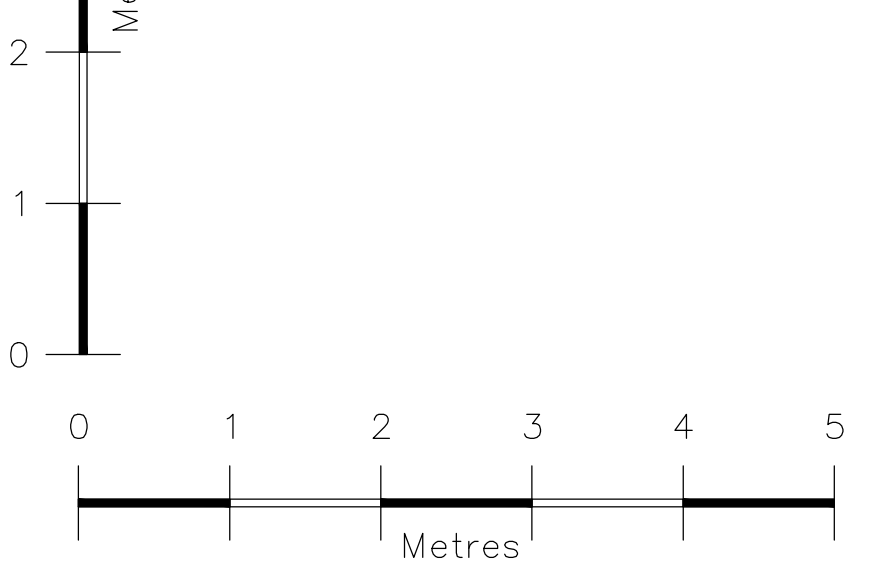
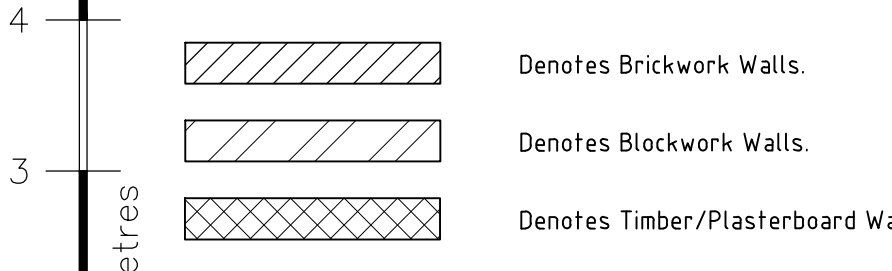
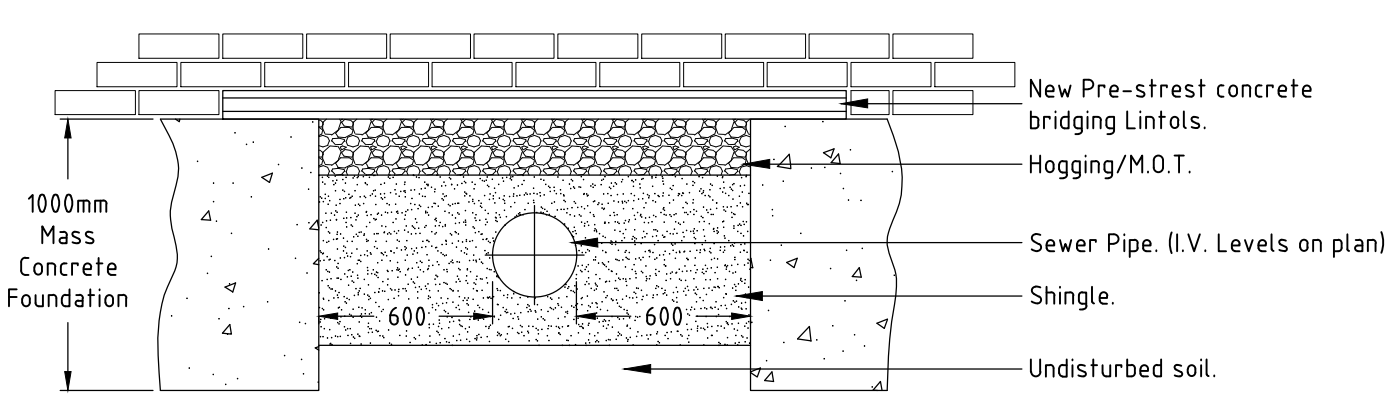


GROUND FLOOR PLAN

Existing Property = 67 Square Metres
 Proposed Property = 117 Square Metres
 Total Extensions = 50 Square Metres.
 Garden Room = 29 Square Metres



Builder/Local Authority to check to see if existing foundations are adequate for the proposed works.



PIPE/LINTOL CROSS SECTION (N.T.S.)

Steel sizes shown are for guide purposes only. Refer to structural engineers design/calculations once planning has been approved.

- Builder to include all of the following:
- Lighting: As indicated
 - Power: As indicated
 - Switches: As indicated
 - Plumbing: Washing Machine, Dish Washer, Sinks, Wash Hand Basins, Bath, Showers & W.C.
 - Walls: Scrimmed & Painted (Emulsion)
 - Ceiling: Scrimmed & Painted White Matt Emulsion Finish
 - Skirting's: To match existing & Painted White Matt Gloss Finish
 - Floors: To be Agreed with Client.
 - Doors: To be Agreed with Client
 - Handles: To be Agreed with Client
 - Heating: Combi Boiler & Radiators As indicated
 - Units: Kitchen Worktops/Cupboards to be agreed with client
 - Sanitaryware: As Detailed & Agreed with client
 - Tiling: Bath/Sink Splash Backs, Shower Cubicles to be Agreed with Client
- OUTSIDE**
- Lighting: 8 No. Wall Lights, (Location/Style to be agreed with client)
 - Electrics: External Wall Socket (Rear)
 - Plumbing: Outside Water Tap (Rear).



New 1000 Storm drain pipe from downpipe to new soakaway.

New 1000 Storm drain pipe from downpipe to new soakaway.

New 4050 x 2100 bi-fold doors c/w 203 x 102 UB over. 150mm bearing at ends & provide DPC to vertical reveals.

2 No. 203 x 102 UBs to underside of each leaf of cavity walls above. Bolt beams together at 800mm centres, 100mm min end bearings on 3 course engineering brick padstone & provide DPC to vertical reveals.

New 65mm Rainwater Downpipe.

Electrics/Plumbing/Lighting to new Extension to be agreed with client once finalised layout has been designed/agreed.

New 400 wide x 600 deep concrete foundations

Existing Walls/Windows/Frames to be removed to form new 4700mm Opening. Floor/Wall/Ceiling to be made good.

New Internal Walls/Doors/Frames to form Grd. Floor layout as detailed. Floors/Walls/Ceilings to be made good.

New wall mounted 1800mm wide radiator. Existing Wall/Cupboard/Door/Frame to be removed & New Glazed Double Doors/Frame fitted. Floor/Wall/Ceiling to be made good.

New wall mounted 600mm wide Tower radiator.

Existing Chimney to be Removed.

Shower Room Louvre/Fan.

New 400 wide x 600 deep concrete foundations

New opening to be Formed into New c/w lintol over & New Door/Frame Floor/Wall/Ceiling to be made good.

New timber floor with vapour barrier laid on existing concrete & 80mm celotex insulation.

Existing Door/Frame to be removed. Floor/Wall/Ceiling to be made good.

New opening to be Formed into New Extension c/w lintol over. New Door/Frame Floor/Wall/Ceiling to be made good.

New wall mounted 900mm wide radiator.

New 65mm Rainwater Downpipe.

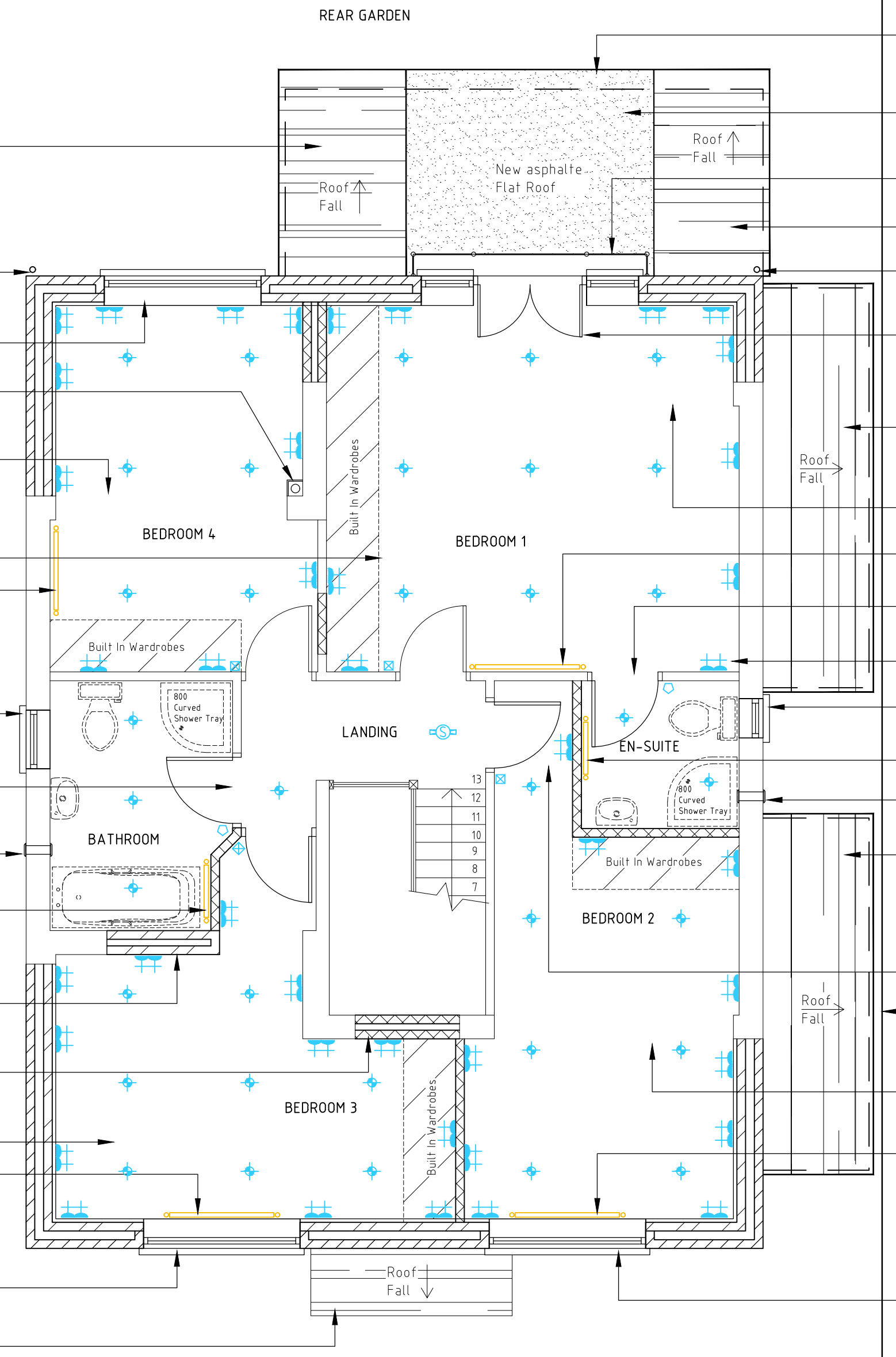
New internal cavity wall formed between existing Brickwork & Plasterboard wall.

New 65mm Rainwater Downpipe.

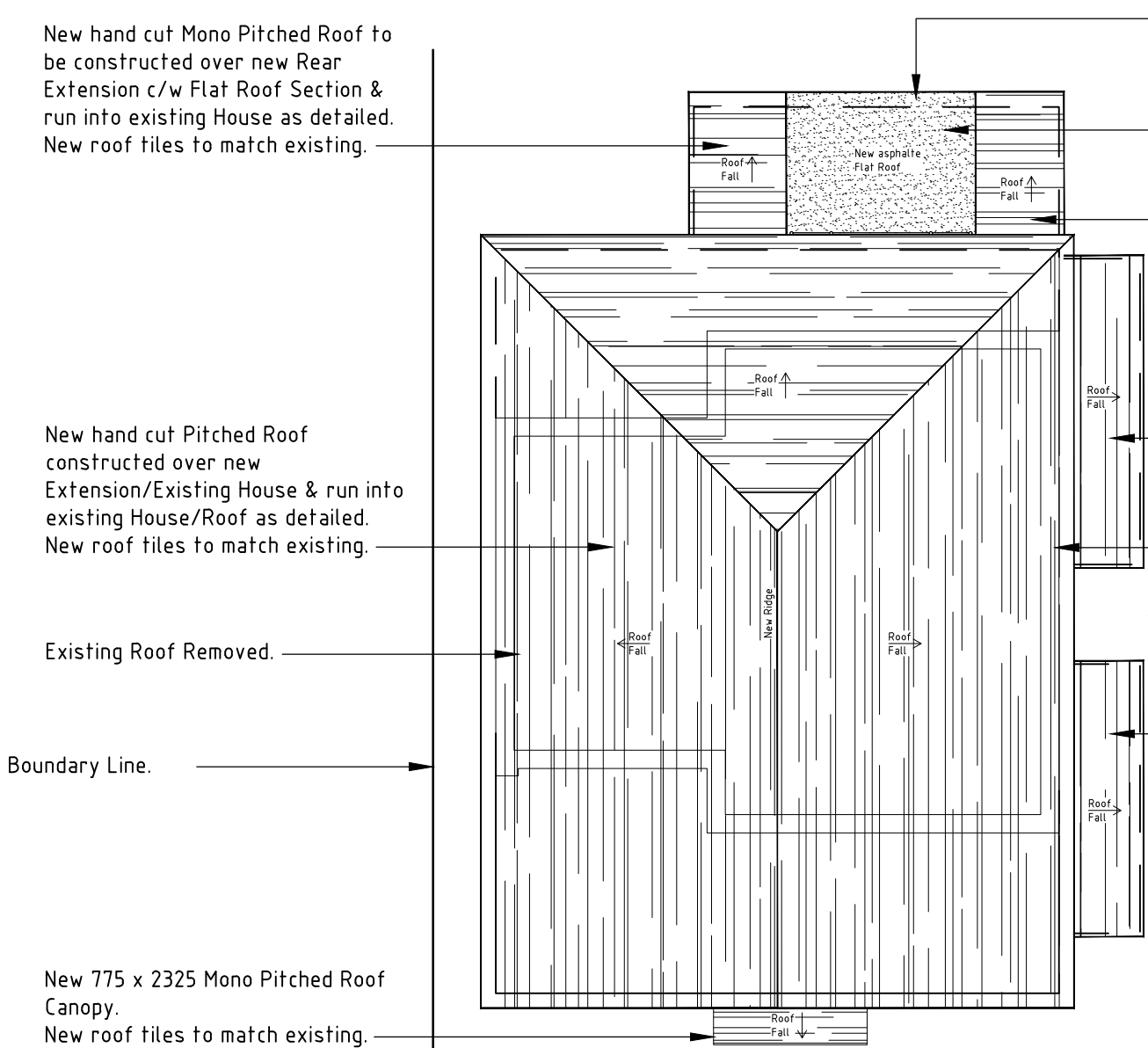
New 1000 Storm drain pipe from downpipe to new soakaway.

New 1000 Storm drain pipe from downpipe to new soakaway.

All works & materials are to be agreed with the Builder/Local Authority to confirm they are adequate for the proposed works.



FIRST FLOOR PLAN



ROOF PLAN (1:100)

New Flat Roof falls to gutter on Rear Elevation.

New 2850mm Wide Section of Asphalt flat roof to be constructed over New extension & run into existing main house using Code 5 leadwork as detailed.

New 1800 x 300 Juliet Balcony.

New hand cut Mono Pitched Roof to be constructed as detailed.

New roof tiles to match existing.

New 65mm Rainwater Downpipe.

New 1300mm wide UPVC/Glazed Double Doors c/w 600 x 2100 Windows each side to have lintol over. 150mm bearing at ends & provide DPC to vertical reveals.

New hand cut Mono Pitched Roof to be constructed over new Shed & run into existing House as detailed. New roof tiles to match existing.

Existing Walls/Window/Frame to be removed to form new 4680mm Opening. Floor/Wall/Ceiling to be made good.

New wall mounted 1200mm wide radiator.

New opening to be Formed into c/w lintol over. New Door/Frame as detailed. Floor/Wall/Ceiling to be made good.

Existing Chimney to be Removed.

New 450 x 1050 Frosted Window to have lintol over. 150mm bearing at ends & provide DPC to vertical reveals.

New wall mounted 600mm wide Tower radiator.

En-Suite Louvre/Fan.

New hand cut Mono Pitched Roof to be constructed over new Shed & run into existing House as detailed. New roof tiles to match existing.

Existing Door/Frame to be removed & New Door/Frame fitted as detailed.

Boundary Line.

Existing Walls/Window/Frame to be removed to form new 2750mm Opening. Floor/Wall/Ceiling to be made good.

New wall mounted 1200mm wide radiator.

New 1800 x 1050 Window to have lintol over. 150mm bearing at ends & provide DPC to vertical reveals.

New 2850mm Wide Section of Asphalt flat roof to be constructed over New extension & run into existing main house using Code 5 leadwork as detailed.

New Flat Roof falls to gutter on Rear Elevation.

New hand cut Mono Pitched Roof to be constructed as detailed.

New roof tiles to match existing.

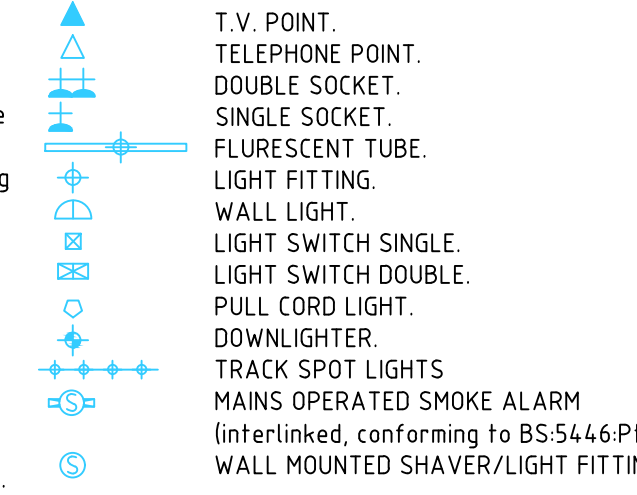
New hand cut Mono Pitched Roof to be constructed over new Shed & run into existing House as detailed. New roof tiles to match existing.

Existing Chimney to be Removed.

Boundary Line.

New hand cut Mono Pitched Roof to be constructed over new Shed & run into existing House as detailed. New roof tiles to match existing.

HEIGHTS OF ELECTRICAL POINTS



All contractors to ensure that all existing services are kept intact during the construction & are only turned off/relocated with the clients approval.

B	14-12-23	Revised to suit Planning Requirements
A	30-11-23	Revised to suit Planning Requirements
	Date	Revision

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Project: 84 GRAVEL LANE, HEMEL HEMPSTEAD, HERTFORDSHIRE, HP1 1SB.

Title: PROPOSED PLANS

Planning Ref. PP-12677350

Scale: 1 : 50 @ A1 Date: JULY 23

Drg. No. 722/D002 Rev. B