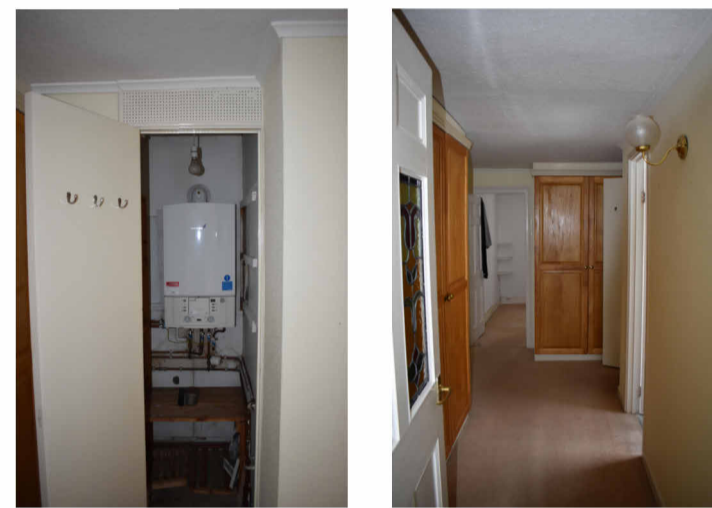
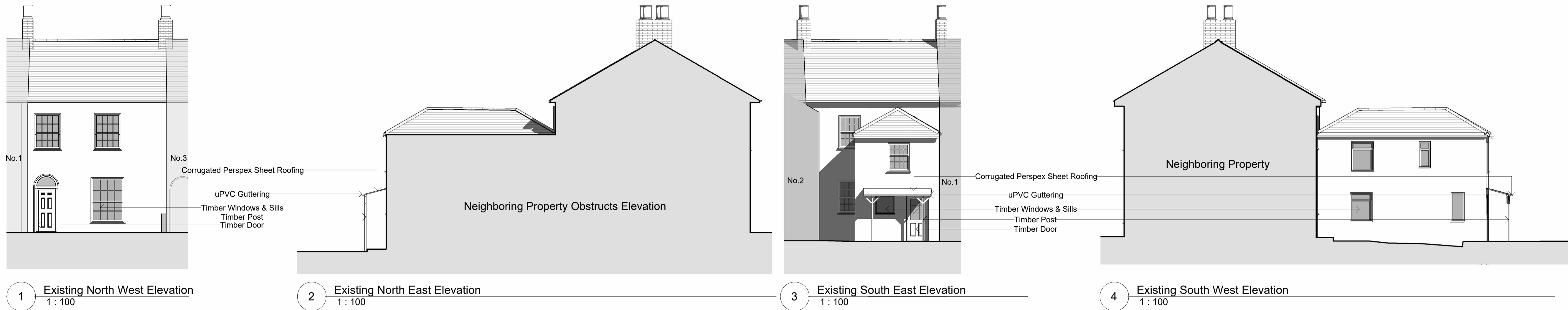
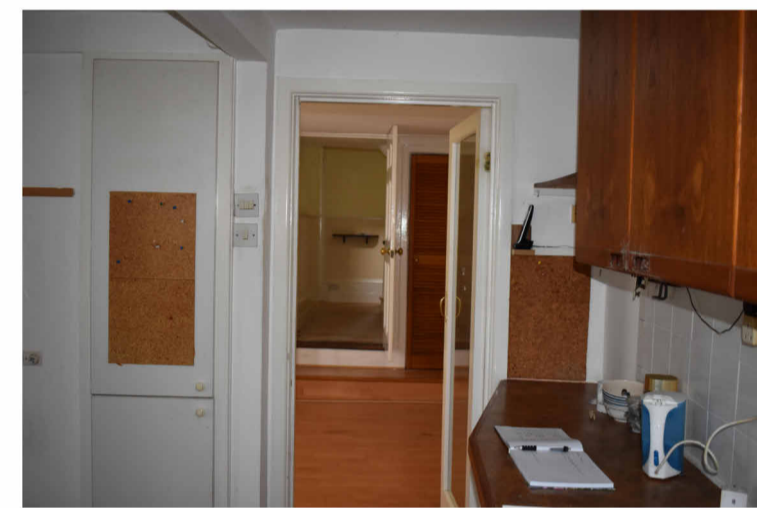


1. This drawing is the copyright of Cornwall Planning Group and may not be reproduced without licence.
2. The Contractor shall not scale off this drawing for construction purposes, only figured dimensions shall be worked from.
3. All dimensions and levels are to be checked on site by the Contractor before the commencement of any work and any discrepancies reported to the Architect.
4. No responsibility can be accepted for errors arising on site due to unauthorised variations from the Architects drawings.
5. The Contractor is recommended to visit the site before tendering to ascertain all local conditions and restrictions likely to affect the works. No claims arising from failure to do so will be considered.
6. Tenders must include for all the works described or being apparent on the drawings or can reasonably be inferred as being necessary for the proper execution of the works.
7. This drawing is for town planning and building regulations only and is not a complete working drawing.
8. Depth, size and design of foundations shown are preliminary only, actual foundation, depth, size and design may differ depending on site conditions.
9. On completion of the works, if a National Home Energy Rating Certificate is required by the client, contact the Local Authority Building Control Department.
10. L1 and L2 requirements for limiting thermal bridging & air leakage workmanship shall be executed by the Contractor in accordance with the appropriate sections and DEFRE/DTLR guidance document "Limiting Thermal Bridging & Air Leakage : Robust Construction Details for Dwellings and Similar Buildings" available from The Stationery Office Ltd.



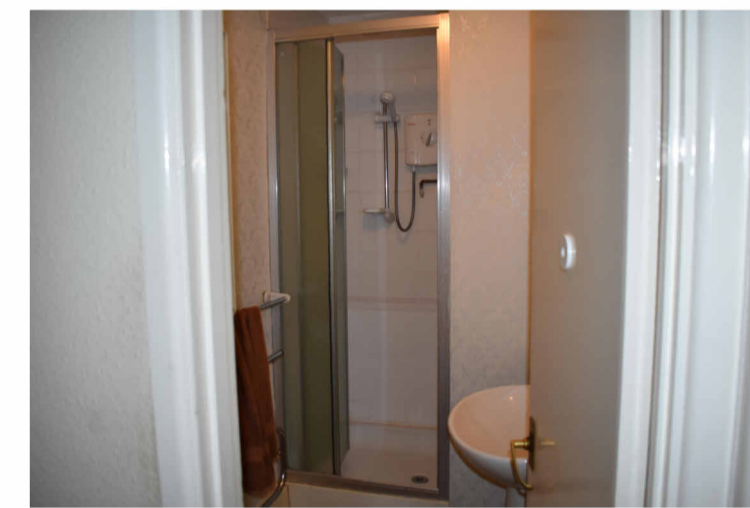
Existing Cupboards & Load-Bearing WC wall (seen on right) to be removed and are both of no significant historic or architectural merit.



Load-Bearing Wall (Proposed to be removed) can be seen running left to right of the image is of no significant historic or architectural merit.



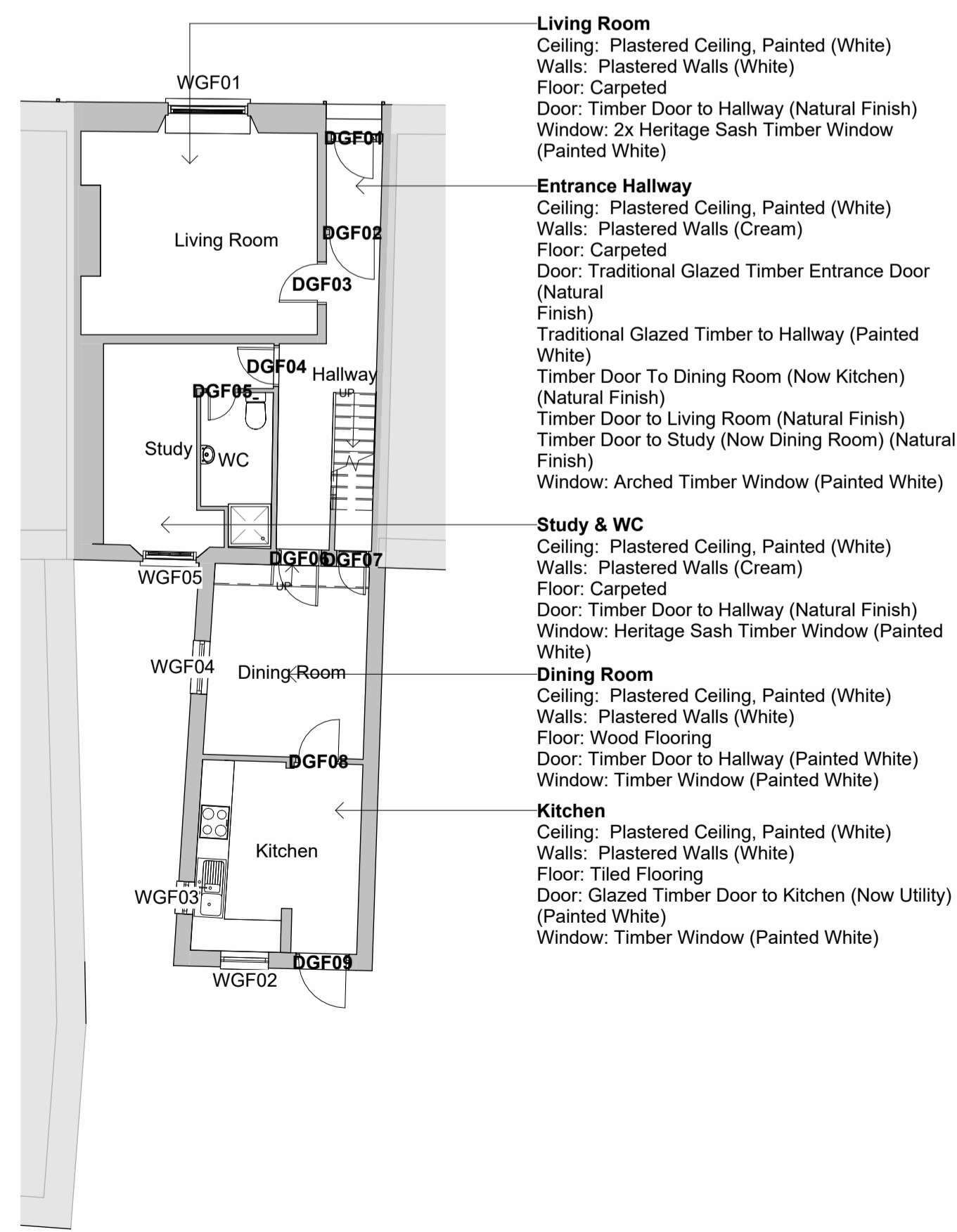
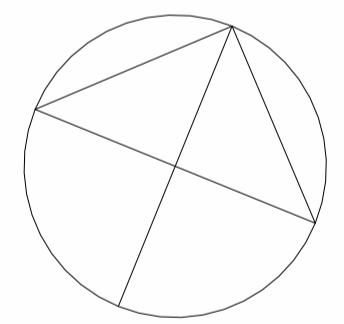
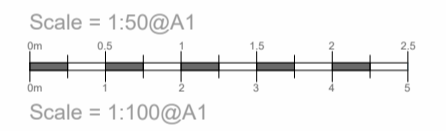
Existing Lean-to Roof (proposed to be removed) is of no historic or architectural merit.



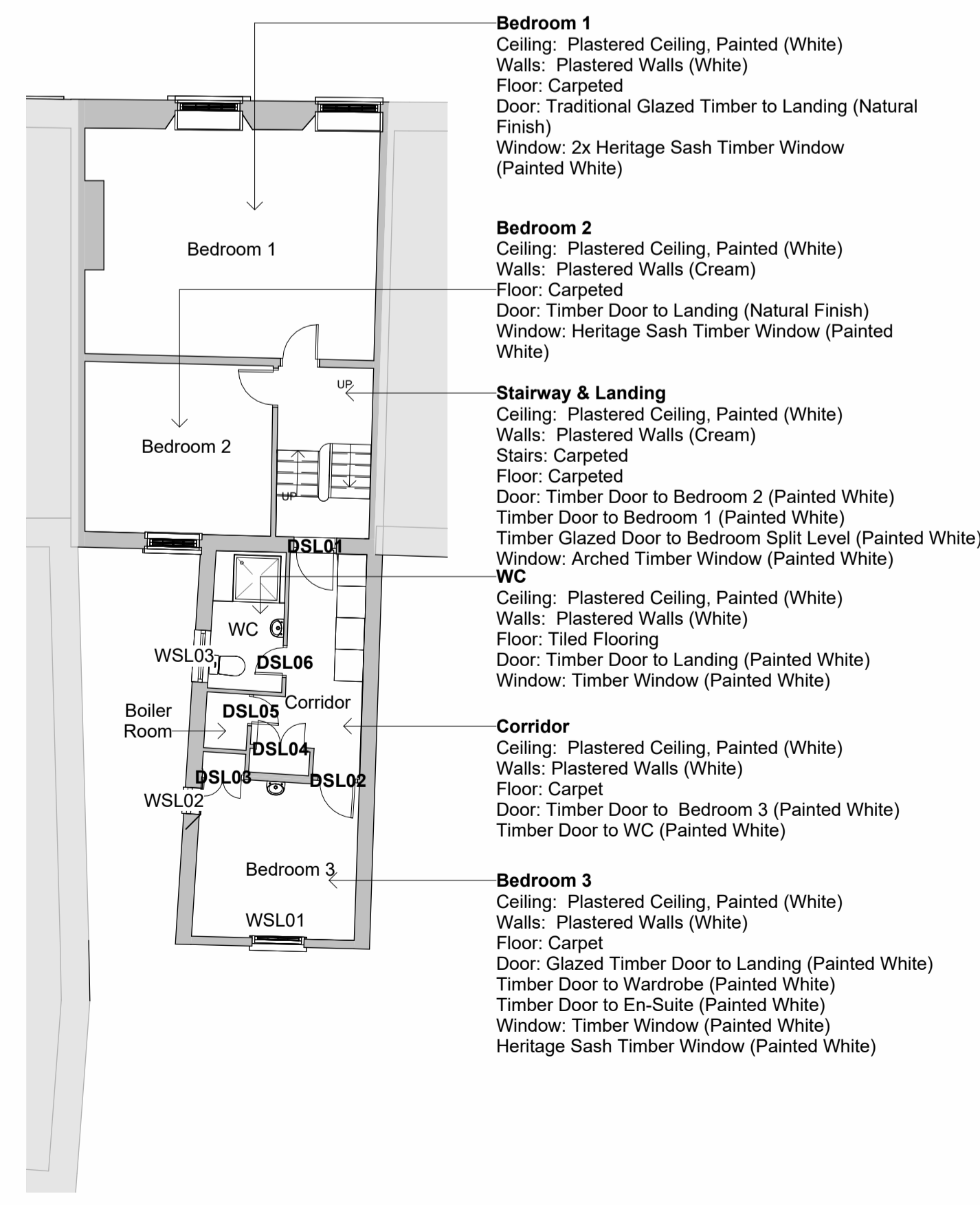
Existing WC within study (proposed to be removed) is of no historic or architectural merit.



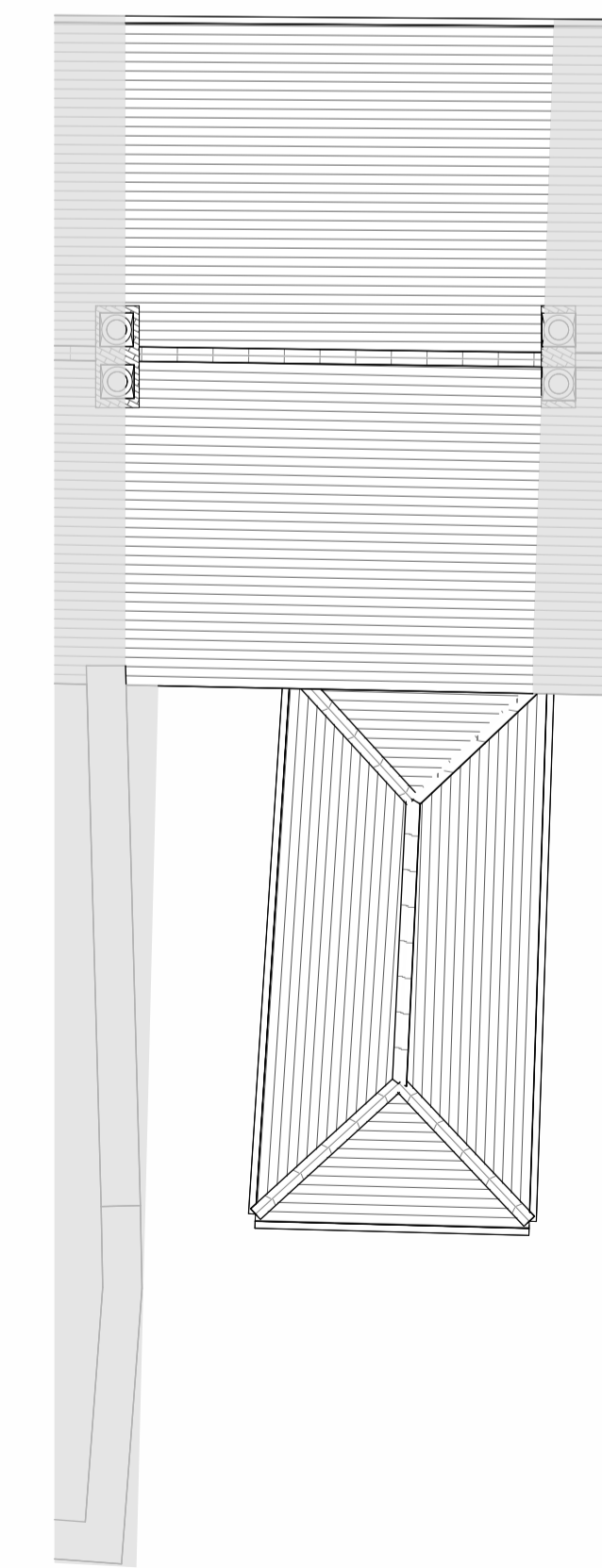
Existing Window WGF04. To be removed, no significant historic or architectural merit, frame compromised.



- Living Room**
Ceiling: Plastered Ceiling, Painted (White)
Walls: Plastered Walls (White)
Floor: Carpeted
Door: Timber Door to Hallway (Natural Finish)
Window: 2x Heritage Sash Timber Window (Painted White)
- Entrance Hallway**
Ceiling: Plastered Ceiling, Painted (White)
Walls: Plastered Walls (Cream)
Floor: Carpeted
Door: Traditional Glazed Timber Entrance Door (Natural Finish)
Traditional Glazed Timber to Hallway (Painted White)
Timber Door to Dining Room (Now Kitchen) (Natural Finish)
Timber Door to Living Room (Natural Finish)
Timber Door to Study (Now Dining Room) (Natural Finish)
Window: Arched Timber Window (Painted White)
- Study & WC**
Ceiling: Plastered Ceiling, Painted (White)
Walls: Plastered Walls (Cream)
Floor: Carpeted
Door: Timber Door to Hallway (Natural Finish)
Window: Heritage Sash Timber Window (Painted White)
- Dining Room**
Ceiling: Plastered Ceiling, Painted (White)
Walls: Plastered Walls (White)
Floor: Wood Flooring
Door: Timber Door to Hallway (Painted White)
Window: Timber Window (Painted White)
- Kitchen**
Ceiling: Plastered Ceiling, Painted (White)
Walls: Plastered Walls (White)
Floor: Tiled Flooring
Door: Glazed Timber Door to Kitchen (Now Utility) (Painted White)
Window: Timber Window (Painted White)



- Bedroom 1**
Ceiling: Plastered Ceiling, Painted (White)
Walls: Plastered Walls (White)
Floor: Carpeted
Door: Traditional Glazed Timber to Landing (Natural Finish)
Window: 2x Heritage Sash Timber Window (Painted White)
- Bedroom 2**
Ceiling: Plastered Ceiling, Painted (White)
Walls: Plastered Walls (Cream)
Floor: Carpeted
Door: Timber Door to Landing (Natural Finish)
Window: Heritage Sash Timber Window (Painted White)
- Stairway & Landing**
Ceiling: Plastered Ceiling, Painted (White)
Walls: Plastered Walls (Cream)
Stairs: Carpeted
Floor: Carpeted
Door: Timber Door to Bedroom 2 (Painted White)
Timber Door to Bedroom 1 (Painted White)
Timber Glazed Door to Bedroom Split Level (Painted White)
Window: Arched Timber Window (Painted White)
- WC**
Ceiling: Plastered Ceiling, Painted (White)
Walls: Plastered Walls (White)
Floor: Tiled Flooring
Door: Timber Door to Landing (Painted White)
Window: Timber Window (Painted White)
- Corridor**
Ceiling: Plastered Ceiling, Painted (White)
Walls: Plastered Walls (White)
Floor: Carpet
Door: Timber Door to Bedroom 3 (Painted White)
Timber Door to WC (Painted White)
- Bedroom 3**
Ceiling: Plastered Ceiling, Painted (White)
Walls: Plastered Walls (White)
Floor: Carpet
Door: Glazed Timber Door to Landing (Painted White)
Timber Door to Wardrobe (Painted White)
Timber Door to En-Suite (Painted White)
Window: Timber Window (Painted White)
Heritage Sash Timber Window (Painted White)



Red Dashed Line Indicates Existing Walls to be Removed

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Client: Mr T Melcer

Project: External and Internal Refurbishments,
Construction of Rear Conservatory &
Associated Works @ Gosallen, 2 Union
Place, Truro, Cornwall, TR1 1EP

Title: Existing Floor Plans & Elevations

Stage: Planning

Scale: 1 : 100

Date: 31/08/2023

Draw: AF

Checked: CM

Project No. 2478 Drawing: 003 Rev. H

5 Ground Floor
1 : 100

6 Split Level & First Floor
1 : 100

7 Roof Plan
1 : 100