

HERITAGE STATEMENT

Proposed Double-Storey Rear and
Side Extension

At

**11 ST.CHAOS ROAD. LICHFIELD.
WS13 7LZ.**



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1. INTRODUCTION

This planning application seeks permission to erect a double-storey side and rear extension on the property.

A planning application reference no. 23/01259/FUH, was submitted on Planning portal website.

It is acknowledged that the property is located within the Lichfield City Conservation Area and under Article 4.

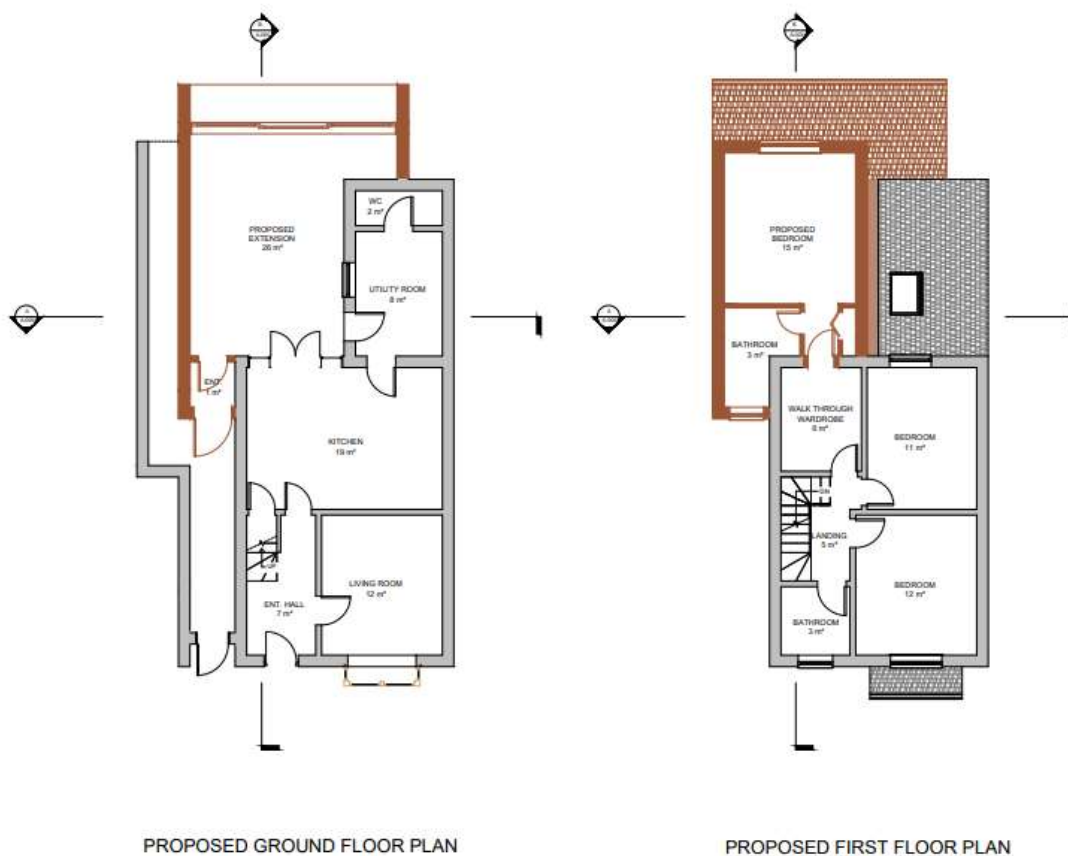
2. DESIGN

The proposed extension seeks to provide a larger living area on ground floor and bedroom with bathroom on first floor.

The extension will be affectively screened from No.7 by the two storey structure, and it will not affect the rights of light to No.9 and 13 St. Chads Road.

In compliance with Article 4 requirements, the materials to be used will match, and the brick and window detailing will be sympathetic to the existing.

The proposal's mass and scale are sympathetic to the rear elevation's configuration and appropriate in size, and the extension's placement will blend in well with it.



3. CONCLUSION

There is no designated listed building along this terrace of houses fronting St. Chads Road, and as there will be no material alteration to the front elevation but side extension will be visible from the existing street scene.

In fact, the planned extension will give the structure more personality and display a validation of the old versus the new.

We submit that this proposal will not materially impact upon the neighboring properties, such that the privacy of the neighbors is therefore respected and maintained.

The design acknowledges and respects the aspirations of the Conservation Area and we respectfully seek your support for this planning application.



PROPOSED FRONT ELEVATION