

October 2023



Listed Building Consent

## HERITAGE STATEMENT

Council Ref PA23/08184

External and Internal Refurbishments, Construction of Rear Conservatory & Associated Works

Bosallen, 2 Union Place, Truro, Cornwall, TR1 1EP

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## 1.0 Summary

This Heritage Statement has been prepared to accompany an application for Listed Building Consent – Council References PA23/08184 – for alterations to Bosallen, 2 Union Place, Truro, a Grade II listed building. This application runs concurrently to PA23/08183, for external and internal refurbishment and associated works (the 'proposal').

The application site comprises a two storey Grade II listed building, located in the centre of Truro, within the Truro Conservation Area (CA) and in proximity to numerous designated heritage assets. The proposal seeks listed building consent for minor internal works including the replacement of an existing lean-to porch structure with a single storey conservatory extension at the rear of the building; replacement on non-original windows on side (south west) elevation; the removal of an existing wall between the kitchen and dining room; refurbishment of removal of small w/c in study to create larger dining room; and relocation of utility room and w/c to the rear. On the first floor, the proposal seeks minor internal alterations to the internal floor plan including alterations to the shower room; new ensuite in bedroom 3 and dedicated storage space in the corridor. The proposal also proposes sympathetic repair of the roof and repointing of the chimney.

The main issue in the determination of this application is whether the proposed works would preserve the Grade II listed building and any special features of architectural or historic interest that it possesses, and the extent to which it would conserve or enhance the character of appearance of the Truro Conservation Area (CA). It is concluded that the proposal will safeguard the special historic interest of the building and will result in an improved internal layout, removing various unsympathetic modern alterations and additions. The proposed conservatory would be primarily glazed under a hipped pitched roof and reflects the historic character of the house.

This Heritage Statement has been prepared in accordance with paragraph 194 of the National Planning Policy Framework (NPPF) that requires a proportionate assessment of the significance of any heritage assets affected, including any contribution made by their setting. It considers the historic significance of the application site and surrounding heritage assets and their settings, and the impact of the proposal upon them. It concludes that the proposed works will safeguard the special historic and architectural features of the building, and will not harm the setting of the Truro CA or neighbouring listed buildings.

On this basis it is put forward that the proposal would be consistent with the requirements of the relevant planning policy considerations and that support for the proposal can be afforded.

## 2.0 Designations

A review of Cornwall and the Isles of Scilly's Historic Environment Record (HER) sets out the following designations relevant to the application site:

- Grade II listed building – List Entry Number 1201541  
TRURO  
SE8245SE UNION PLACE 880-1/4/300 (South East side) 19/06/73 Nos.1-9 (Consecutive)  
GV II  
Row of 9 small town houses. Early C19. Stucco fronts; natural slate roof to No.2, otherwise asbestos slate, all with projecting eaves on wooden brackets, hipped end to No.1 (left), brick end stacks. Double-depth-plan row of similar houses with 1 room at the front and entrance hall on the left, except No.1 which has small rooms left of hall. 2 storeys; overall 20-window range of 2-window fronts except No.1 which has 4 windows. Round-arched doorways with fanlights (plain except for No.1 which is spoked) over panelled doors; stucco architraves to Nos 1-4 otherwise plain openings with keyblocks; original sashes with glazing bars, margin panes to ground-floor sashes and to first-floor left of No.1. INTERIORS: where inspected retain original carpentry, joinery and plasterwork with moulded and carved ceiling cornices and bands.  
Listing NGR: SW8266645022;
- The site is opposite other significant Grade II listed buildings in Truro's commercial and administrative core, including St Mary Clement Church including schoolroom at rear (Ref 1201542); the former Wesleyan School (Ref 1206158); and nos 18 – 22 Union Place and attached forecourt walls (Ref 1282637);
- The Old Cathedral School, a Grade II listed building (Ref 1205242) is located to the rear (south);
- Truro Cathedral, a Grade I listed building is located approximately 100m to the south (Ref 1205377);
- The building is located in the Truro Conservation Area;
- Numerous non-designated heritage assets are found in the immediate area including a Medieval Mill Pond (Reference MCO25157) to the southeast of the site.

## 3.0 Relevant Planning History

A review of Council's Planning Register has not revealed any earlier applications pertaining to the subject site. There are numerous applications within the vicinity of the site, including:

- C1/8901563H – 2 Union Place – Internal alterations and renovation works;
- C1/LB03/2188/07/R – 8 Union Place – Partial demolition of existing out buildings and alterations and extensions to rear sections;

- C1/LB03/2070/04R – 7 Union Place – Renew roof coverings. Demolition of rear extension and construction of new two storey extension;
- C1/LB03/0474/09/R – 6 Union Place – Replace existing upvc/aluminium conservatory with bespoke traditional timber conservatory and alter kitchen to knock through into conservatory;
- C1/LB03/0462/95/C – 6 Union Place – Demolition of timber framed kitchen and bathroom and rebuilding new sites;
- C1/LB03/0345/04/R – 9 Union Place – Rear extension at first floor level over existing kitchen sites and C1/LB03/0246/07 – New conservatory, removal of small store, refurbishment and extension to garden store and associated works including demolition and rebuilding rear garden walls;
- C1/PA03/0269/07/R – 8 Union Place – Alterations and extensions to rear;
- C1/PA03/0245/07/R – 9 Union Place – Erection of lean-to conservatory rear store and revision of rear extension and C1/PA03/0344/04/R – rear extension at first floor level over kitchen;
- C1/PA03/0344/10/R – 7 Union Place – Demolition of rear ground floor extension and construction of new two storey extension including associated internal alts;

#### **4.0 Legislative Background and Policy Framework**

Section 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (LBCA) requires a special regard to be paid to the desirability of preserving a listed building or its setting or any features of special architectural or historic interest it possesses, before granting listed building consent. In addition, the duties under the LBCA, such as the statutory development plan, below, are also material considerations.

The statutory development plan for the site consists of the Cornwall Local Plan (CLP) and The Truro and Kenwyn Neighbourhood Plan – 2015-2030; whilst material considerations in this instance comprise national policies set out within the National Planning Policy Framework (NPPF) 2021 and relevant Supplementary Planning Documents (SPDs).

#### **4.1 Development Plan**

##### **Cornwall Local Plan**

Policy 24 of the CLP deals with the Historic Environment. Paragraph 2.171 and advises that it is expected that applicants assess and describe the significance of the heritage asset, including any contribution made by their setting, sufficient to understand the potential impact of any proposal on that heritage significance. It continues to state that the determination of a planning application will be based on the assessment of the potential harmful impact, taking into account the desirability of not only sustaining the asset's significance, but also of

enhancing that significance and the positive contribution both conservation and well-informed new design can make to sustainability and local character and distinctiveness.

Policy 24 advises that *'Development proposals will be permitted where they would sustain the cultural distinctiveness and significance of Cornwall's historic rural, urban and coastal environment by protecting, conserving and where appropriate enhancing the significance of designated and non-designated assets and their settings'*. Development proposals are expected to:

- sustain designated heritage assets;
- take opportunities to better reveal their significance;
- maintain the special character and appearance of conservation areas;
- conserve and where appropriate enhance historic townscapes.

It continues to advise that *'Any harm to the significance of a designated or non-designated heritage asset must be justified. Proposals causing harm will be weighed against the substantial public, not private, benefits of the proposal and whether it has been demonstrated that all reasonable efforts have been made to sustain the existing use [...] or mitigate the extent of the harm of the significance of the asset.'*

#### **4.2 Truro and Kenwyn Neighbourhood Plan (NP) 2015 - 2030**

This document sets out the overarching vision and objectives for the Parish, with a key objective focussing on supporting heritage and culture and ensuring that good design responds to and integrates with the natural and built environment. Relevant policies are as follows:

- Policy C1 relates to the character and setting of the CA and seeks to ensure that new development preserves or enhances the special character and wider setting;
- Policy C3 seeks to retain walls, hedges, railings and other boundary structures and treatments that contribute to the appearance of the streetscape;
- Policy C4 looks at demolition in the CA and that new development should preserve or enhance the character or appearance of the CA and where the building or feature makes no positive contribution towards the character of the CA. Further, where demolition is allowed, materials from the demolished structures should be used in the construction of any replacement structures wherever possible.

#### **4.3 National Planning Policy Framework (NPPF)**

Paragraph 190, amongst other things, recognises the desirability of new development making a positive contribution to local character and distinctiveness and opportunities to draw on the contribution made by the historic environment to the character of a place. Paragraph 194 states that in determining applications, LPAs should require an applicant to describe the

significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the asset's importance.

Paragraph 197 states that in determining applications, LPAs should take account of:

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- c) the desirability of new development making a positive contribution to local character.

Paragraph 199 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be).

Paragraph 197 states that LPAs should take account of the desirability of sustaining and enhancing the significance of heritage assets whilst Paragraph 200 states that any harm to or loss of the significance of a designated heritage asset (for example, from development within its setting), should require clear and convincing justification. Paragraph 202 advises that where a proposal leads to less than substantial harm, this harm should be weighed against the public benefits of a proposal, including securing its optimum viable use.

## 5.0 Significance of the Subject Building

The application site comprises one of a row of C19th, Georgian terraced, two storey, townhouses within the heart of the Truro Conservation Area.



Figure 1. Nos 1 – 9 Union Place, Truro (Image courtesy Google Streetview, 2023)



Figure 2. Front elevation



Figure 3. Rear elevation



Figure 4. Lean-to extension/store at rear of building



Figure 5. Rear elevation from Wilkes Walk to the southeast of the site

Bosallen, No. 2 Union Place is a Grade II listed building with stucco front under a slate roof with sliding sash windows. A two storey extension/rear service wing is located at the rear under hipped slate roof with a variety of traditional and non-traditional windows and doors on the rear elevation, as shown on the Existing elevations.

Internally, there are two reception rooms off of a hallway with stairs leading to two bedrooms at the front of the property, the second reception room having been awkwardly subdivided with a downstairs shower room. To the rear, a two storey protruding extension is inset from the rear window of the existing study, with painted render walls under slate roof. The ground floor comprises a dining room and kitchen with the first floor comprising a small shower room, boiler room, internal storage and bedroom 3.





Figure 6. Partition wall between kitchen and dining room



Figure 7. Modern kitchen cabinetry and sanitary ware



Figure 8. Step up from dining room to original part of house



Figure 9. Modern shower room subdividing reception room on ground floor



Figure 10. Non-trad window to bathroom



Figure 11. Boiler room on first floor

Whilst the property has had some modernisation over the years, it retains a number of period features including some original windows on front and rear elevation with timber shutters, timber skirting boards, timber doors with architrave, cornice detailing in reception rooms and hallway, picture railings and alcove storage.

The rear extension comprises a separate dining room and modern kitchen with access to the rear courtyard area. A simple lean-to extension comprising corrugated Perspex sheet roof with timber supports is located at the rear, to provide a covered bin store. There is a modest courtyard area at the rear of the building.

## **6.0 Assessment of Proposal**

### **6.1 Proposal**

As set out in the submission plans, the proposal seeks a number of alterations to the building, as follows:

External works:

- Conservatory to be predominantly glazed with traditional 12 pane glazed windows and centrally placed timber door opening onto rear courtyard and door leading to side passage for ease of maintenance;
- Replacement non-original windows top-opening casement windows (x3) on side elevation (south west) as they are rotten and beyond replacement with timber casement, single glazed windows that replicate proportions and method of opening;
- Removal of non-traditional window on ground floor side elevation and replacement with timber frame doors to allow access to side courtyard comprising removal of part of blockwork wall to enlarge opening;
- Removal of existing rear lean-to corrugated plastic sheet roof and timber posts and replacement with conservatory style extension, with blockwork dwarf wall, glazing, timber doors under natural slate roof. No alterations are proposed to the external wall of the host listed building. The proposed conservatory will be extended to the boundaries of the site to make the most efficient use of the courtyard space and in similar style to extensions along the rear of the terrace.

Internal works:

- Removal of modern shower room in ground floor reception room comprising removal of modern plasterboard and bathroom fixtures and fittings and making good existing walls and ceilings;
- Removal of timber stud internal partition wall between kitchen and dining room to engineers specification;
- Removal of modern kitchen cabinetry, tiles and sanitaryware in existing kitchen;
- Installation of new, open-plan kitchen with island bench;
- Alteration to layout on first floor of rear extension comprising reconfiguration of shower room; removal of modern boiler room and storage cupboards;
- Fitout of existing shower room with new sanitaryware etc;
- Installation of ensuite to bedroom 3 and new storage cupboard comprising minor alterations to room layout.

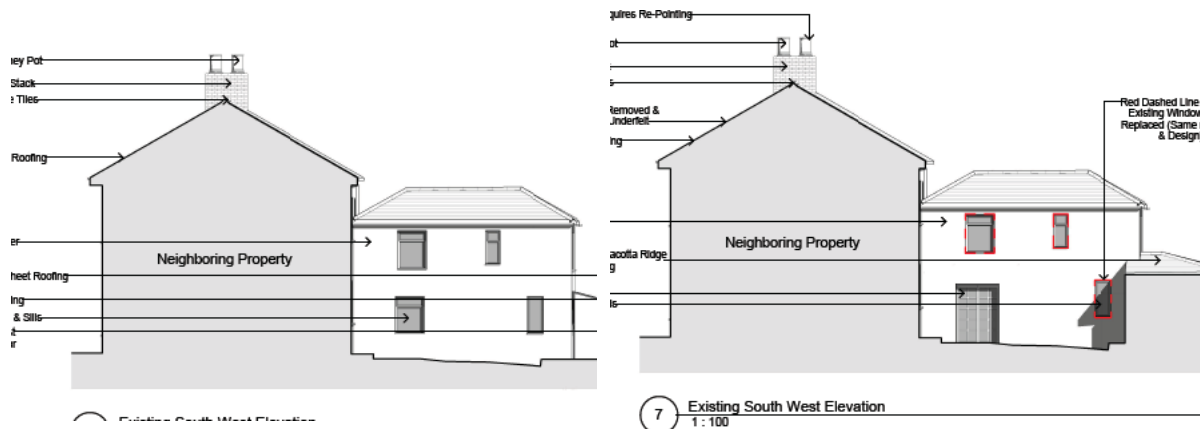


Figure 12. Existing and proposed south west elevation

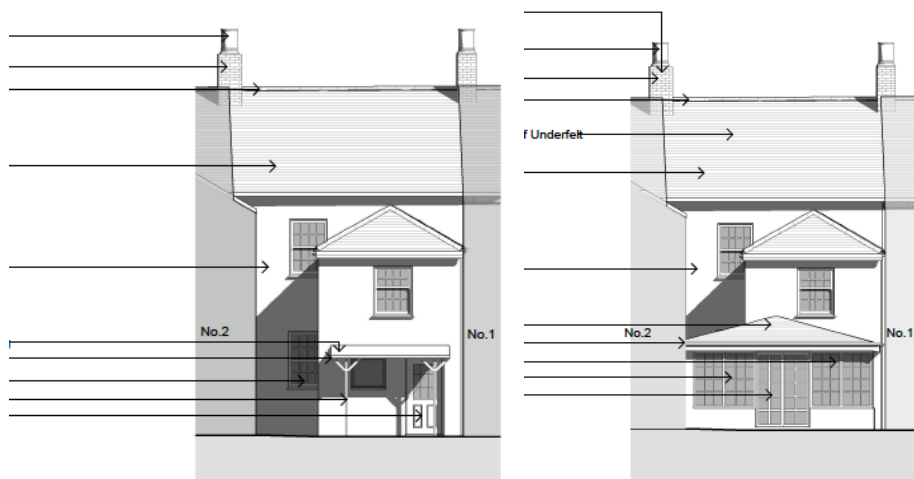


Figure 13. Existing and Proposed Rear Elevation

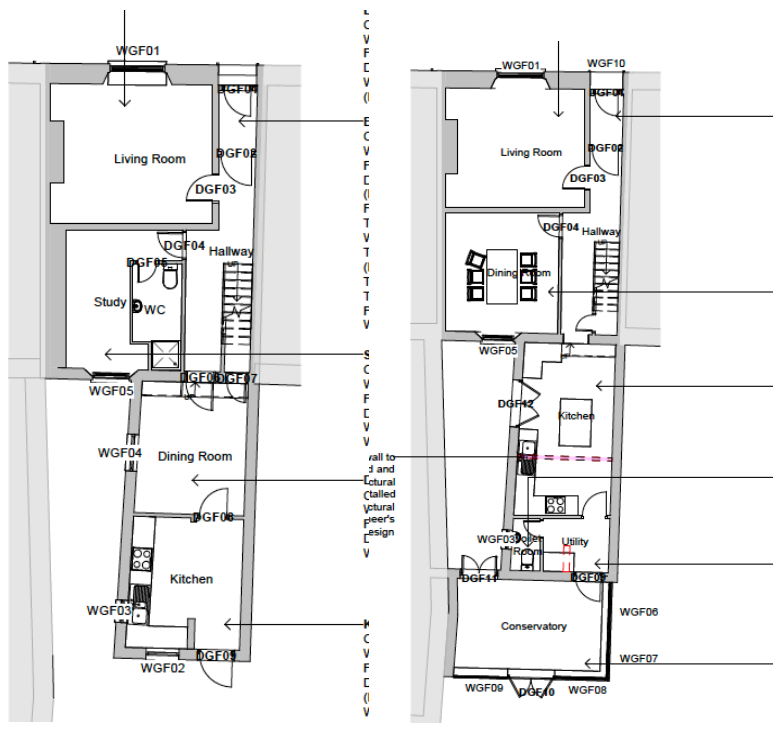


Figure 14. Existing and Proposed Ground Floor Layout

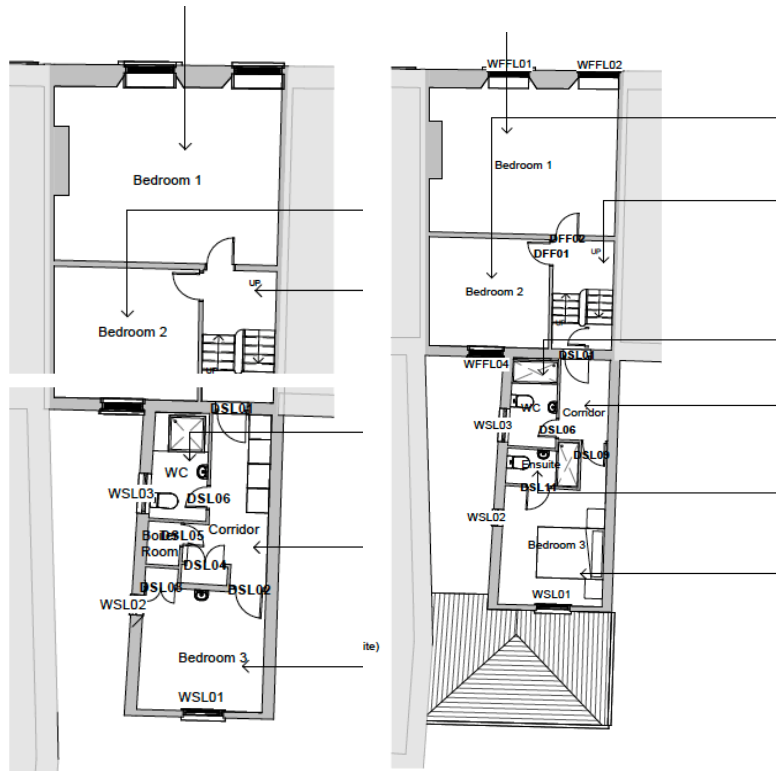


Figure 15. Existing and Proposed First Floor Layout

Materials will match the existing building, including: timber frame casement windows as per the Window and Door Specification; rendered blockwork and natural slate.

## **6.2 Overview**

Planning policy and guidance in respect to the historic environment recognises that historic assets are an irreplaceable resource that should be retained in a manner appropriate to their significance. There is also clear emphasis on preserving and enhancing the distinctive features of designated and non-designated heritage assets.

Any harm, which is less than substantial, must be weighed against the public benefit of the proposal. As detailed, the CLP places significant emphasis on preserving and enhancing heritage assets and safeguarding their special historic or architectural significance.

However, it is recognised that conserving heritage should allow buildings to continue to be relevant and that places need to be able to change through time. It is imperative that the building subject to this application continues to function as a useable family home. Part of this vision is the reinstatement of the two reception rooms, the creation of an open-plan family kitchen and dining space with a useable, sunny, conservatory space with good integration to the external courtyard as well as improvements to the internal layout of the first floor to enhance liveability and make the most efficient use of the building.

## **6.3 Assessment of the Proposed Works**

It is the applicant's intention to ensure that this historic property remains as a viable dwelling whilst preserving and enhancing the heritage interest of the listed building.

It is recognised that the internal floor plan is one of the most important features of a listed building. Over time, unsympathetic alterations to the internal floor plan have taken place, including the subdivision of the rear reception room to provide a modern downstairs shower room as well as alterations to the first floor of the former rear service wing including installation of modern internal partitions and cabinetry to create upstairs w/c and cupboard space.

On the ground floor, the proposal seeks the removal of the modern plasterboard internal partitions in the shower room, to reinstate the former grand proportions of the rear reception room. This will have significant gain from a historic perspective and allow for the appreciation of the original form, proportions and historic detailing in this part of the house. All works are to be carried out carefully ensuring no damage to historic features including walls, ceilings and cornice detailing, with existing plasterwork to be made good where required. All modern pipework to be removed and walls made good, with plastered finish as per the existing walls.

The proposal seeks the removal of the internal timber and studwork partition between the existing kitchen and dining room in the rear service wing of the house. Whilst this will alter the internal configuration and layout, it will provide a useable and open-plan kitchen and dining area that is more commensurate of modern day living. This element will not remove any features of historic interest, with the timber stud plastered wall to be removed and the new opening to be made good with plastered walls and ceiling. The existing modern kitchen,

cabinetry and kitchen sanitary ware are outdated and in need of modernisation with the proposed installation offering high quality finishings, more authentic to the listed building.

The windows on the ground and first floor of the southwest elevation are non-original top opening casement windows that are in a poor condition with rotten frames, casing and sills. The proposal seeks replacement of three windows on the southwest elevation on a like for like basis, with top opening casements with slender timber frames. Proposed replacement windows will safeguard the special character of the listed building. Window WGF04 on the ground floor will be replaced with new timber doors that will allow light and integration with the outdoor courtyard space, with minimal loss of historic fabric. The proposed works will include the removal of a section of external wall to facilitate the new doors that replicate the form and proportions of original sash windows with multiple panes and narrow glazing bars, making good the existing wall and ensuring a rendered painted finish in keeping with the existing wall. The proposal will result in the loss of a minor amount of historic fabric including the original side wall however there will be significant benefit in enhancing light and outlook.

The proposal seeks the removal of the existing plastic corrugated roof, lean-to extension. This addition is of no historic merit and detracts from the rear of the building. The proposed new conservatory replicates the form of the existing dwelling, with hipped slate roof with a low pitch to avoid the first-floor window and keep the overall massing of the new conservatory addition low set. Window treatment replicates that of the existing sliding sash windows, with 12 pane configuration, with low painted render blockwork dwarf wall. The extension would be located up to the boundaries of the site to make the most efficient use of the rear courtyard space. The proposed conservatory extension would be modest in scale and in keeping with the host building, providing a much-needed, useable space that provides outlook to the rear of the property. It would also read as a contemporary element that will not detract from the overall character of the listed building, similar to other modern additions at the rear of the terrace. Elements of the proposed conservatory would be visible above the rear boundary wall from within the CA however the extension would not be overly prominent from within the public domain. Further, the proposal would improve the appearance of the rear of the building in the removal of the existing extension and bin store. As such, the extension will not compete or detract from the building, nor be detrimental to the CA, preserving its significance.

The first-floor alterations will result in a far improved and useable internal floor plan with limited alteration to the existing walls or room configuration. The proposal seeks the installation of a modern shower room including reconfiguration of shower and toilet. The removal of modern cupboards will not impact the historic integrity of the host building. All new walls will be constructed of timber frame and plasterboard, plastered to a high-quality finish and painted to match the existing walls.

In conclusion, the proposal will enhance the amenities and layout of the existing property and as such, will help to sustain it as a useable dwelling. The proposal will reinforce the original room layout and floor plan of the building, removing unsympathetic modern alterations. Whilst the creation of the open floor plan in the rear of the building will provide a more contemporary treatment, it will not detract from the historic significance, creating a useable and well-designed open-plan living area. Ultimately, the proposed works will safeguard the useability of this listed building and allow for much-needed repairs and renovations, sustaining the building for future generations. As such, the proposal therefore would be consistent with the provisions of CLP Policy 24, paragraphs 197 and 202 of the NPPF, and policies C1, C2 and C4 of the NP.

## **7.0 Conclusion**

The proposed works form part of a sensitive restoration of the listed building to safeguard it for future generations. As set out in this Statement, the proposal will reinstate original room configuration to the grand reception room as well as create a more useable open-plan kitchen and dining room. The proposed minor alterations to the internal layout of the upstairs rooms will not result in any loss of historic fabric and will provide an updated floor plan that will provide improved living accommodation for future occupants. Replacement windows, will reduce water ingress offering heritage and sustainability benefits.

The proposed replacement conservatory extension has been sensitively designed to ensure the historic interest of the building is retained. The proposed conservatory would not be overly prominent from within the CA and would not be detrimental to the historic character of the wider area.

This Heritage Statement has determined that the proposal will preserve the architectural interest of the subject building and will ultimately ensure its long-term sustainability. Therefore, the proposal would be consistent with the intentions of the relevant development plan policies and material considerations in respect to the preservation and enhancement of heritage assets, as previously referred, and support of the proposal is respectfully requested.