical Sample)
- 3

4.0 RENDER



SPECIFICATION

High quality monocouche render, such as the Vimark 05/Lecce from the MINERAL.colors range, is being proposed to the ground floor and above the windows in recessed segments..

The 'Lecce' finish matches the precast concrete banding at the level above and contrasts the darker tone of brickwork throughout.

Monocouche render is being proposed as it will allow for a seamless and monolithic aesthetic with crisp edges. The render also offers durability, ensuring that the facade is easily maintained and guaranteeing a high-quality product throughout the buildings life-span.

VIMARK - Monocouche Renders MINERAL COLOURS RANGE

- 1 Maccreeanor Lavington's South Gardens Housing monolithic ground floor aesthetic
- 2 Maccreeanor Lavington's South Gardens Housing monolithic ground floor aesthetic
- 3 Physical Sample

5.0 TIMBER



SPECIFICATION

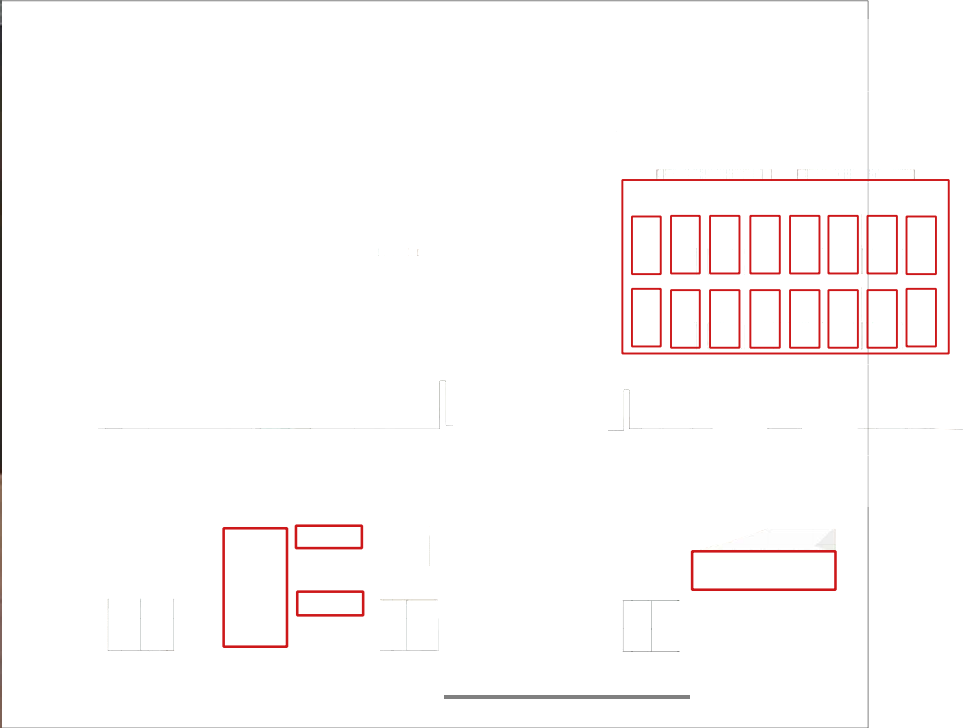
The west facade of the building will be a bespoke construction of treated douglas fir that will be clad onto a steel structure.

The warmth of the timber will contrast the lower concrete and render tones whilst complimenting the darker brick colour. As the west facade looks over the garden, this will add to the natural roots of this communal space.

The timber size and treatment can be physically presented to the council on site as per planning condition 07b.

TIMBER - WHITNEY SAWMILLS DOUGLAS FIR

Treatment: Water-based white wood stain followed by 3 coats Thermoguard fire varnish basecoat and 2 coats Thermoguard topcoat to achieve fire rating of 60 minutes.

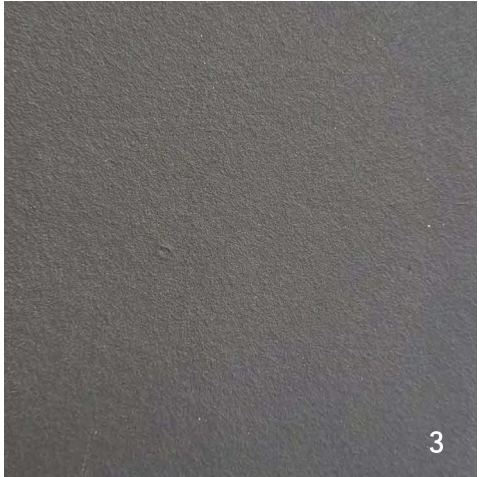


- 1 Rear extension clad in Whitney Sawmills treated Douglas Fir - by Emil Eve
- 2 Courtyard Entrance of Rear extension clad in Whitney Sawmills treated Douglas Fir - by Emil Eve
- 3 Physical Sample

2.0

ROOF SYSTEMS

2.0 TILED ROOF



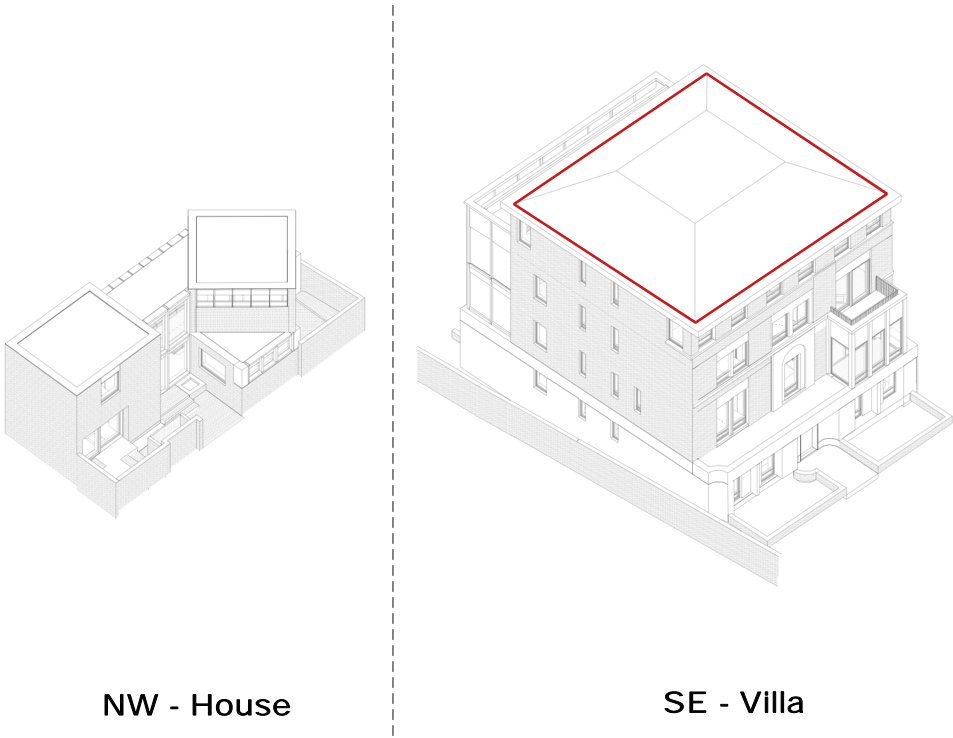
SPECIFICATION

The pitched roof will be clad with clay tiles - Wienerberger Cassius (Figure 1). Tiles are paired with matte grey aluminium profiles finished in RAL 8019 at seams and around apertures in order to achieve a high quality aesthetic (Figures 2 & 4).

The slate tiles echo the more traditional massing and detailing of the main Villa, whilst the house embodies contemporary design techniques.

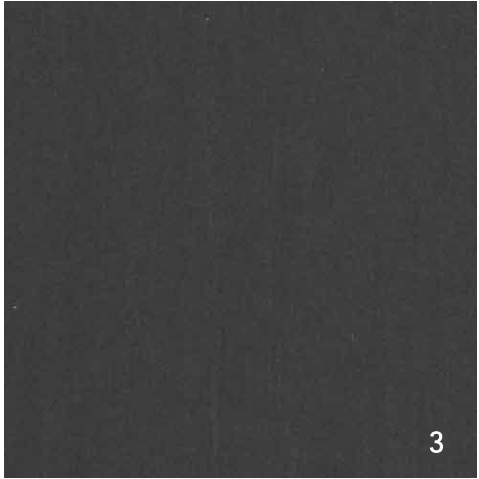
A defined datum is established between the tile and brick is defined by a precast concrete coping detail.

WEINERBERGER CASSIUS ANTIQUE SLATE



- 1 An example of a potential ridge detail for the Cassius Slate tiles
- 2 Wienerberger Cassius Slate tile detail view on how the tiles lay together.
- 3 Physical Sample

3.0 STANDING SEAM

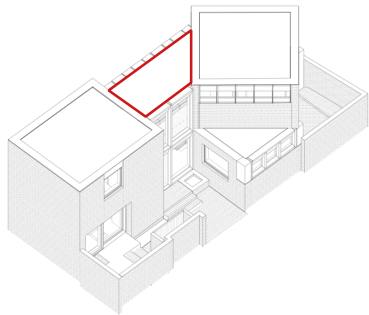


SPECIFICATION

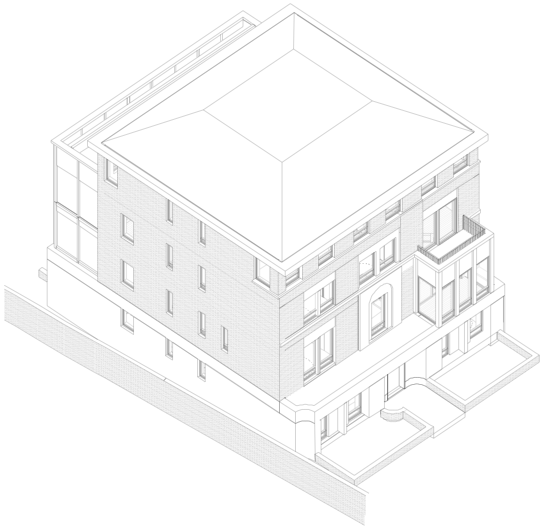
For the chamfered section of the house a metal roofing, standing seam system will be used. This system is non ventilated and can be supported with a plywood deck.

The tone of the cladding matches that of the tiles on the main house, whilst retaining a distinctly modern appearance in line with the contemporary massing of the house.

METAL ROOF - RAL 8022



NW - House



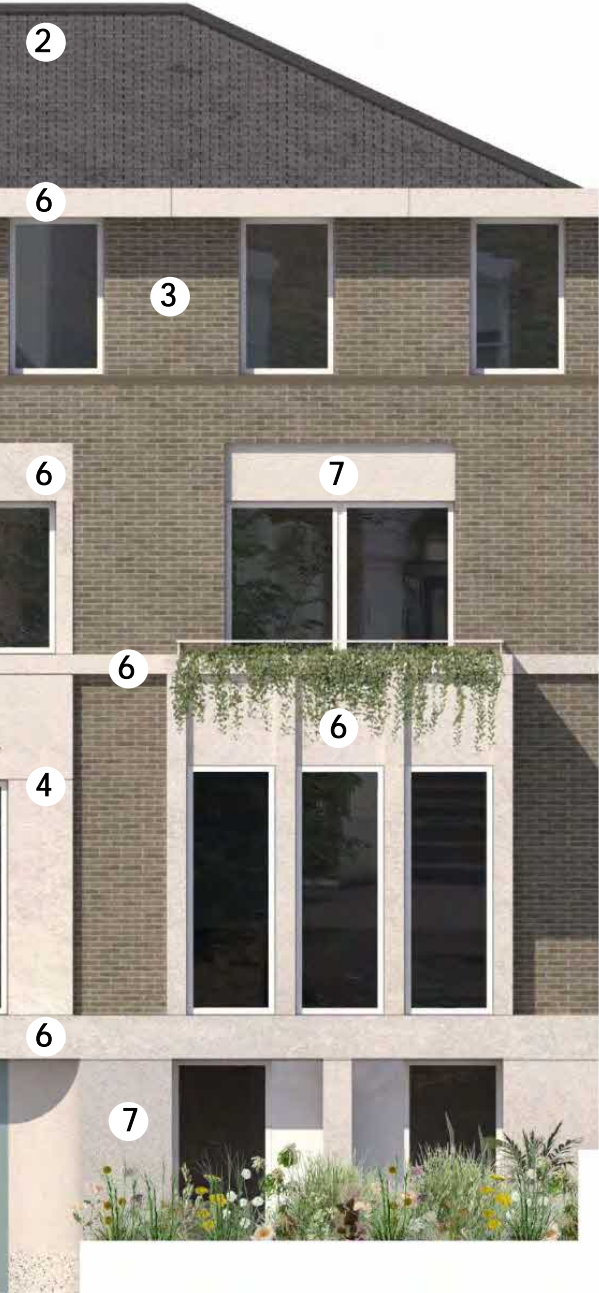
SE - Villa

- 1 Zinc clad roof by VMZinc - by Studio Seilern Architects located on Ansdell Street in London.
- 2 Example of Standing Seam and VMZinc products.
- 3 Physical Sample

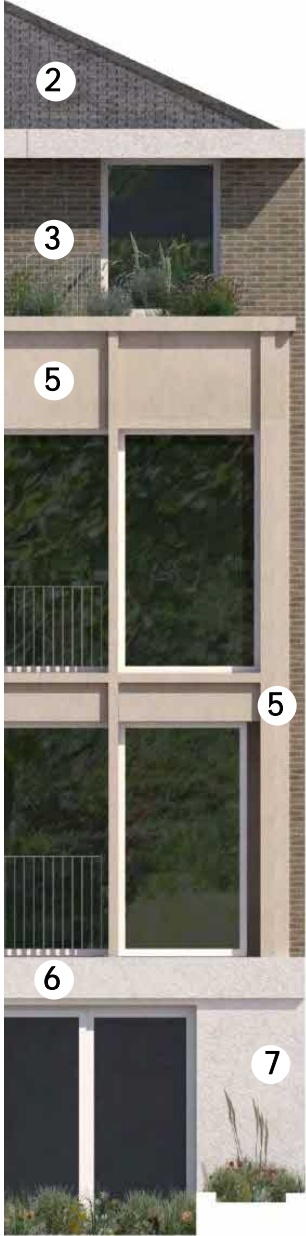
4.0

SUMMARY

4.0 MATERIAL PALLETTE

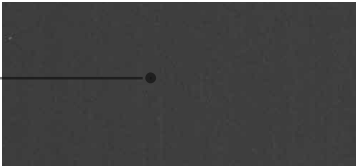


FRONT ELEVATION

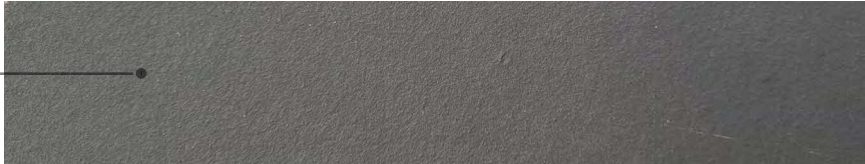


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THANKS