

# Design Statement

# VICARAGE PARK

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We're personable, practical, and passionate.

We like to make things easy for our clients; establishing strong relationships and creating considered spaces.



### EXECUTIVE SUMMARY

This pre-application design statement has been prepared by GPAD, on behalf of Evolution Estate Development Ltd, to support the proposed development of the land to rear of 14-16 Vicarage Park, Plumstead, SE18 7SX

The site is situated within the Royal Borough of Greenwich, within the Plumstead Common Conservation Area.

The proposal includes:

- The creation of three new homes
- Associated landscaping and amenity
- Creation of three new front and rear gardens

The project aims are to:

- Sensitively respond to the site
- Activate a backland site
- Develop a relationship between the new homes and the street that enhances the wider area
- Pursue a sustainable design

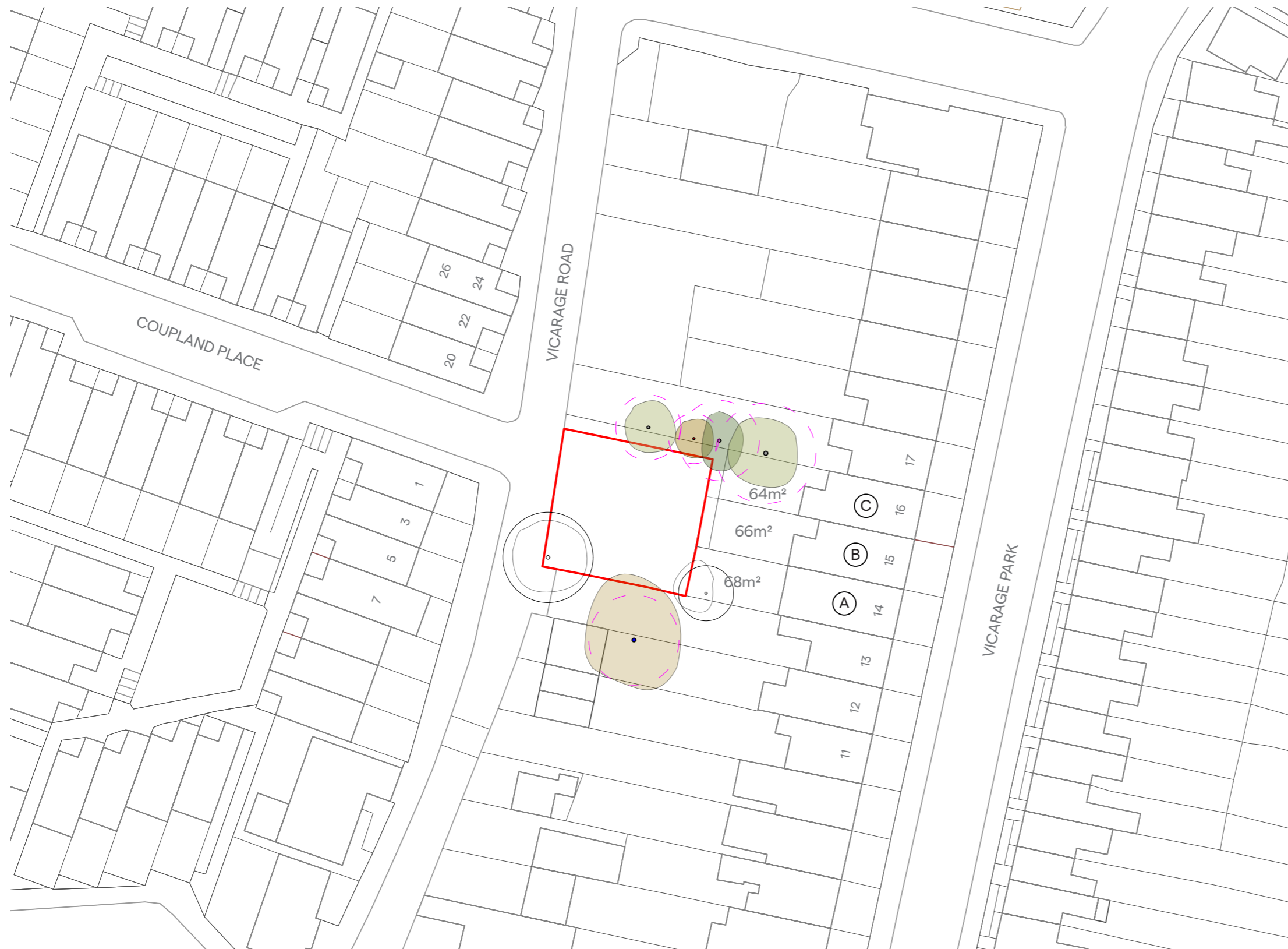
HOUSING

SUSTAINABLE DESIGN

PLACEMAKING



# THE SITE



1:500



296

SQM

Application Site Area (Red line)

01. THE SITE

SITE LOCATION

The site is approximately 0.03 hectares and fronts Vicarage Road on what was once part of the site fronting Vicarage Park.

The area is primarily residential and the site would have been part of the rear gardens of the three properties to the east, 14-16 Vicarage Park, which are all in residential use and have gardens of circa 65m<sup>2</sup>.

EXISTING TREES

There are 7 trees on or near the site which need to be considered and the pre application submission is supported by an Arboricultural Report which should be read in conjunction with this statement.

The four trees to the north, located within the rear garden of 17 Vicarage Park and the one to the south in the rear garden of number 13 are retained. It is proposed to remove the tree to the south west of the site and the tree to the rear garden of number 14. Consent has recently been granted (reference 23/2480) for the removal of the lime tree to the south west of the site, but this stipulates that two trees must be planted on the site to mitigate the loss. The pre application design presented within this document proposes three new trees.

SURROUNDING PROPERTIES

- (A) 14 Vicarage Park Road has been subdivided into 4 flats
- (B) 15 Vicarage Park Road has been subdivided into 4 flats
- (C) 16 Vicarage Park Road is a 6 bedroom home

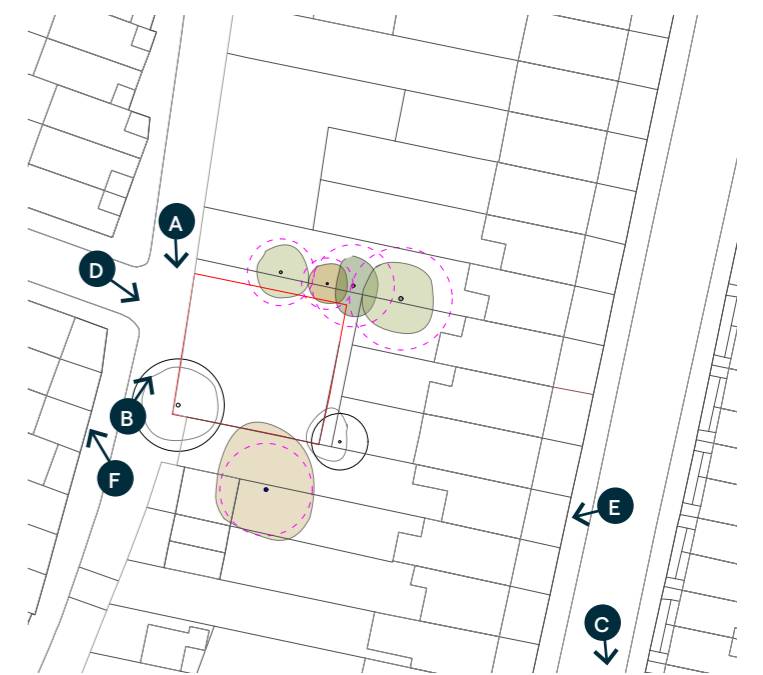




SITE PHOTOS

The site boundary is currently composed of walls and fence treatment against the boundary line. The road is relatively narrow, with parking and a pavement to the western side and access points to the east to garages, gardens and buildings to the east.

The road is quite urban with high walls and fences and could benefit from activation and greening.



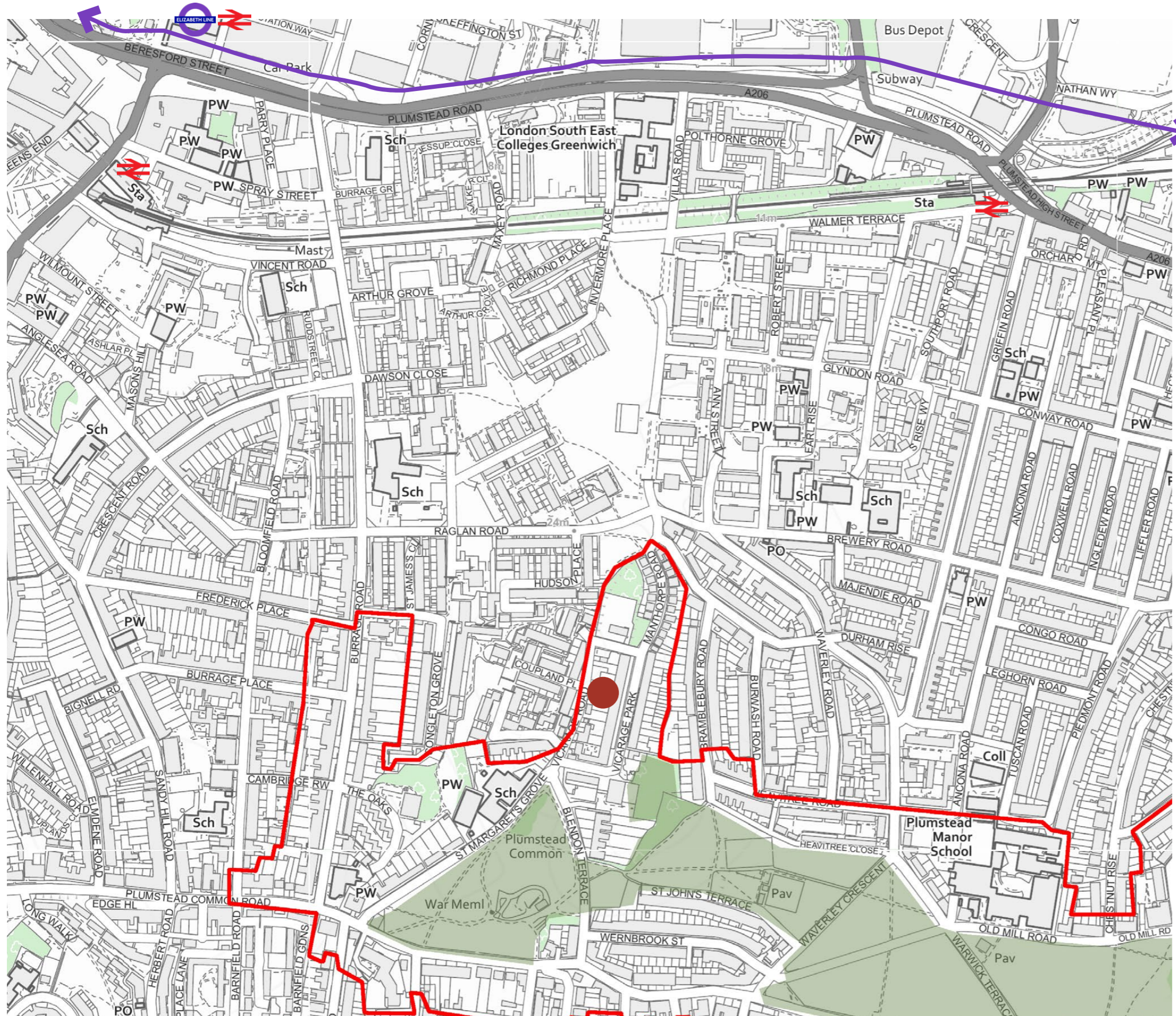


1. THE SITE

SITE CONTEXT

The site is situated in Plumstead, a suburb of the Royal Borough of Greenwich in South East London. It is situated within the Plumstead Common Conservation Area. The green chain is in close proximity.

The site has a PTAL rating of 2. Woolwich tube station is a 15 minute walk from the site and has connections into central London on the Elizabeth line. There are also 3 national rail stations all within a 15 minute walk.



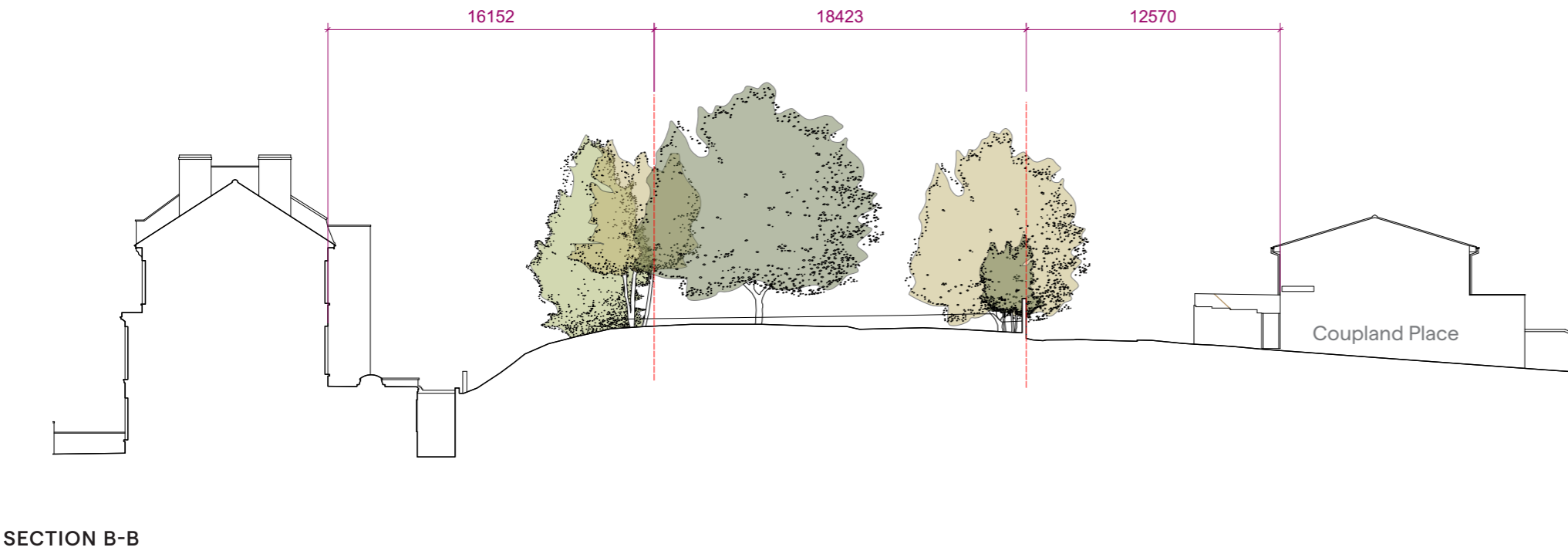
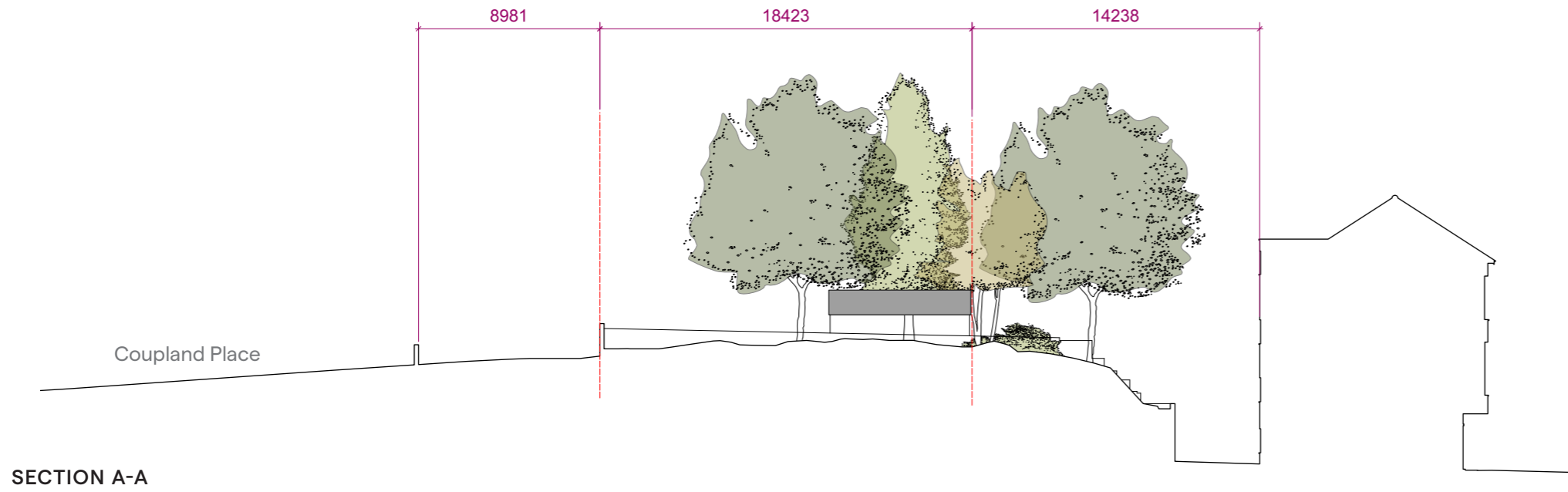
- Site
- Conservation Area
- Green Chain
- Open Space
- Elizabeth Tube Line
- Woolwich Tube Station (15 min walk)
- Elizabeth Tube Line
- National Rail Station



01. THE SITE

EXISTING SITE SECTIONS

The site topography falls away at a high gradient to the east of the site.





01. THE SITE

**SURROUNDING HERITAGE ASSETS**

The site is situated within the 'Vicarage Area' of the Plumstead Common Conservation Area. This is described as "the 1793 Listed Vicarage and good Victorian housing in its environs".

Local sites of heritage interest include:

- (A) The Old Vicarage (Formerly Bramblebury House)
  - Circa 1765
  - Grade II listed
  
- (B) 102-108 Plumstead Common Road
  - Oldest surviving homes within the Vicarage Area of the Conservation Area.
  - (108 is Grade II listed)
  
- (C) Italianite tower at St. Margaret's School
  
- (D) Prince of Wales Public House
  - Arsenal Football Club founded here as 'Dial Square Football Club' in 1886.
  - Closed since 2011.



(A)



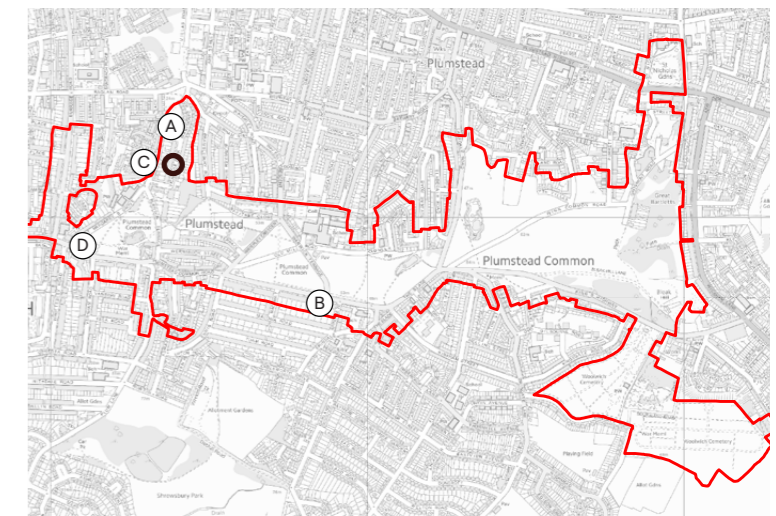
(B)



(C)



(D)







RECESSED ENTRANCES

CONSERVATION AREA CHARACTER

There are some notable characteristics of the conservation area as a whole which will inform the design and material treatment of the proposals. The context is a residential landscape rich in architectural detail, with consistent and expressive detailing.

Building materiality is typically brick, glass and timber, with natural slates or tiles at roof level. Colours predominantly used are yellow and red stock bricks, white window frames, some white stucco window surrounds and cornices, red ridge tiles, some red brick dressings and ornamental string courses, various disfiguring colours of painted bricks and render.

Significant local details within the area include:

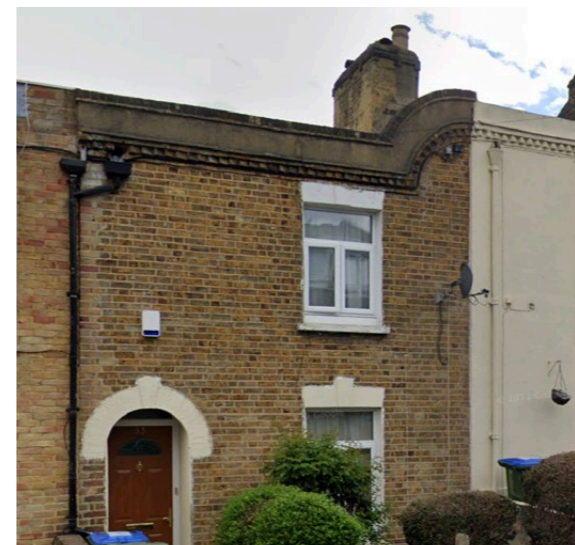
- Recessed entrances - seen extensively throughout the local area
- Window surround details
- Red brick string courses – on large houses in west area of Common
- Elaborate brick and cornice detailing
- Low pitched, hipped roofs
- Classical porticos – e.g. 110 Plumstead Common Road
- Front garden details including decorative front garden railings
- Fish-scale slate roofs, for example on Lakedale Road
- Front garden boundary ornate railings e.g. on Sladedale and Lakedale Roads
- Trellis over doors



WINDOW / DOOR SURROUND DETAILING

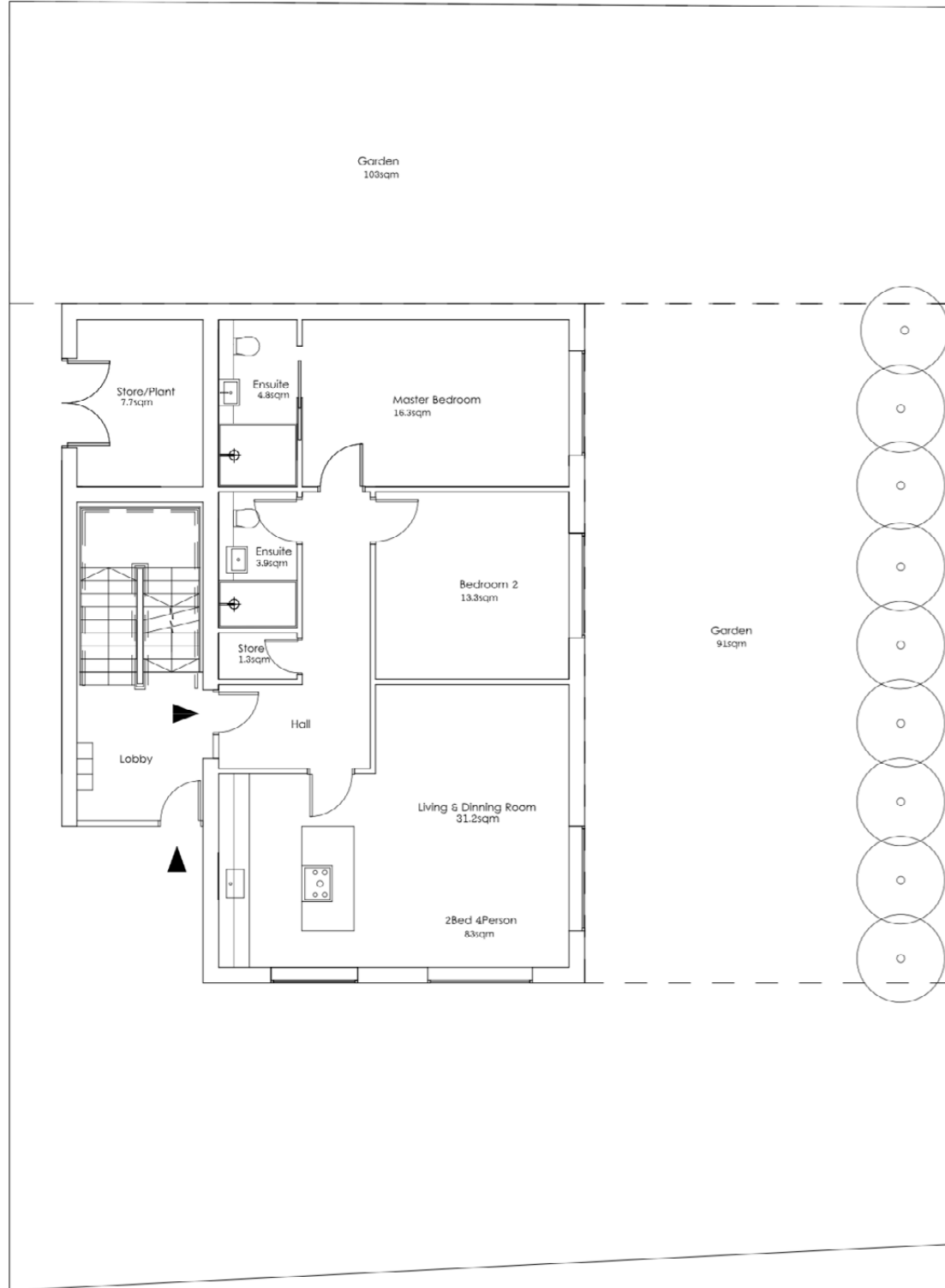


LOW PITCH, HIPPED ROOFSCAPE



DECORATIVE DETAILING





**PREVIOUS PRE APPLICATION**

Pre application feedback was obtained in 2018 (REF: 18/2062/PRE) for 'Construction of a 3-storey building comprising three flats (1x2-bed & 2x3-bed)'.

Key feedback included:

- Ensuring that gardens of the existing properties could still be accessed properly.
- Concerns about loss of privacy to existing residents.
- 'The site is located within the conservation area. All the trees on the site are protected and should the applicant seek formal planning permission for development a tree assessment and arboricultural report should accompany any application. If the application clarifies that trees are to be retained with development occur around the trees, the application documents should outline how construction would occur and if foundation/s of any proposed building would be specifically designed in order to prevent damage of root system to trees.'
- Officers commented that the proposal 'does not appear to maintain the scale, design and density of development due to its significantly different design when compared to the surrounding buildings within the Plumstead Conservation Area.'





01. THE SITE



OPPORTUNITIES & CONSTRAINTS

There are a number of opportunities and constraints associated with the site that have informed the response to the site and the architecture and design of the proposals.

CONSTRAINTS

- 1 Potential overlooking to neighbouring properties
- 2 Sloping topography to the east of the site
- 3 Located in the Plumstead Common Conservation Area
- 4 Close proximity to neighbouring trees

OPPORTUNITIES

- 5 Opportunity to activate the street
- 6 Opportunity to create sustainable homes
- 7 Create high quality, contextual architecture



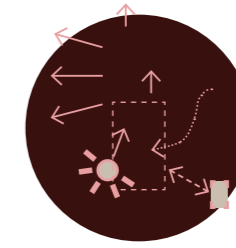
# PROPOSALS





DESIGN APPROACH

The proposal is driven by four key design principles illustrated below:



A contextual and contemporary design



Activate a backland site



Green and activate the street



Provide good quality, sustainable homes

Precedents:

- 1. Melody Lane • GPAD
- 2. Plashet Road • Archio
- 3. Birchanger • GPAD

Design inspiration from Conservation Area:

- 4. The Old Vicarage
- 5. Prince of Wales
- 6. Residential vernacular



**PRE-APPLICATION FEEDBACK (23/3240/PRE1)**

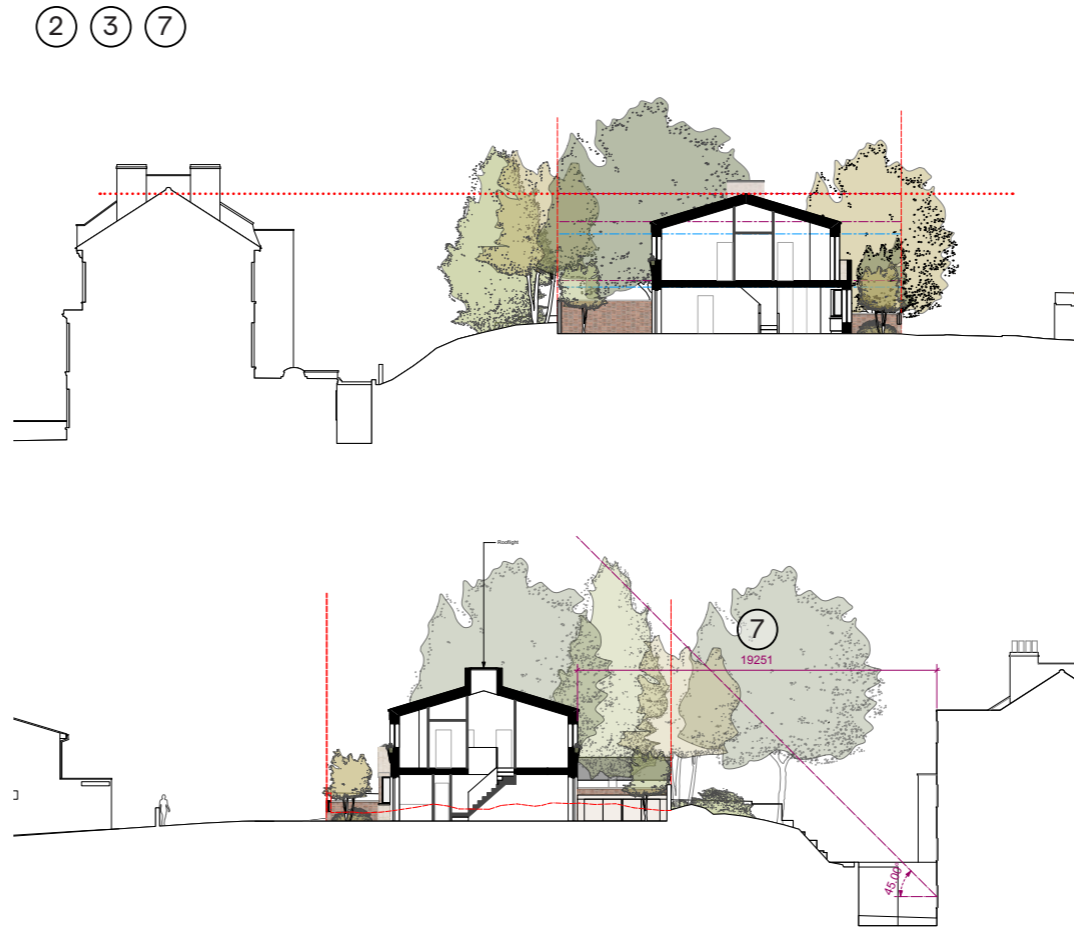
A pre-application was submitted in relation to the current application and a written response was received 31st October 2023.

Summary of main considerations:

- ① Housing Mix: 3No. of 3 Bedroom houses is acceptable
- ② The rear of Vicarage Park is characterised by predominantly single storey outbuildings. It is considered that the three storey buildings proposed would not be in keeping with the pattern of development in the area and would fail to appear subordinate to the host dwellings to the east along Vicarage Park. The proposed roof height must not exceed roof line from the neighbouring properties.
- ③ The proposed parapet details with a setback roof are considered to result in the design being unacceptable. The surrounding properties feature pitched roofs, some with chimney stacks. It is considered that the strong parapet detailing makes the building appear bulky and boxy in appearance.
- ④ The properties along the western side of Vicarage Park are characterised by their deep gardens, and whilst certain garages do subdivide their respective gardens to a point, generally, the pattern of the development remains legible. The scale of the site would result in a considerable reduction in the size of the garden at the host sites and would therefore detract from the character of the surrounding area.
- ⑤ Overall, it is considered that the sitting and scale of the buildings and their plot should be amended to ensure the development is in-keeping with the pattern of development within the area.
- ⑥ The facing materials must include matching brickwork to the neighbouring properties and all new doors and windows should be of timber with a painted finish.
- ⑦ Overshadowing or overlooking: It is recommended that the separation distance between the two dwellings fall no lower than 18 metres
- ⑧ No objection to the removal of the trees proposed.

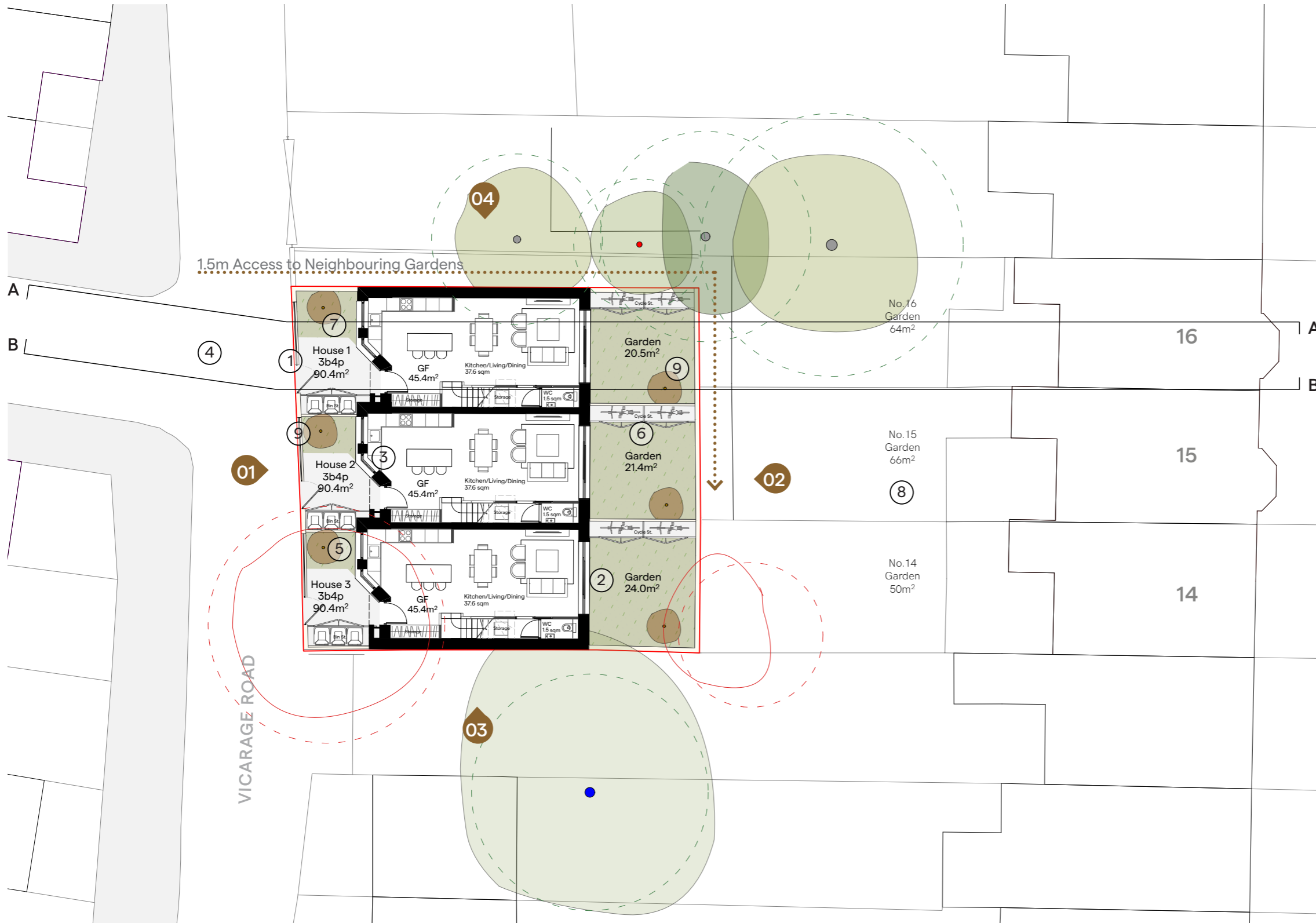






In response to the key comments made by the Council, we have made a series of changes to the proposal that can be summarized as follow:

- ① Housing Mix:  
3No. of 3 Bedroom 4 person houses with suitable amenity space and bin/bike storage.
- ② Reduction of the massing. Houses proposed are 2 storey with a pitch roof and do not exceed the height of the dwellings along Vicarage Park
- ③ The mansard roof has been replaced by a pitch roof and a 'chimney' has been introduced to be more contextual with the neighbouring properties. The chimney will not function as smoke extract, it is a skylight to bring light to the stair and corridor in the first floor.
- ④ The rear facade of the proposal is set back in relation to the majority of the buildings at the rear of Vicarage Park.
- ⑤ The gardens in the neighbouring properties are under 19m and the proposal keeps a green space between buildings of similar size.
- ⑥ The materials used will be characteristic of the area, with buff brick and red brick accents. Windows and doors will be in painted timber as advised.
- ⑦ The separation distance between properties exceeds 19m.
- ⑧ The removal of the two trees in bad condition will be compensated by planting new trees to both the front and the rear of the properties.



GROUND FLOOR PLAN

TREES KEY:

- Trees Removed
- Trees Retained
- New Trees
  - Himalayan Birch at back gardens
  - Sweet Gum at the front of the houses

Refer to arboriculturist report for further details.

SCHEDULE OF ACCOMMODATION:

UNIT	AREA	OCCUPANCY
	NIA m2	
House 1	90.4	3b4p
House 2	90.4	3b4p
House 3	90.4	3b4p
<b>TOTAL</b>	<b>271.2</b>	

PROPOSED PLANS

KEY MOVES:

- ① Family homes. 3No. of 3 Bedroom 4 person dwellings.
- ② Dual aspect dwellings with windows to the East and West elevations
- ③ Angled windows at ground floor to provide extended views to Vicarage Road.
- ④ Positive contribution to Coupland Road and Vicarage Road, activating the street.
- ⑤ Contemporary interpretation of key Victorian features to act as a link between the conservation area properties and those outside it.
- ⑥ Large private amenity space at the rear including secured and covered cycle storage.
- ⑦ Private amenity space with bin storage at the front.
- ⑧ The separation distance between properties exceeds 19m avoiding overlooking issues with the neighbouring properties.
- ⑨ Maximising biodiversity with large green areas and new trees included.



PROPOSED PLANS



FIRST FLOOR PLAN



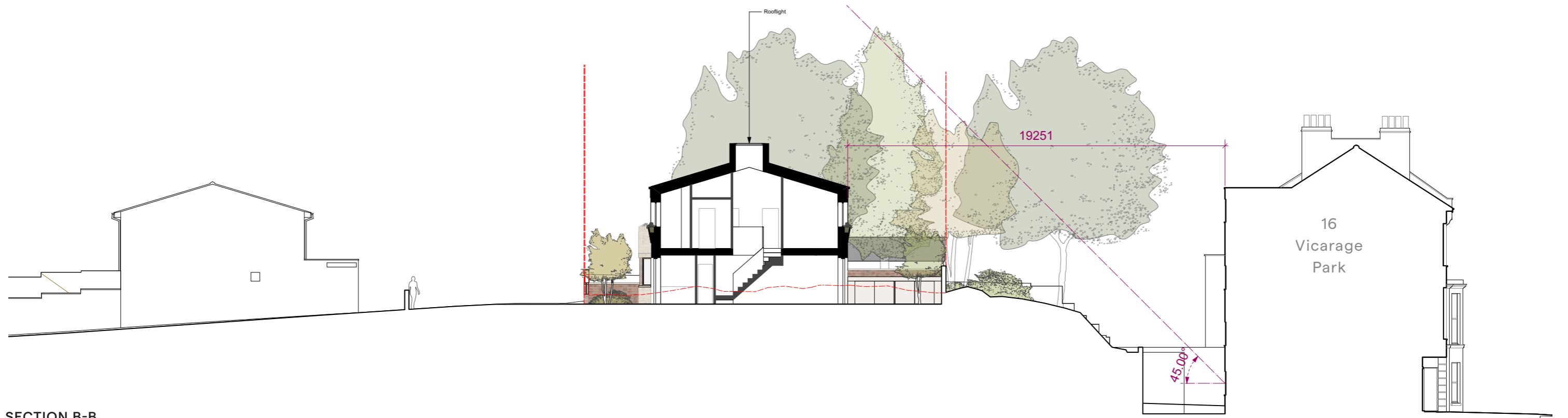
ROOF PLAN



PROPOSED SECTIONS



SECTION A-A



SECTION B-B