

MEGANS CAFÉ & DELI



Existing Elevation

Planning Observation Document
25 Dulwich Village, London SE21 7BN

CONTENTS

	Page
1.00 Introduction/ Forecourt application	3
2.00 Proposal	4
3.00 Heritage Statment	8
4.00 Planning Fire Safety Strategy	12
5.00 This document should be read in conjunction with the following:	
• DUL- LP.00 Location Plan	
• DUL- BP.00 Block Plan	
• DUL- EA Existing Site Plan	
• DUL- EE.00 Existing Elevation	
• DUL- GA.00 Proposed Site Plan	
• DUL- GE Proposed Elevation (Awning In)	
• DUL- GE.01 Proposed Elevation (Awning Out)	

MEGANS CAFÉ & DELI

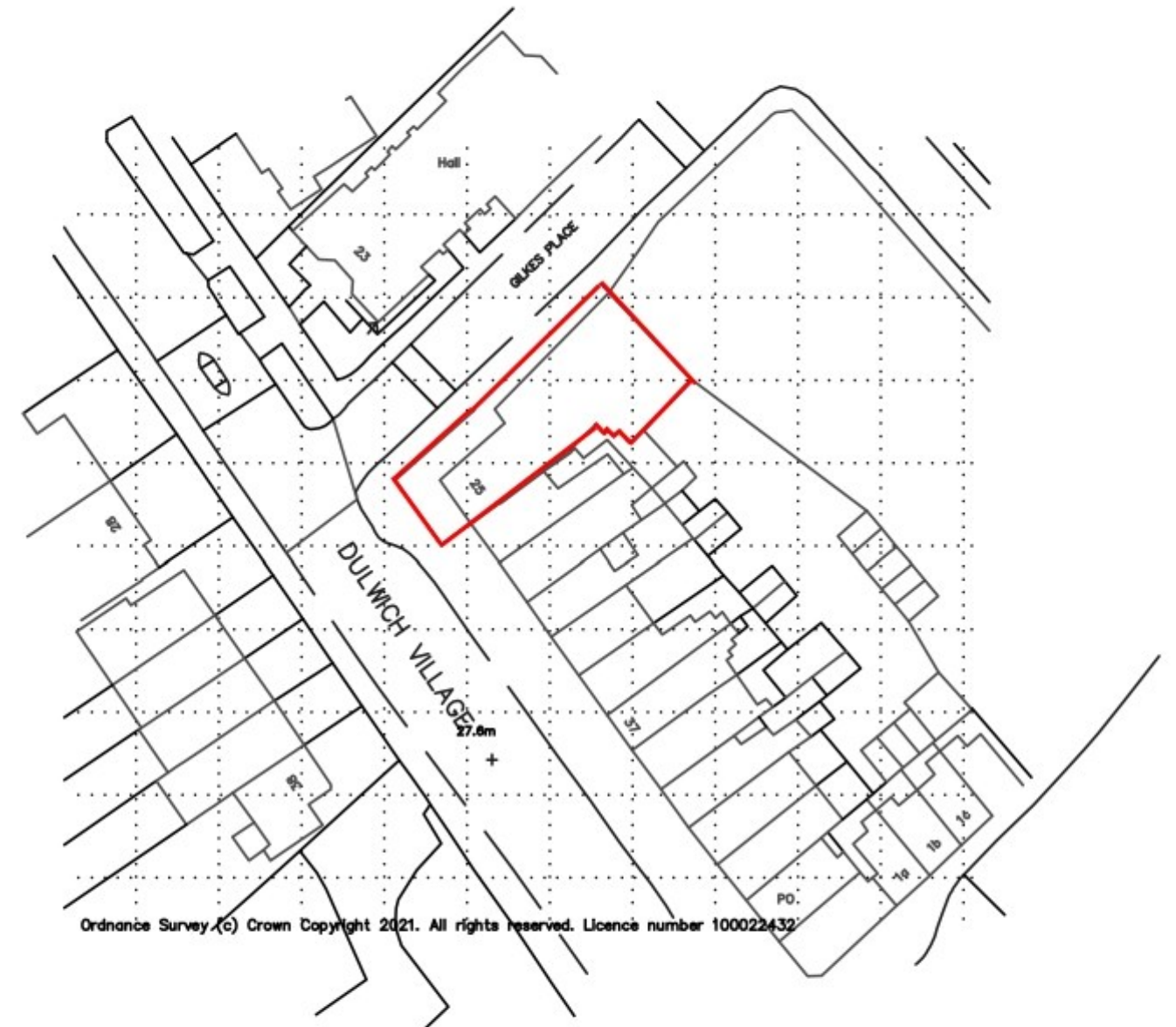


Image 01. Location Plan.

PD.00-A-8000 Rev 01	01	23-12-18	JRL	Issue for planning
Document No	Rev	Date	Prepared by	Details

1.00 INTRODUCTION / FORECOURT APPLICATION

- 1.01 This document has been produced to accompany a planning application made by Megan's Café and Deli at unit 25-27 in Dulwich Village, London SE21 7BN.
- 1.02 The current unit has an outside seating area formed on a temporary raised deck. There is timber handrail to the deck edge. This can be seen on the image on the front cover of this document.
- 1.03 Dulwich Estates submitted a minor application (16th June 2023) for Public Realm improvement works at North Dulwich Parade, London SE21 7BN. This received approval 9th September 2023, application reference 23/AP/1676.

- 1.04 The Megan's unit is part of the North Dulwich Parade as shown in image 02 below. The proposal is to extend the public realm features that have received planning approval for the rest of the Parade.
- 1.05 Because the Megan's unit is joined to the Parade the physical boundary between them is difficult to apply. For example tree T1 is in Megan's demise This also includes the granite strip, and the bench planter surround. So part of Megan's external area has already technically received planning approval.
- 1.06 So to apply the public realm surfaces from the rest of the Parade to Megan's is a logical unification process. This means the current raised deck will have to be removed accordingly. This is the principle of the application.

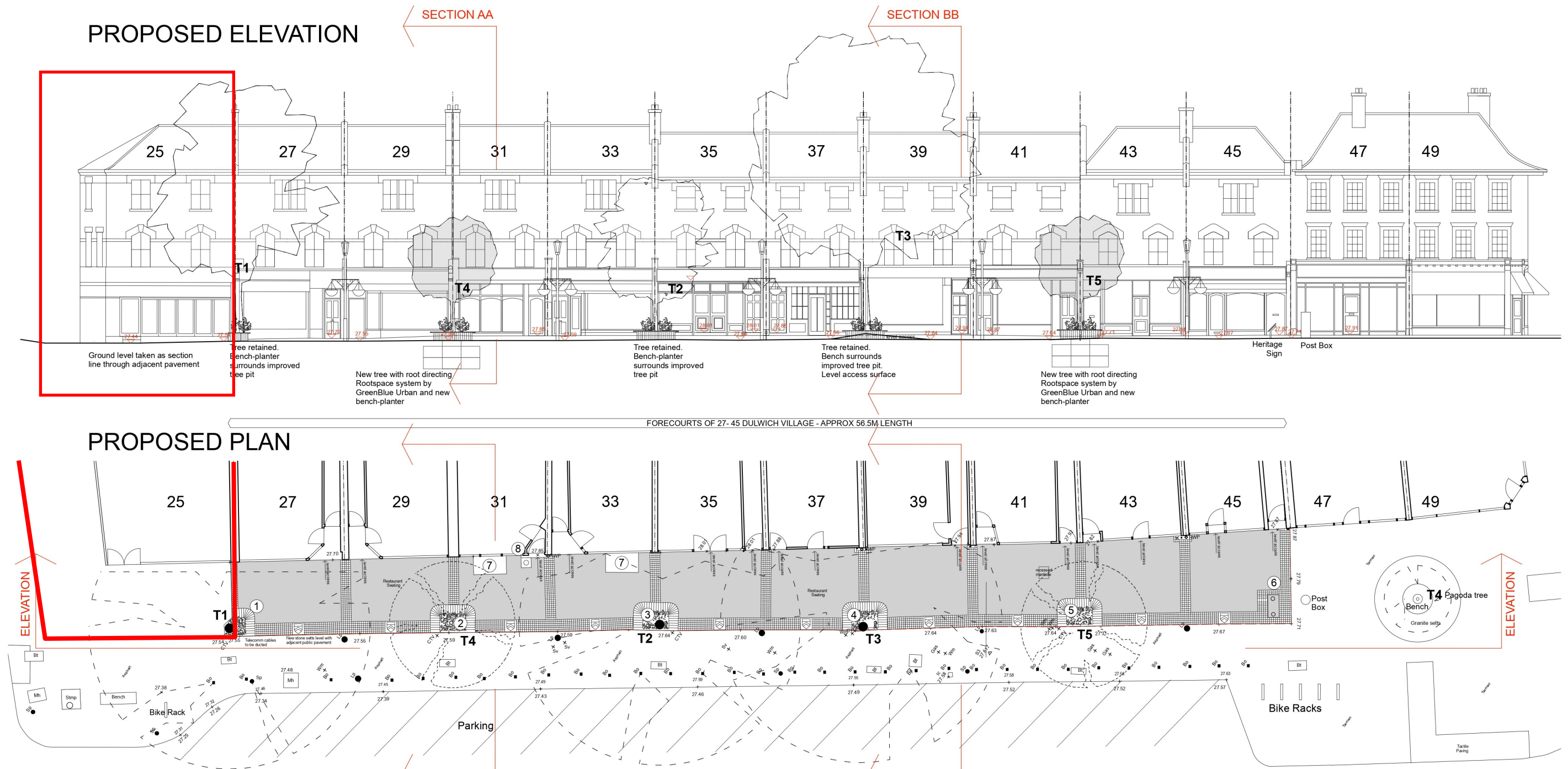


Image 02 is an extract from Dulwich Estates Public Realm application 23/AP/1676. Megan's units is outlined in red

2.00 PROPOSAL

- 2.01 The Proposal as previously discussed in section 1.00, is to extend the public realm surfaces and features that have been approved for the rest of North Dulwich Parade.
- 2.02 The proposal to allow the extension of the public realm includes the adaptation of the following elements:
1. Raised deck seating area including tiled upstand and access stairs removed
 2. Retractable corner awning including supporting structures.
 3. Timber balustrade to raised seating deck removed.
 4. Existing retractable awning retained (on both elevations)

5. Existing external furniture is retained, and relocated.
6. Existing festoon lighting retained and relocated
7. Existing menu board retained and relocated to left hand side of entrance door.
8. Existing TPO tree T1. The tree pit is improved by Dulwich Estates. A new bench planter is installed adjoining the one installed by Dulwich Estates

The above elements are annotated in image 03 below.

- 2.03 Images 04 and 05 on this page shows the proposed materials. Images 06 and 07 are extracts from planning drawings GE.00 and GE.01



Image 03. Current Megan's unit. The annotation which is listed item 2.02 show the elements that are adapted, removed and retained.

Image 04

Yorkstone setts margin strip.

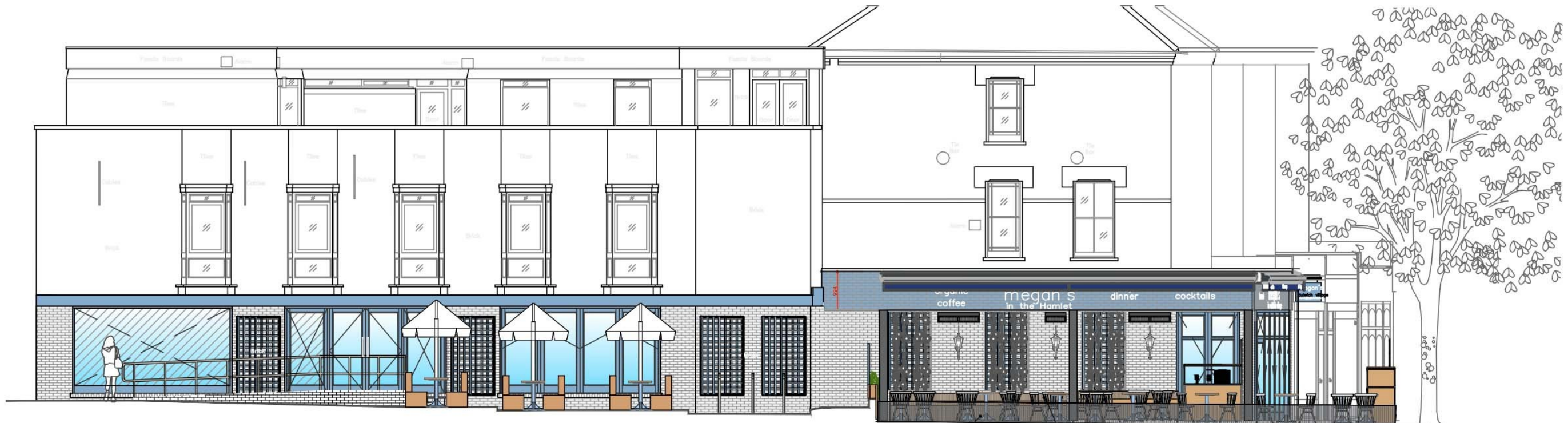


Image 05

Resin bound stone gravel field finish. Type of gravel is Sand-bank which has a range of natural cream, beige and grey stones



2.00 PROPOSAL



01 Proposed Side Elevation - Awning IN
1:100 @ A3

New planters 200mm wide running along boundary

Decking and balustrade removed. Outdoor furniture to be positioned onto new paving from forecourt works

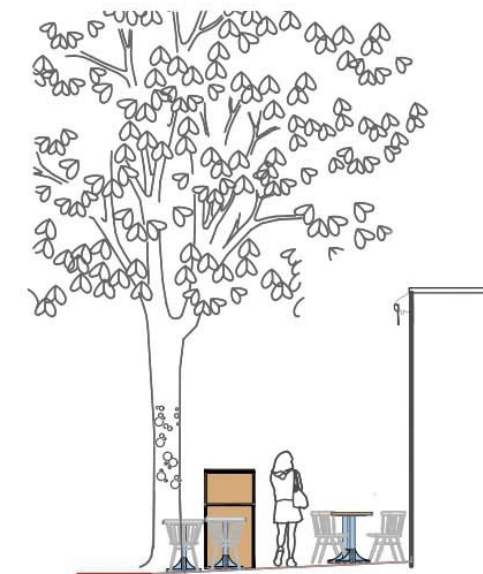


02 Proposed Front Elevation - Awning In
1:100 @ A3

New planters 200mm wide running along boundary

Decking and balustrade removed. Outdoor furniture to be positioned onto new paving from forecourt works. Application: 23/AP/1676

Bench planter around tree proposed in accordance to forecourt application 23/AP/1676



03 Proposed Side Elevation - Awning Out
1:100 @ A3

Image 06, is an extract from drawing GE.00. This shows the raised seating terrace removed. The external seating is placed at grade of the new applied external surface materials. The edge of this seating area has 200mm wide planting installed on boundary of the units demise. This elevation has the awnings closed.

2.00 PROPOSAL



01

Proposed Side Elevation - Awning Out
1:100 @ A3

New planters 200mm wide
running along boundary

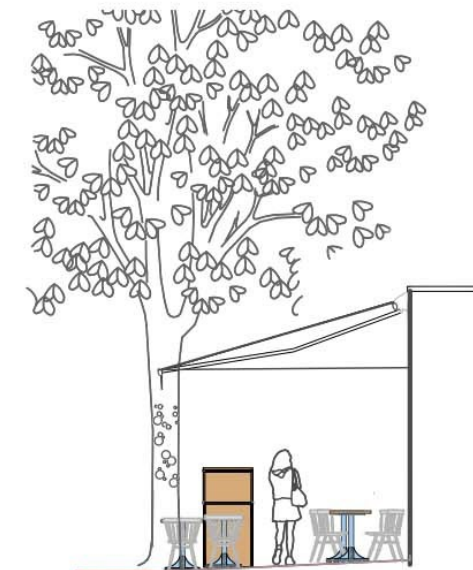
Decking and balustrade removed.
Outdoor furniture to be positioned
onto new paving from forecourt works



New planters 200mm wide
running along boundary

Decking and balustrade removed.
Outdoor furniture to be positioned
onto new paving from forecourt
works. Application: 23/AP/1676

Bench planter around tree
proposed in accordance to
forecourt application 23/AP/1676



03

Proposed Side Elevation - Awning Out
1:100 @ A3

02

Proposed Front Elevation - Awning Out
1:100 @ A3

Image 07, is an extract from drawing GE.00. This shows the raised seating terrace removed. The external seating is placed at grade of the new applied external surface materials. The edge of this seating area has 200mm wide planting installed on boundary of the units demise. This elevation has the retained awnings opened

2.00 PROPOSAL

2.04 Image 07 is an extract from the general arrangement plan (GA.00). It shows the following:

- York stone sett margin
- New 200mm wide planters set on boundary
- Resin bound stone gravel field finish.
- Layout of retained external furniture.
- The bench planter. Only part of this is installed by Megan's, the remaining element is installed by Dulwich Estates under the approved application 23/AP/1676. This is the same for York stone sett margin and this location.
- Image 08 shows the detail of the bench planter.

2.05 As the external seating area is now at grade, this allows direct access by all from the surrounding pavement area. Access to the disabled toilets located in the rear of the unit is via the existing ramp off Gilkes Place (item 2 in image 08). This was installed as part of previous approved planning application for the formation of unit 20/AP/0190. This was approved 30/07/2020

Image 08, is a detail taken from the Dulwich Estates application. The area in grey is the section they are constructing. Megan's will extend this bench planter accordingly

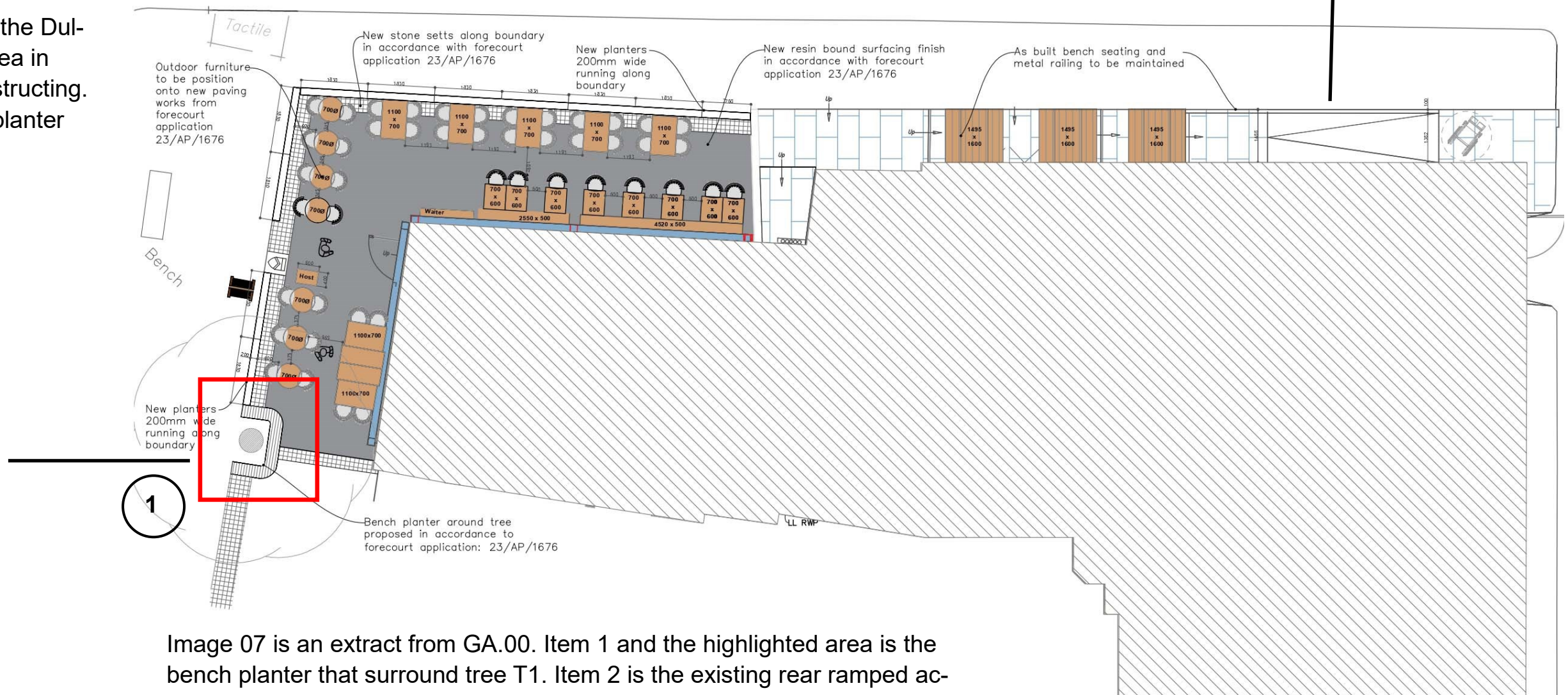
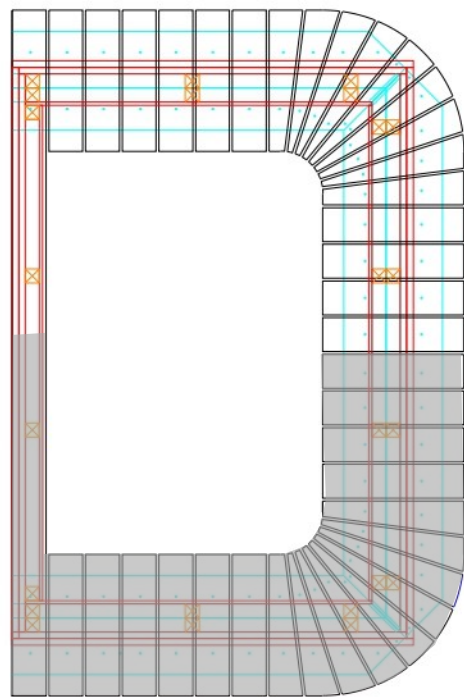


Image 07 is an extract from GA.00. Item 1 and the highlighted area is the bench planter that surround tree T1. Item 2 is the existing rear ramped access.

3.00 HERITAGE STATMENT

3.01 The Megan’s unit is part of the North Dulwich Parade. The North Dulwich Parade is edged by a three-storey terraced block to the east side of Dulwich Village, the main road running through Dulwich. It is within the Dulwich Village Conservation Area. The terrace has thirteen units which run from number 25 on the corner of Gilkes Place, to number 49 at the corner of Calton Avenue. Ground floor retail units are leased to a range of traders including cafes, estate agents, clothes and homeware shops, toys and gifts, pharmacy and post office, and a hair-dressers.

3.02 As previously discussed the removal of the raised terrace will align with the public realm approach to the frontage of the rest of the North Dulwich Parade by Dulwich Estates.

3.03 The unit as mentioned is part of the Dulwich Village Conservation Village. The extent of this is shown in Image 09. Southwark describes this area as:

- *‘The Dulwich Village Conservation Area is located at the southern end of the borough and Denmark Hill, Camberwell, East Dulwich, Herne Hill and Sydenham loosely border it. The character of the conservation area is established by the historic layout of property boundaries and thoroughfares, the sense of openness and greenery, views along streets as well as between buildings and other townscape characteristics. The buildings date from the mid 18th to the 21st centuries, with excellent examples of domestic architecture ranging from grand houses to humble terraces. Substantial Georgian houses and fine Victorian and Edwardian terraces sit comfortably alongside 1930s family homes. There are also good examples of 1960s architecture as well as more recently approved high quality modern developments. All of these make a positive contribution to establishing the special interest of Dulwich village.’*

We believe the proposed public realm will reinforce the historic layout of property boundaries, and reinforce the street scape connection of the trees by the bench planters

3.04 Image 10 shows the part of the conservation area and the listed building contained within. The listed building are shaded in green, Megan’s is shown with a Red fill. On the other site Gilkes Place is grade II listed building.

Image 11 is a detailed plan area showing the unit out lined in red and the grade II listed building that located on the otherside of Gilkes Place

Image 10. Shows the Megan’s unit location (with red fill item 1) within the conservation area. The buildings with green fill are all listed, all of them are Grade II.

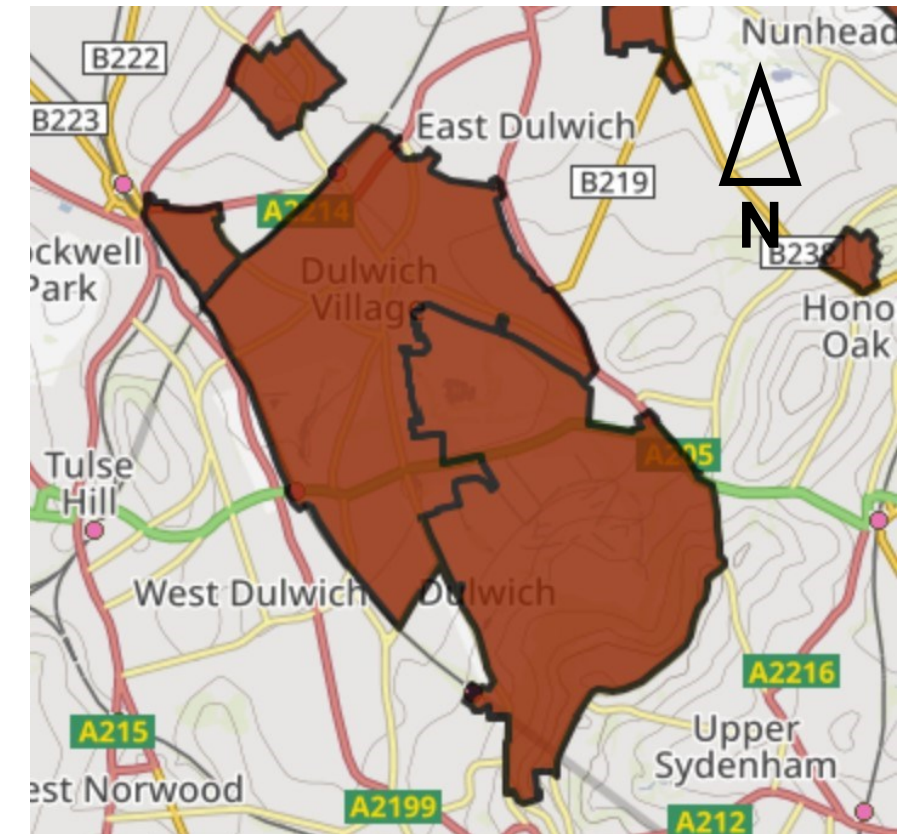
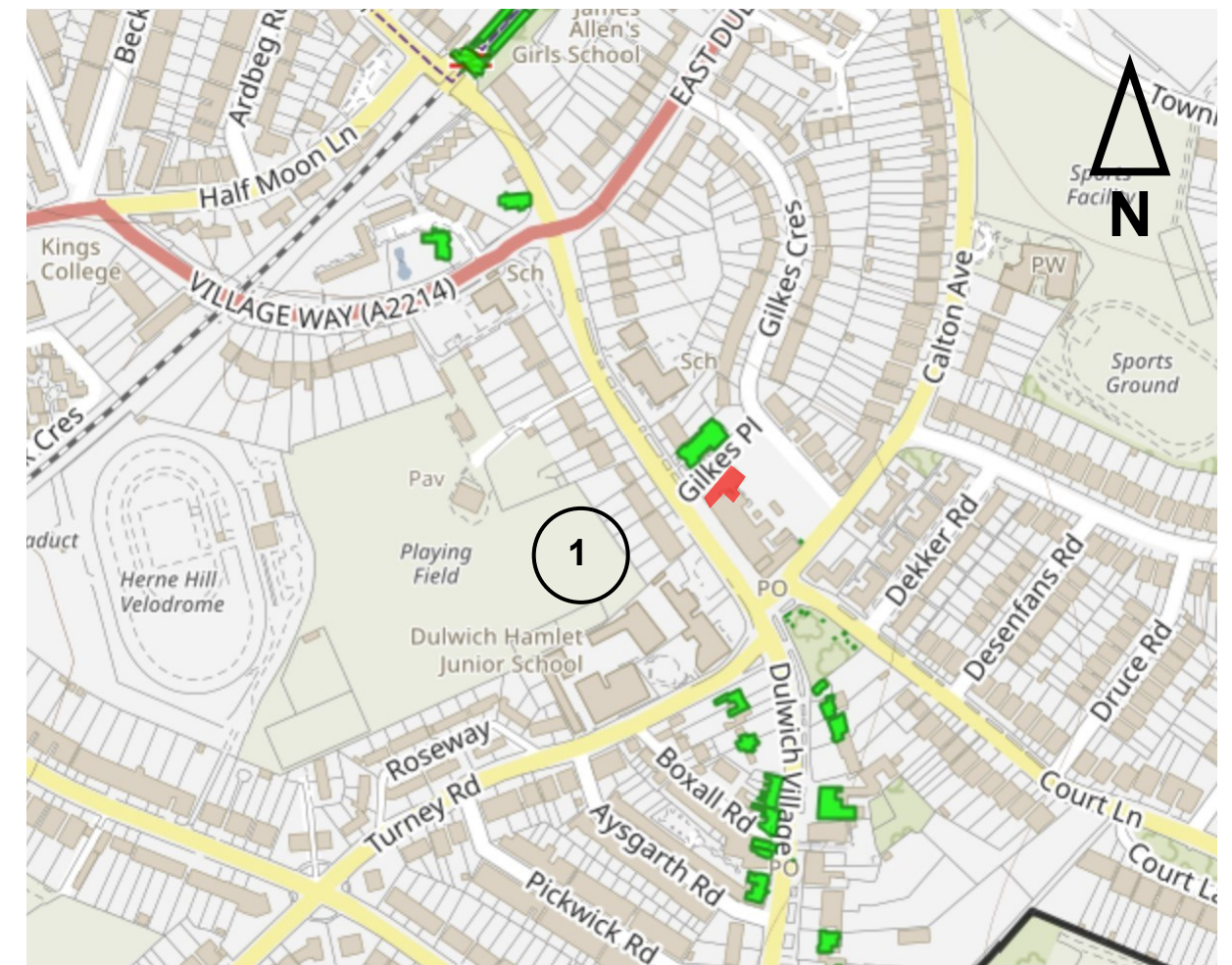


Image 09. Shows the extent of the Dulwich Village conservation area. This taken from Southwark web site.



3.00 HERITAGE STATMENT

- 3.05 Image 11 shows the adjacent Grade II listed building St Barnabas Parish Hall, address 23 Dulwich Village London SE21 7BT. The Parish Hall building appears use over 70% of the site.
- 3.06 The Parish Hall construction was commenced on 5th July 1910. Designed by Ernest G Cole in a Domestic Revival Arts and Craft Style, erected by subscription as a memorial to King Edward VII.
- 3.07 The reason for the consideration of this as Grade II building is summarised from the listing itself:
- *Architectural interest: a complex design incorporating a large hall with stage, a smaller hall divisible into three sections and a caretaker's flat, with varied elevations and distinctive features including a clock tower, all built of good quality materials; * Intactness: the exterior is intact apart from a replacement door to the porch; the interior is intact including an original fireplace and folding doors to the small hall*
- 3.08 The external seating space that is being changed to match the public realm material to the rest of the Parade, is located to a building that pre-dates the listed Parish Hall
- 3.09 Images 11 and 12 show Ordinance Survey Maps from 1870 and 1913. The Megan's unit and adjoining unit (25 & 27) were constructed at the end of 1900. The last part of North Dulwich Parade development was in 1922 Commerce Place development (47 to 49 and the return to Calton Avenue) designed by C E Barry (grandson of Sir Charles Barry)
- 3.10 The change to the front seating area of Megan's unit does not have any impact on the Parish Hall across Gilkes Place. Most likely it is positive impact as the Parish Hall that has limited external seating for its users. It is not clear if the rear garden is available. The Megan's external seating that is also shade provide an alternatives to the users of the Parish hall.



Image 11. Shows in detail the Megan's unit and the adjacent Grade II listed St Barnabas Parish Hall.

3.00 HERITAGE STATMENT

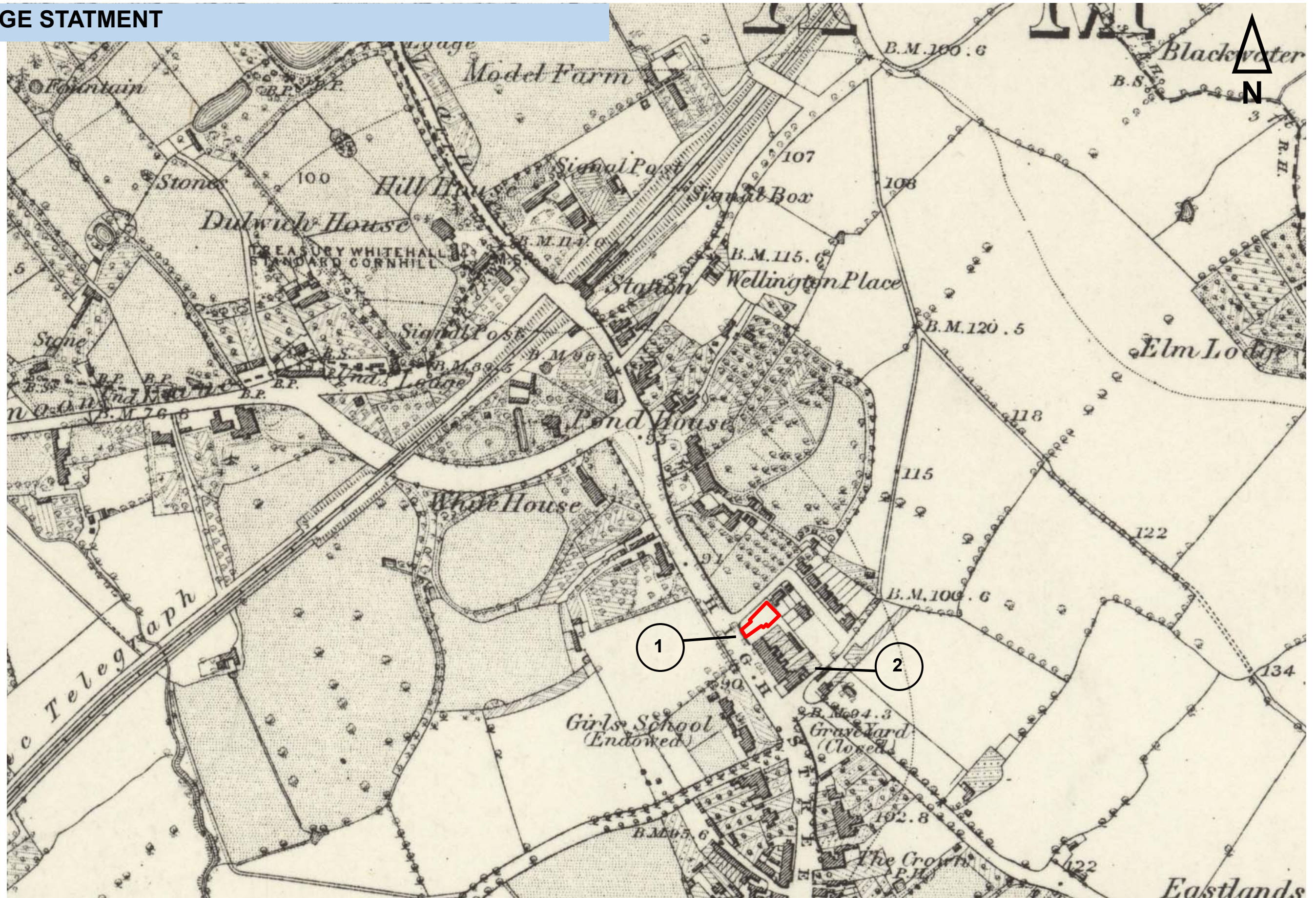


Image 12. Extract from the 1870 Ordnance survey map. This was purchased from Scottish National Library.

Item 1 shows the location of the current Megan's unit. The North Dulwich Parade units 29 to 49 had been constructed by 1870, item 2.

3.00 HERITAGE STATMENT



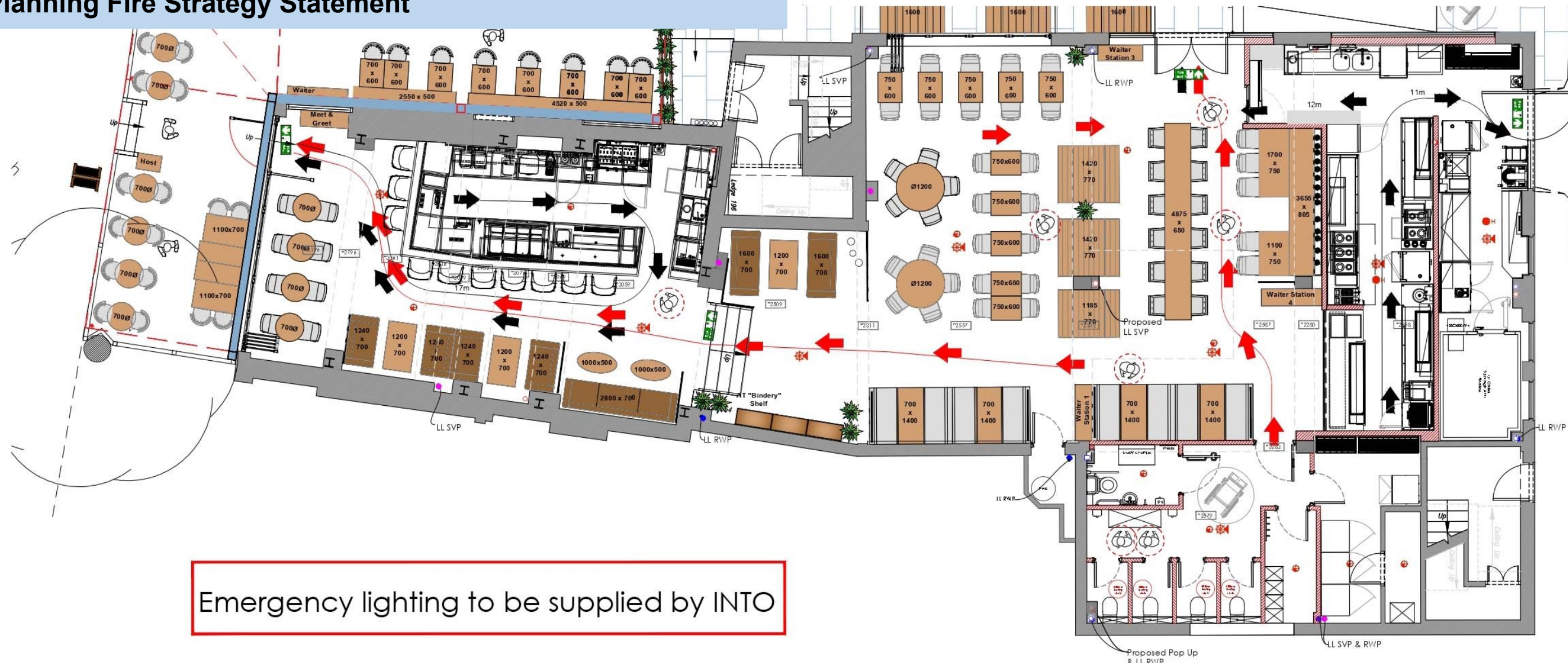
Image 13. Extract of 1913 Ordnance survey available from the Southwark web site. The Megan’s unit no 25 and 27 were constructed in the late 1900. By 1913 a garage had been installed at the rear of the unit. The different colour outlines show the dates when these units have been approximately built. Only fixed dates are for Parish Hall 1910, and the Commerce Place Development 1922.

- 1870 development
- 1900 development
- 1910 development
- 1922 development

4.00 Planning Fire Strategy Statement

- 4.01 This Planning fire safety statement is written by and for the end user Megan's Restaurant. This statement is accompanying a full planning application made by Megan's to change the current raised external seating area of Unit 25 Dulwich Village, to up grade the seating area, as discussed in section 2 of this document. The proposal extends the public realm for the rest of North Dulwich Parade. This application was made by Dulwich Estates. Dulwich Estates submitted a minor application (16th June 2023) for Public Realm improvement works at North Dulwich Parade, London SE21 7BN. This received approval 9th September 2023, application reference 23/AP/1676. The application did not provide a planning fire strategy statement. The reason for this is that application does comply with the relevant categories outlined in The Government's Planning Gateway One. However policy D12 (A) appears to contradict gateway one requirements as it has a more broad brush approach
- 4.02 This statement is based on the London Plan, guidance, fire, Safety policy D12(A) February 2022.. The purpose of this statement is to provide fire information that is developed at planning stage and added to during the construction/development process through building control submission, to a fire strategy/FRA (Fire Risk Assessment requirement of section 38) to the post completion period. From this point the tenant puts in place the maintenance and testing regime to keep the fire provision up to date and functioning correctly. To summarise this document demonstrates compliance with policy D12(A)
- 4.03 As this is not Major Application but is a (Minor) full planning application (change of use) then D12(B) is not appropriate in accordance with the guidance.
- 4.04 Policy D12(A) requires the author of the document to demonstrate competence in writing a Planning Fire Safety Statement, section 2.4.
- 4.05 The author of this document is J R Levey, Ba Hons, Dip Arch King, RIBA. He has been a registered architect for over 40 years, and been involved in numerous major buildings/development
- 4.06 The following is short summary of some of his experience that relates to a Planning Fire Safety Statement:
- Expert witness regarding fire protection of steel structures. This was on a large shopping centre outside Glasgow. At the time it was the largest construction claim in the UK. Acting on behalf of the owner. Discussed matter with various fire bodies such as FIRAS
- Oracle Reading shopping centre, helped developed the fire strategy, access and types of fire engines along external area to the River Kennet. This included both banks.
- Eden Centre High Wycombe, help developed the fire strategy, for the use of dry risers, location and units served. This included specific drawings showing fire engine access and the units served, location of hydrants. Full liaison occurred with the County Fire Brigade.
- Responsible for writing Employer requirements, and Shell specification which outline fire strategies and fire safety systems. For example proposed location dry riser in view of hose length and access to any fire.
- Was part of the ODA (Olympic Delivery Organisation) for London 2012, undertaking a technical review of the works to the International Broadcasting Centre, Media Press Centre, Bus station and multistore carpark. This included the review of the fire strategies produced by WSP for each building. Ensuring that any changes were reflected in the all the fire strategy document, they were not standalone.
- 4.07 As previously discussed (item 2.05) the units change of use from a garage to restaurant received planning approval on 30/07/2020 application 20/AP/0190.
- Other applications were made by Megan's for new shopfronts and signage these were approved 02/07/2021 and 05/08/2021 respectively, application references 21/AP1269, 21/AP/1270.
- 4.08 The fit out works commenced including new shop fronts and awnings July 2021, and was completed end of November 2021.
- 4.09 Building regulation approval was received end of 2021.
- 4.10 This planning application is for the change of the external seating area. This area is considered low risk under Building Regulation as it is external. Therefore no passive fire protection is required for this area. The external wall that this area is located around is masonry construction. Escape from the external is at grade, the furniture is not fixed. The routes between the furniture is compliant with the occupancy numbers in accordance with approved document B.
- 4.11 Image 14 is an extract from drawing 19.0087 /G203 Proposed Fire precaution plan. Any changes to this approach by Megan's would be updated in FRA (Fire risk assessment) again an requirement of approved document at the time of the build. The following is a summary of the passive fire protection elements that have been constructed and are still relevant:
- Three means of escape from the unit.
 - Fire exit signs illuminated by battery pack.
 - Emergency lighting fittings
 - Smoke and heat detectors
 - Fire extinguishers
 - Fire doors
 - Fire alarm. Once the alarm is activated then units music and HVAC is switched off.
 - The people seated in the external seating area will be able to hear the fire alarm, warning that evacuation is required. With the music switched of will assist this action.
- 4.12 Image 15 is location plan around the unit showing the following:
- Fire appliance location item 1.
 - Assembly location of customers and staff item 2
 - Assumed location of fire hydrant

4.00 Planning Fire Strategy Statement



Emergency lighting to be supplied by INTO

FIRE ROUTES	FIRE PRECAUTIONS	Fire Signage	Fire & Emergency	Fire Doors	Emergency Lighting
<p>→ Staff escape route</p> <p>→ Customer escape route</p>	<ul style="list-style-type: none"> 6ltr Foam fire extinguisher (1x) 2kg CO2 fire extinguisher (2x) Fire blanket (1x) Wet chemical fire extinguisher (1x) 6ltr Chemical fire extinguisher (1x) 	<p>exit signage to comply with BS 5499 part 1</p> <p>EXIT 1 Suspended emergency sign light c/w 240v led + 3 hour emergency battery pack - arrow up</p> <p>EXIT 2 Surface mounted emergency sign light c/w 240v led + 3 hour emergency battery pack - arrow up</p> <p>FIRE EXIT SIGN - ARROW LEFT Self adhesive vinyl, 450mm x 150mm</p> <p>FIRE EXIT SIGN - ARROW RIGHT Self adhesive vinyl, 450mm x 150mm</p> <p>FIRE EXIT SIGN - ARROW DOWN Rigid plastic suspended from the ceiling, 450mm x 150mm</p> <p>FIRE EXIT SIGN - ARROW UP Rigid plastic suspended from the ceiling, 450mm x 150mm</p> <p>PUSH PAD TO OPEN Self adhesive vinyl, 450mm x 150mm</p> <p>NEW NOTICE FIRE DOOR KEEP SHUT</p> <p>NEW NOTICE FIRE DOOR KEEP LOCKED</p> <p>FIRE EXIT KEEP CLEAR Self adhesive vinyl, 450mm x 150mm</p>	<p>Fire Alarm design to BS 5839 L1</p> <p>CV Ceiling Void Smoke Detector multi-sensor asa smoke detector cerberus 00H 740 not accessible above ceiling access panels with fire locations agreed on site.</p> <p>Multi-Sensor ASA Smoke Detector Cerberus 00H 740</p> <p>Multi-Sensor ASA Smoke Detector Cerberus 00H 740 With Cerberus DBS 720 Sounder base</p> <p>Multi-Sensor ASA Smoke Detector Cerberus 00H 740 With Cerberus DBS 720 Sounder / Beacon base</p> <p>Cerberus DBS 720 Sounder / Beacon base</p> <p>Heat Detector</p> <p>Fire control panel Cerberus Pro 300 Single loop</p> <p>Interface Cerberus FDCI222 4 way module</p> <p>Break Glass Call point 1400mm f.f.l.</p> <p>EMERGENCY LIGHT TEST SWITCH CP electronics ELT10 mounted next to distribution boards, test times of 10min 1 hour or 3 hours</p> <p>Foam extinguisher</p> <p>c02 extinguisher</p> <p>Music & Ventilation Music & HVAC System interfaced with fire alarm system. Music and ventilation to switch in the event of the fire alarm being activated</p>	<p>FD30 (S) FIRE DOOR 30 minute fire rated solid core door with cold smoke seals & intumescent strips</p> <p>FD60 (S) FIRE DOOR 60 minute fire rated solid core door with cold smoke seals & intumescent strips</p> <p>VP Door with Vision Panel</p> <p>ML Door with Digi lock, Digi lock with magnetic release interfaced to the fire alarm & release in the following instances: • Activation of the fire alarm • Power loss</p>	<p>Track mounted emergency route light c/w 240v 3w led + 3 hour emergency battery pack</p> <p>EM1 Recessed emergency route light c/w 240v 3w led + 3 hour battery pack</p> <p>EM2 Recessed emergency route light c/w 240v 3w led + 3 hour battery pack</p>

NOTE: Existing fire precaution installations to be retained/reused and checked to confirm if adequately tested. Client to confirm.

Image 14 is an extract from the Proposed Fire precaution plan drawing No 19.0087/G203 Rev B. This shows the passive system in place within the unit. No system are required to the external seating area. This drawing was issued on 28-01-2022

4.00 Planning Fire Strategy Statement

Image 15 Location plan.

1. Fire appliance location
2. Assembly location for customers and staff
3. Approximate location of fire hydrant. It is assumed that this location may have changed by the housing development in this area.

