

This drawing is the property of V WORKS LTD. It may not be duplicated or disclosed to any third party for any purpose except as authorised in writing by V WORKS LTD. All dimensions are to be verified on site before any work commences. Any errors or omissions are to be reported to the designer. If in doubt ask. The contractor is to provide full sized setting-out drawings based on the information contained within this drawing for the designer's approval prior to commencement of manufacture. This drawing is to be read in conjunction with the relevant consultants and/or specialist drawings/documents and any discrepancies or variations are to be notified to the designer before the affected work commences.

© 2020 V WORKS LTD All rights reserved.

| Rev | Date | Amendment | Initials |
|-----|----------|-------------------|----------|
| A | 07/05/23 | INFORMATION ISSUE | JM |
| B | 13/07/23 | UPDATED DRAWINGS | JM |



EXISTING BLOCK PLAN
 22 BIRCH GROVE
 POTTERS BAR
 EN6 1SY
 SCALE 1:200 @ A1

| | | | |
|--------------|------------------------------------|-----|---|
| Client | JULIA | | |
| Project | | | |
| Project Date | tbc | | |
| Venue | 22 BIRCH GROVE, POTTERS BAR | | |
| Job No | 801/EN6 | | |
| Subject | | | |
| Date | MAY 2023 | | |
| Design | | | |
| Drawn | JM | | |
| Drawing No | PL00 | Rev | B |
| Scale | AS SHOWN @ A1 | | |


V WORKS
 DESIGN & BUILD

JOE MORRIS
 07921146637
 info@vworksguild.co.uk
 www.vworksguild.co.uk

 @vworksgb

This drawing is the property of V WORKS LTD. It may not be duplicated or disclosed to any third party for any purpose except as authorised in writing by V WORKS LTD. All dimensions are to be verified on site before any work commences. Any errors or omissions are to be reported to the designer. If in doubt ask. The contractor is to provide full sized setting-out drawings based on the information contained within this drawing for the designer's approval prior to commencement of manufacture. This drawing is to be read in conjunction with the relevant consultants and/or specialist drawings/documents and any discrepancies or variations are to be notified to the designer before the affected work commences.

© 2020 V WORKS LTD All rights reserved.

| Rev | Date | Amendment | Initials |
|-----|----------|-------------------|----------|
| A | 07/05/23 | INFORMATION ISSUE | JM |
| B | 13/07/23 | UPDATED DRAWINGS | JM |



NOTE.
REMOVAL OF GARAGE, TO
FACILITATE LARGER GARDEN
SPACE & EXTENSION BUILD

PROPOSED BLOCK PLAN
22 BIRCH GROVE
POTTERS BAR
EN6 1SY
SCALE 1:200 @ A1

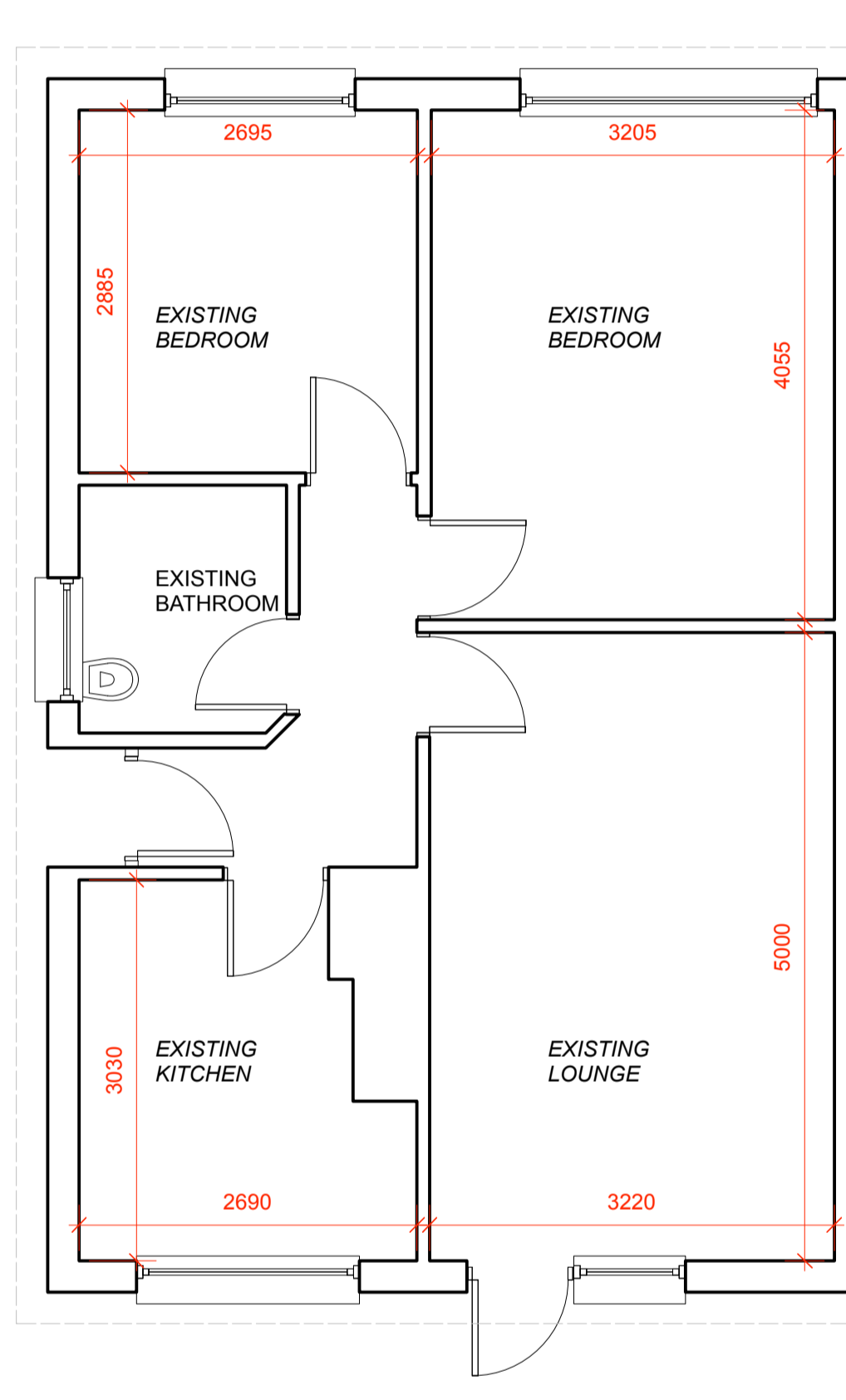
| | | | |
|--------------|------------------------------------|-----|----------|
| Client | JULIA | | |
| Project | | | |
| Project Date | tbc | | |
| Venue | 22 BIRCH GROVE, POTTERS BAR | | |
| Job No | 801/EN6 | | |
| Subject | | | |
| Date | MAY 2023 | | |
| Design | | | |
| Drawn | JM | | |
| Drawing No | PL01 | Rev | B |
| Scale | AS SHOWN @ A1 | | |



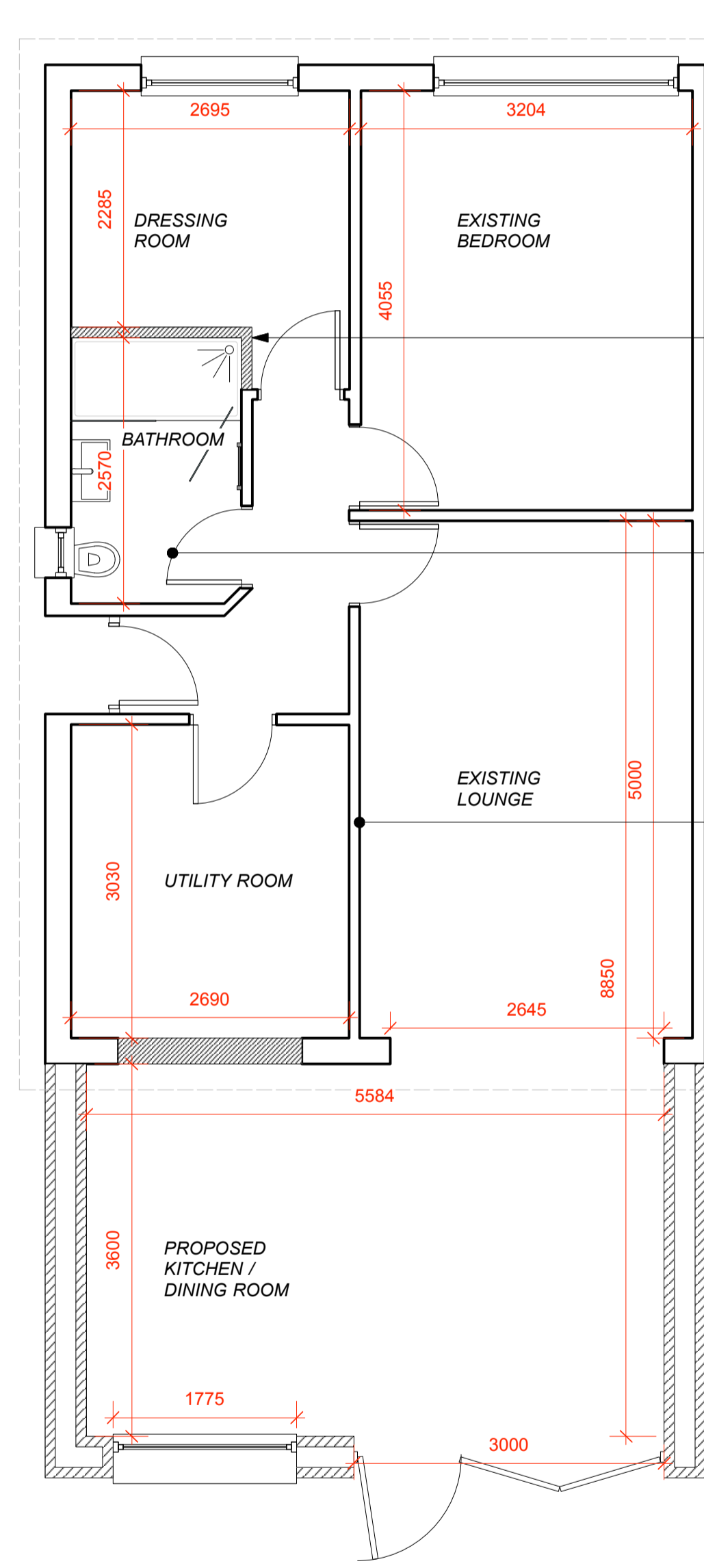
This drawing is the property of V WORKS LTD. It may not be duplicated or disclosed to any third party for any purpose except as authorised in writing by V WORKS LTD. All dimensions are to be verified on site before any work commences. Any errors or omissions are to be reported to the designer. **If in doubt ask.** The contractor is to provide full sized setting-out drawings based on the information contained within this drawing for the designer's approval prior to commencement of manufacture. This drawing is to be read in conjunction with the relevant consultants and/or specialist drawings/documents and any discrepancies or variations are to be notified to the designer before the affected work commences.

© 2020 V WORKS LTD All rights reserved.

| Rev | Date | Amendment | Initials |
|-----|----------|-------------------|----------|
| A | 07/05/23 | INFORMATION ISSUE | JM |
| B | 13/07/23 | UPDATED DRAWINGS | JM |



**EXISTING
GROUND FLOOR PLAN**
SCALE 1:50 @ A1

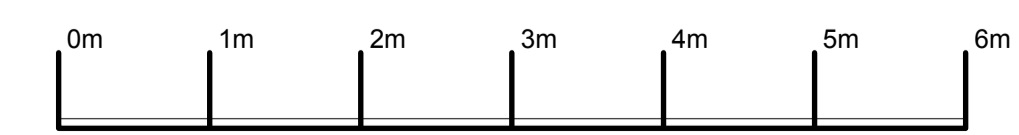


**PROPOSED
GROUND FLOOR PLAN**
SCALE 1:50 @ A1

BATHROOM EXTENDED INTO BEDROOM AREA TO FACILITATE LARGER SHOWER.

WINDOW RESIZED TO ENABLE MIRROR ABOVE VANITY UNIT.

EXISTING FIRE PLACE REMOVED. CHIMNEY REMOVED FROM ORIGINAL KITCHEN



Scale in Meters

| | | | |
|--------------|------------------------------------|-----|---|
| Client | JULIA | | |
| Project | | | |
| Project Date | tbc | | |
| Venue | 22 BIRCH GROVE, POTTERS BAR | | |
| Job No | 801/EN6 | | |
| Subject | | | |
| Date | MAY 2023 | | |
| Design | | | |
| Drawn | JM | | |
| Drawing No | PL02 | Rev | B |
| Scale | AS SHOWN @ A1 | | |

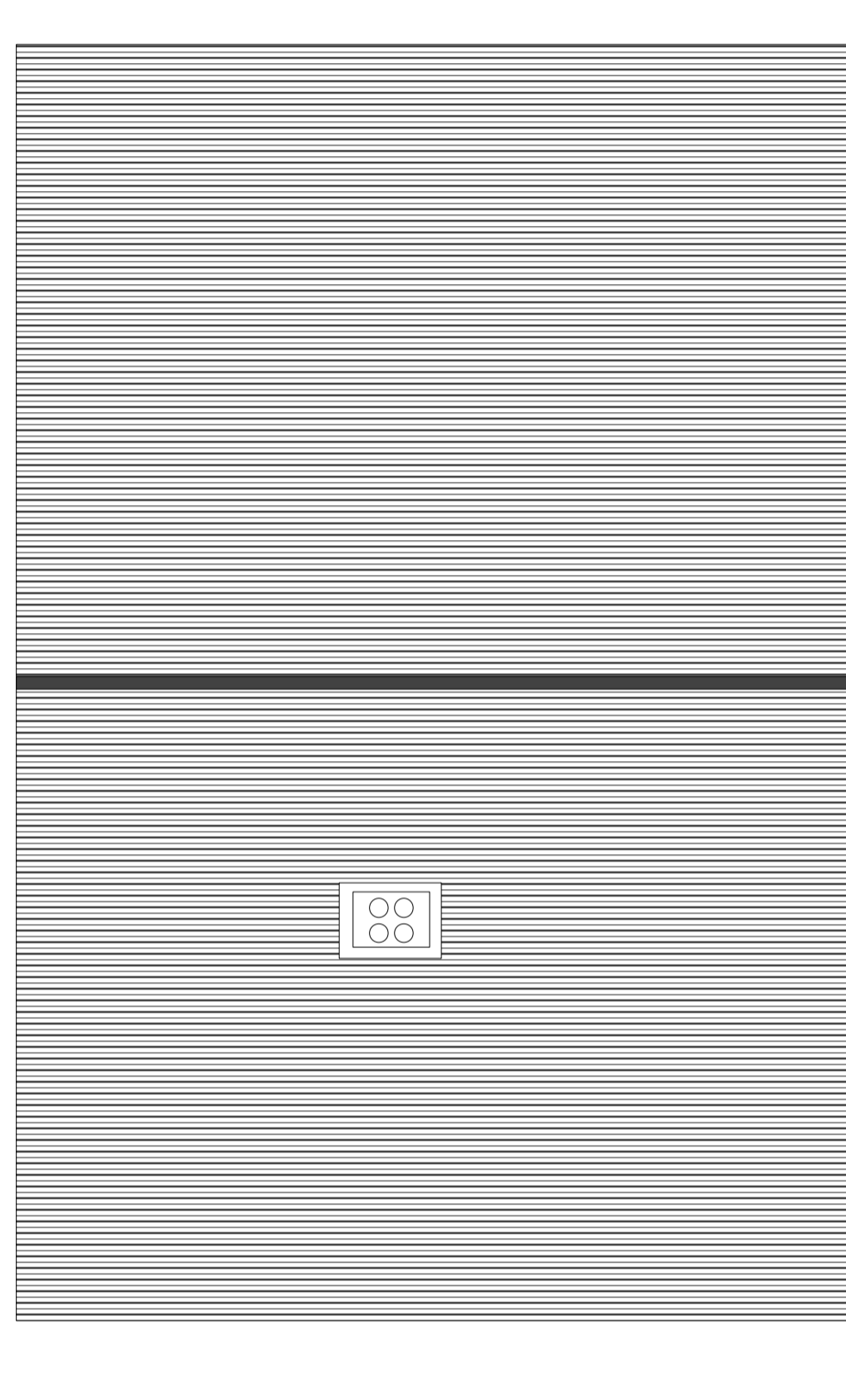
V WORKS
DESIGN & BUILD

JOE MORRIS
07920146627
info@vworksglobal.co.uk
www.vworksglobal.co.uk

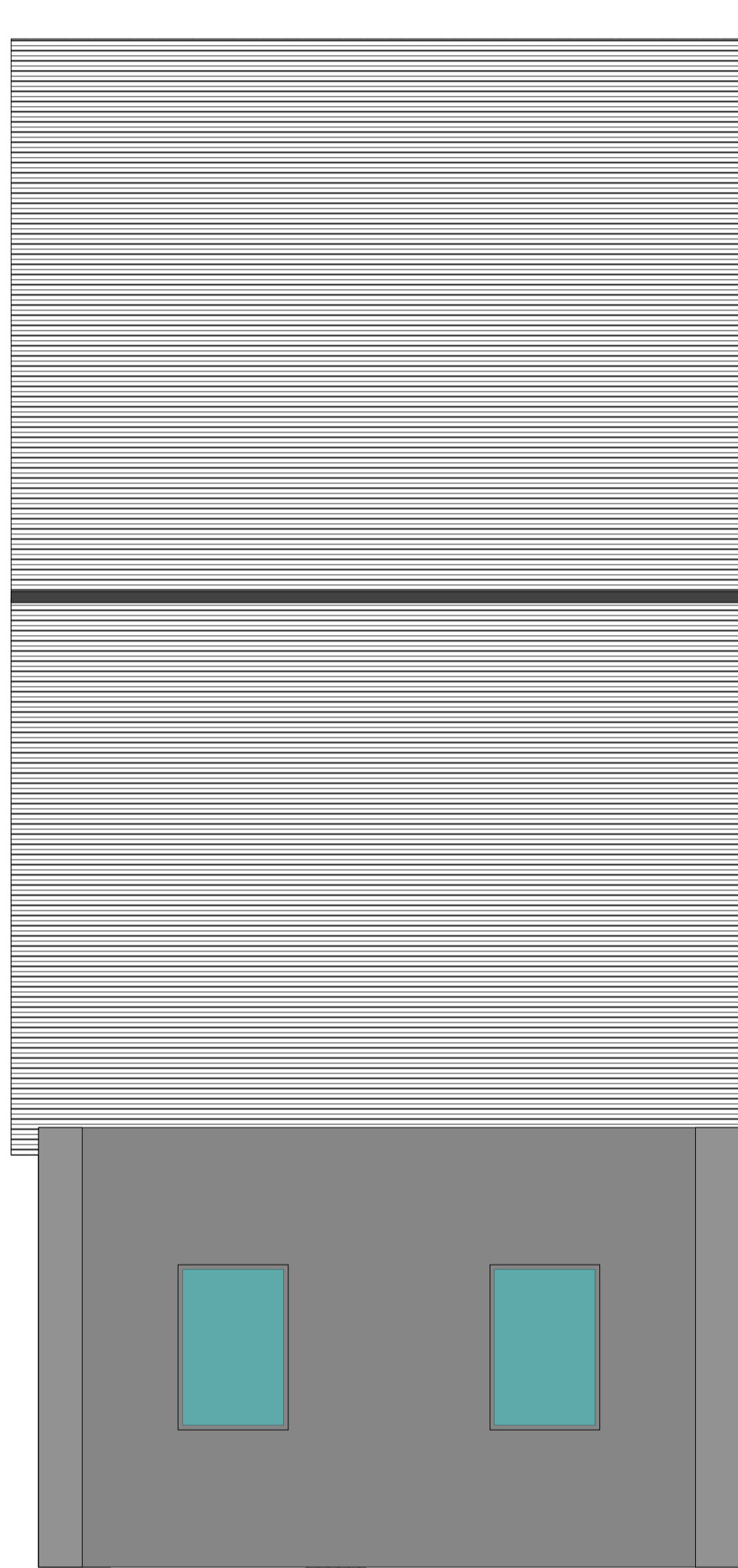
Instagram: @vworksglobal

This drawing is the property of V WORKS LTD. It may not be duplicated or disclosed to any third party for any purpose except as authorised in writing by V WORKS LTD. All dimensions are to be verified on site before any work commences. Any errors or omissions are to be reported to the designer. **If in doubt ask.**
 The contractor is to provide full sized setting-out drawings based on the information contained within this drawing for the designer's approval prior to commencement of manufacture. This drawing is to be read in conjunction with the relevant consultants and/or specialist drawings/documents and any discrepancies or variations are to be notified to the designer before the affected work commences.
 © 2020 V WORKS LTD All rights reserved.

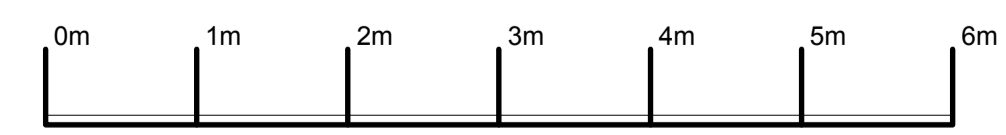
| Rev | Date | Amendment | Initials |
|-----|----------|-------------------|----------|
| A | 07/05/23 | INFORMATION ISSUE | JM |
| B | 13/07/23 | UPDATED DRAWINGS | JM |



**EXISTING
ROOF PLAN**
SCALE 1:50 @ A1



**PROPOSED
ROOF PLAN**
SCALE 1:50 @ A1



Scale in Meters

| | | | |
|--------------|------------------------------------|-----|---|
| Client | JULIA | | |
| Project | | | |
| Project Date | tbc | | |
| Venue | 22 BIRCH GROVE, POTTERS BAR | | |
| Job No | 801/EN6 | | |
| Subject | | | |
| Date | MAY 2023 | | |
| Design | | | |
| Drawn | JM | | |
| Drawing No | PL03 | Rev | B |
| Scale | AS SHOWN @ A1 | | |

V WORKS
DESIGN & BUILD

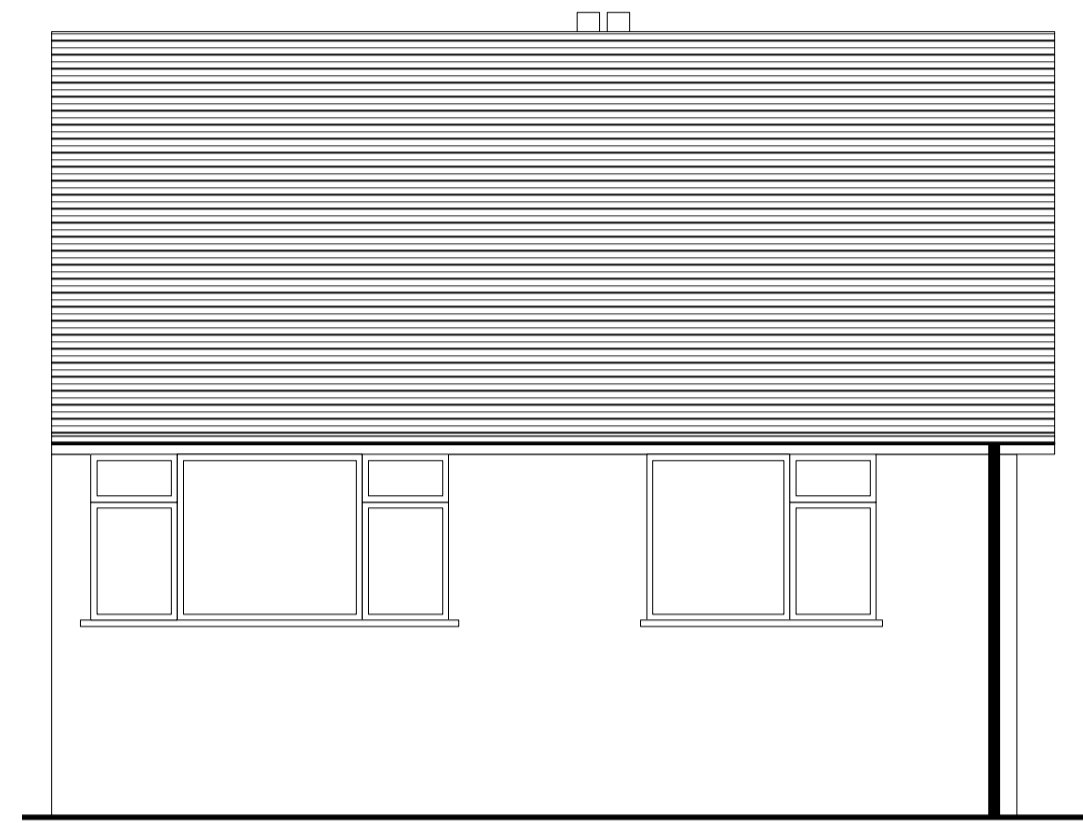
JOE MORRIS
 07921146627
 info@vworksdesignbuild.co.uk
 www.vworksdesignbuild.co.uk

@vworksdb

This drawing is the property of V WORKS LTD. It may not be duplicated or disclosed to any third party for any purpose except as authorised in writing by V WORKS LTD. All dimensions are to be verified on site before any work commences. Any errors or omissions are to be reported to the designer. If in doubt ask. The contractor is to provide full sized setting-out drawings based on the information contained within this drawing for the designer's approval prior to commencement of manufacture. This drawing is to be read in conjunction with the relevant consultants and/or specialist drawings/documents and any discrepancies or variations are to be notified to the designer before the affected work commences.

© 2020 V WORKS LTD All rights reserved.

| Rev | Date | Amendment | Initials |
|-----|----------|-------------------|----------|
| A | 07/05/23 | INFORMATION ISSUE | JM |
| B | 13/07/23 | UPDATED DRAWINGS | JM |



**EXISTING
FRONT ELEVATION**
SCALE 1:50 @ A1



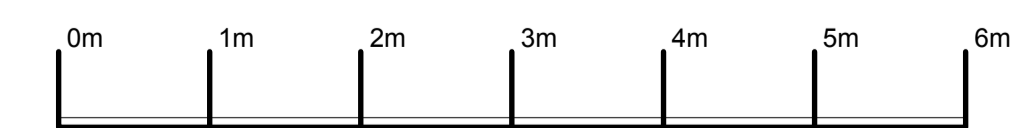
**PROPOSED
FRONT ELEVATION**
SCALE 1:50 @ A1



**EXISTING
REAR ELEVATION**
SCALE 1:50 @ A1



**PROPOSED
REAR ELEVATION**
SCALE 1:50 @ A1



Scale in Meters

| | | | |
|--------------|------------------------------------|-----|---|
| Client | JULIA | | |
| Project | | | |
| Project Date | tbc | | |
| Venue | 22 BIRCH GROVE, POTTERS BAR | | |
| Job No | 801/EN6 | | |
| Subject | | | |
| Date | MAY 2023 | | |
| Design | | | |
| Drawn | JM | | |
| Drawing No | PL04 | Rev | B |
| Scale | AS SHOWN @ A1 | | |



JOE MORRIS

07921146627
info@vworksdesignbuild.co.uk
www.vworksdesignbuild.co.uk

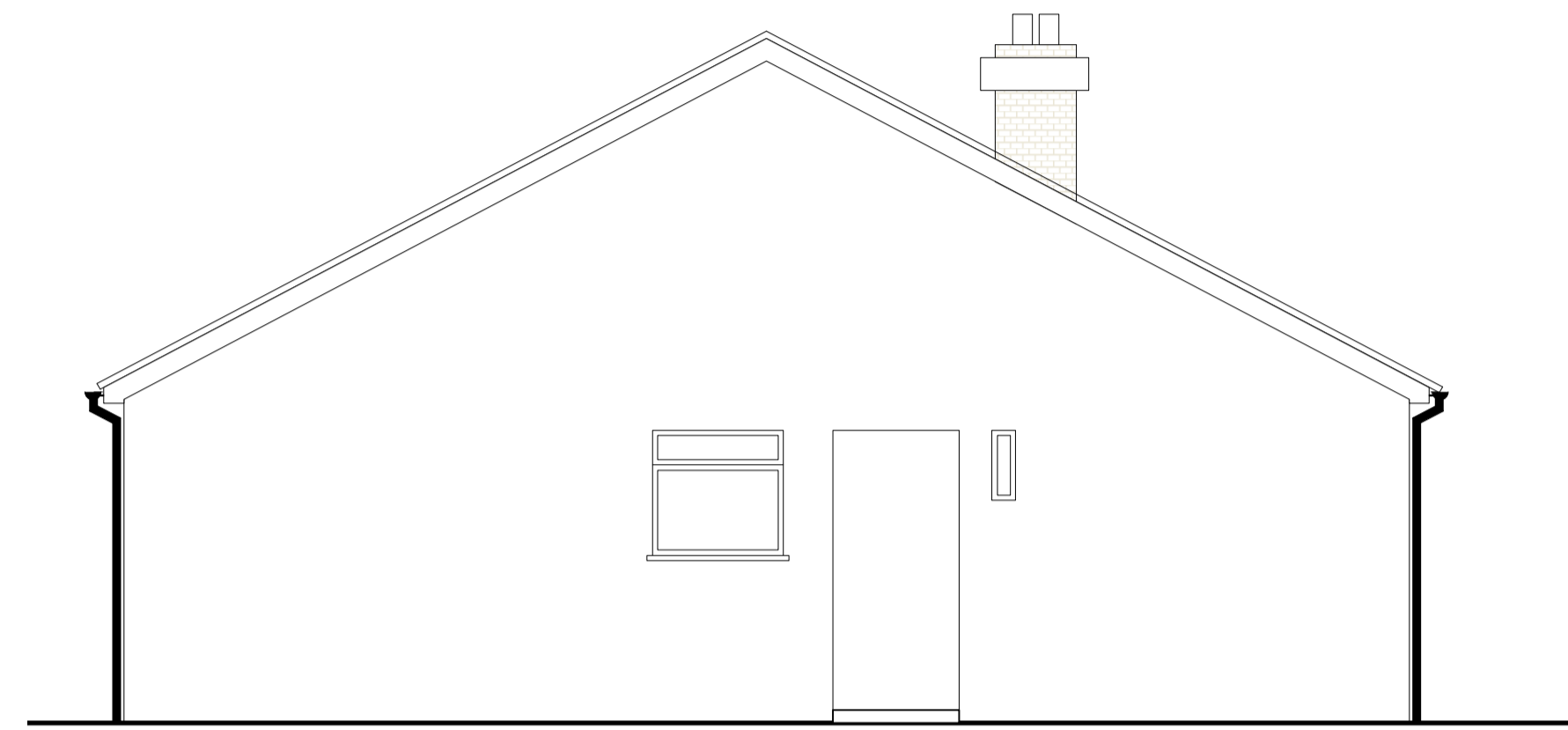


@vworksdb

This drawing is the property of V WORKS LTD. It may not be duplicated or disclosed to any third party for any purpose except as authorised in writing by V WORKS LTD. All dimensions are to be verified on site before any work commences. Any errors or omissions are to be reported to the designer. If in doubt ask. The contractor is to provide full sized setting-out drawings based on the information contained within this drawing for the designer's approval prior to commencement of manufacture. This drawing is to be read in conjunction with the relevant consultants and/or specialist drawings/documents and any discrepancies or variations are to be notified to the designer before the affected work commences.

© 2020 V WORKS LTD All rights reserved.

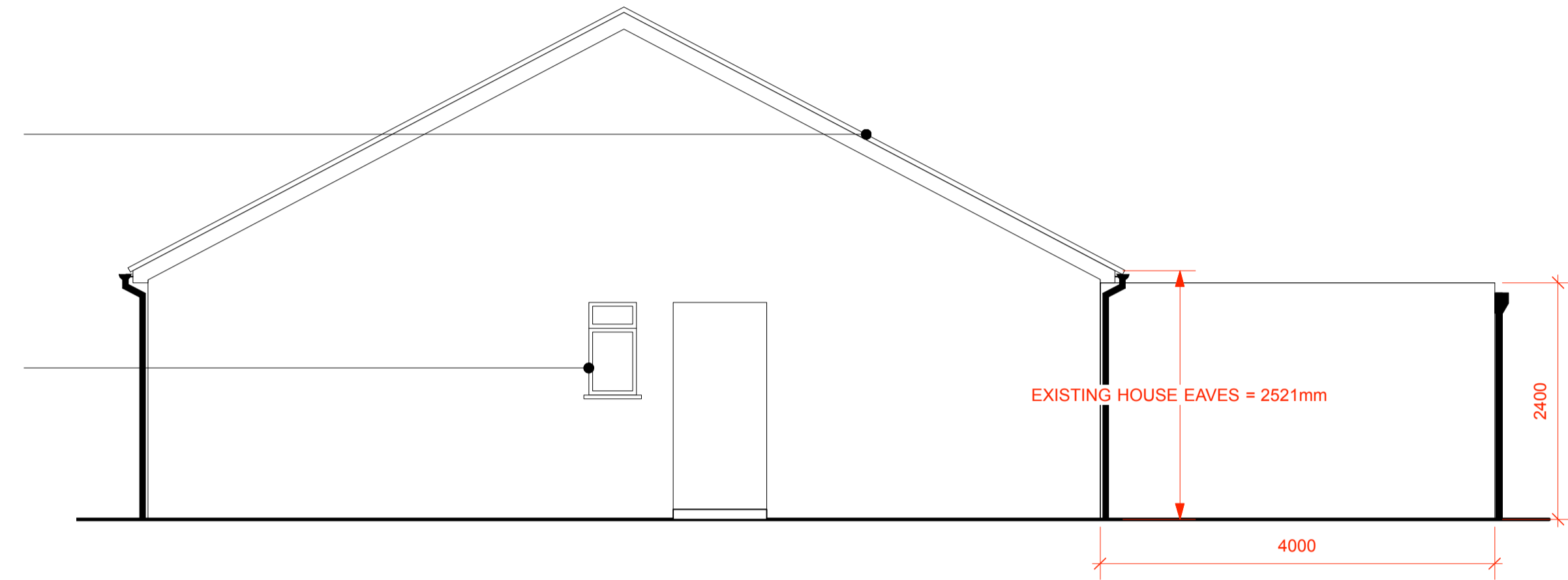
| Rev | Date | Amendment | Initials |
|-----|----------|-------------------|----------|
| A | 07/05/23 | INFORMATION ISSUE | JM |
| B | 13/07/23 | UPDATED DRAWINGS | JM |



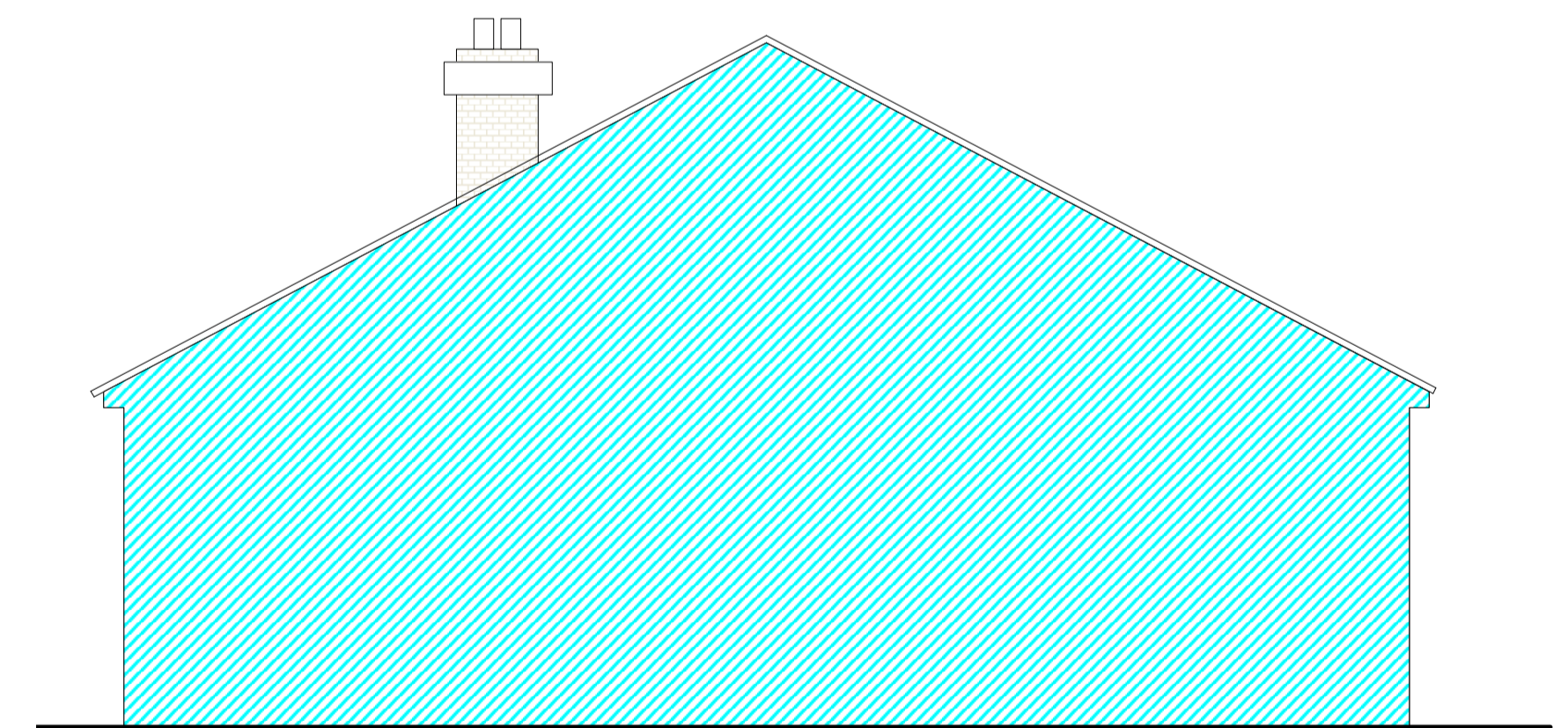
**EXISTING
FLANK WALL ELEVATION**
SCALE 1:50 @ A1

NOTE.
CHIMNEY STACK
REMOVED ABOVE ROOF
LINE. CONTRACTOR TO
MAKE GOOD.,

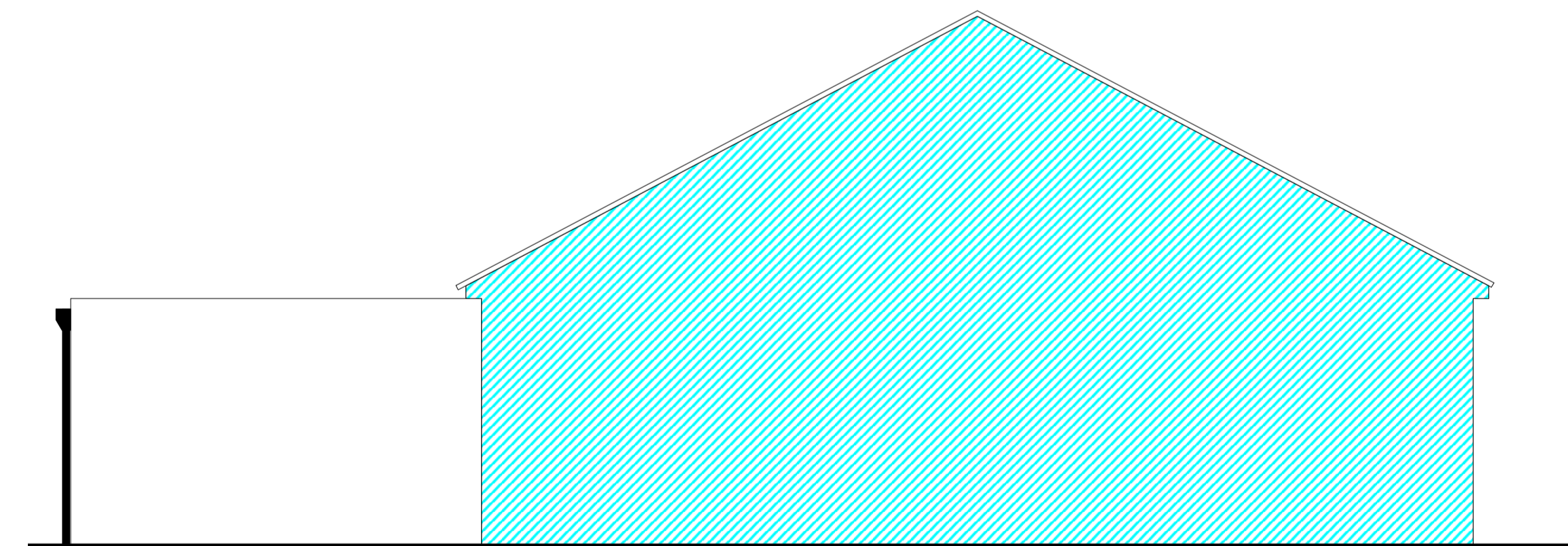
NOTE.
BATHROOM WINDOW
SIZE RESIZED.
BRICKWORK TO MATCH
AND TO BE KEYED IN.
CONTRACTOR TO ADVISE



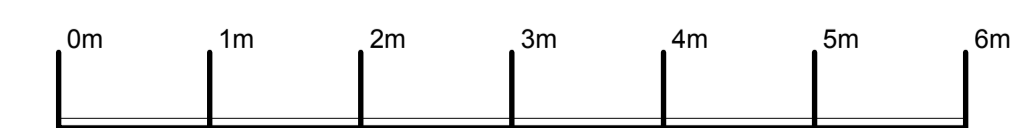
**PROPOSED
FLANK WALL ELEVATION**
SCALE 1:50 @ A1



**EXISTING
ADJOINING WALL ELEVATION**
SCALE 1:50 @ A1

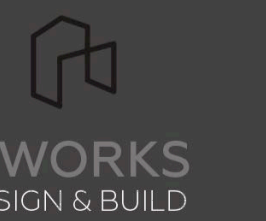


**PROPOSED
ADJOINING WALL ELEVATION**
SCALE 1:50 @ A1



Scale in Meters

| | | | |
|--------------|-----------------------------|-----|---|
| Client | JULIA | | |
| Project | | | |
| Project Date | tbc | | |
| Venue | 22 BIRCH GROVE, POTTERS BAR | | |
| Job No | 801/EN6 | | |
| Subject | | | |
| Date | MAY 2023 | | |
| Design | | | |
| Drawn | JM | | |
| Drawing No | PL05 | Rev | B |
| Scale | AS SHOWN @ A1 | | |



JOE MORRIS

0792146627
info@vworksdesignandbuild.co.uk
www.vworksdesignandbuild.co.uk



@vworksdb

This drawing is the property of V WORKS LTD. It may not be duplicated or disclosed to any third party for any purpose except as authorised in writing by V WORKS LTD. All dimensions are to be verified on site before any work commences. Any errors or omissions are to be reported to the designer. If in doubt ask. The contractor is to provide full sized setting-out drawings based on the information contained within this drawing for the designer's approval prior to commencement of manufacture. This drawing is to be read in conjunction with the relevant consultants and/or specialist drawings/documents and any discrepancies or variations are to be notified to the designer before the affected work commences.

© 2020 V WORKS LTD All rights reserved.

| Rev | Date | Amendment | Initials |
|-----|----------|-------------------|----------|
| A | 07/05/23 | INFORMATION ISSUE | JM |
| B | 13/07/23 | UPDATED DRAWINGS | JM |

BLOCKWORK OUTER LEAF. RENDERED TO MATCH EXISTING HOUSE. CONTRACTOR TO ADVISE

AIR GAP REQUIRED FOR USE WITH KINGSPAN KOOLTHERM CAVITY BOARD TO EXPOSED MASONRY CAVITY WALLS.

SCREED TO FLOOR LEVEL OF EXISTING DWELLING

UNDER FLOOR HEATING WET SYSTEM

KINGSPAN THERMAFLOOR TF70

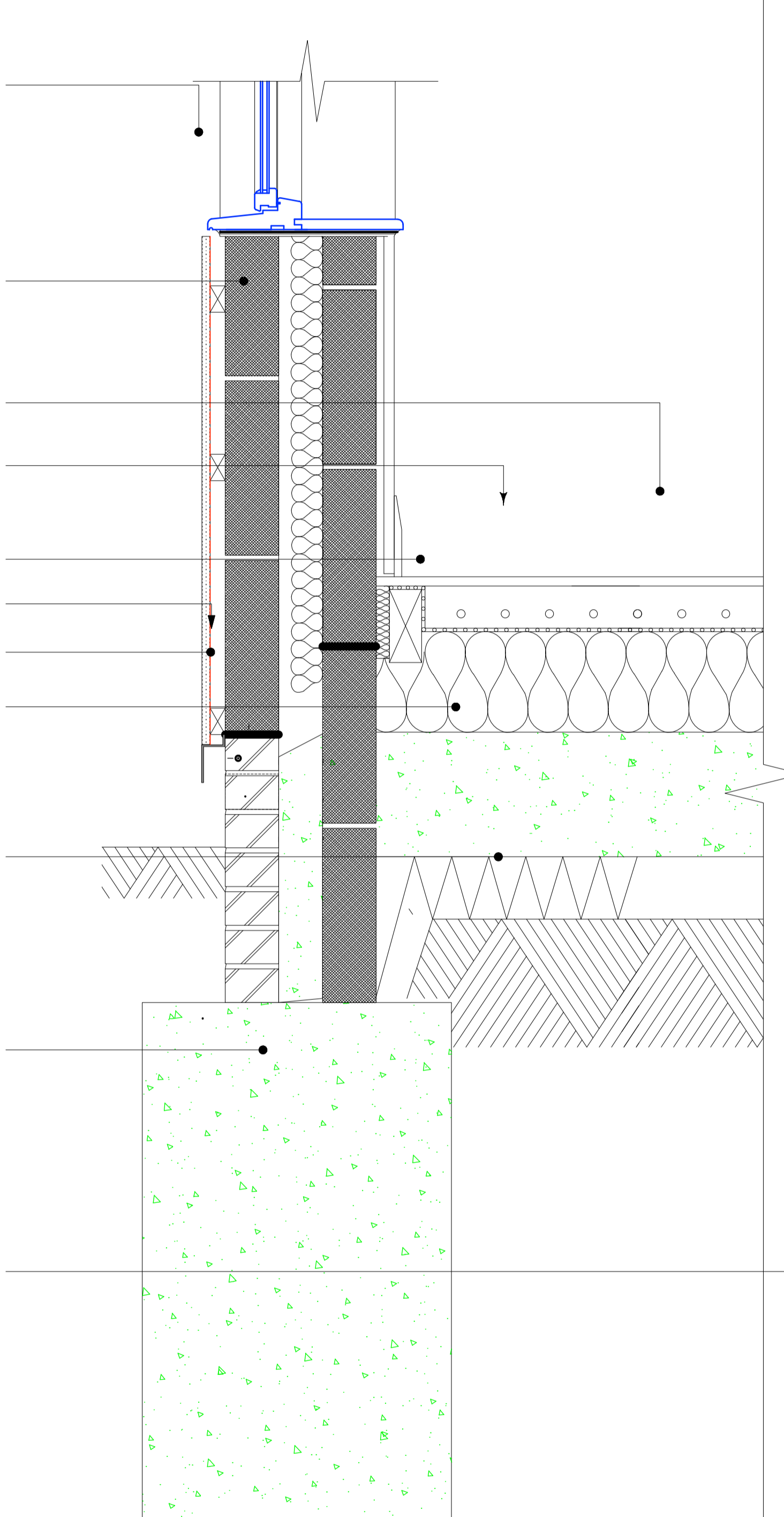
HYLOAD DPC OR SIMILAR. CONTRACTOR TO ADVISE ENGINEERING BRICK

REINFORCED CONCRETE SLAB

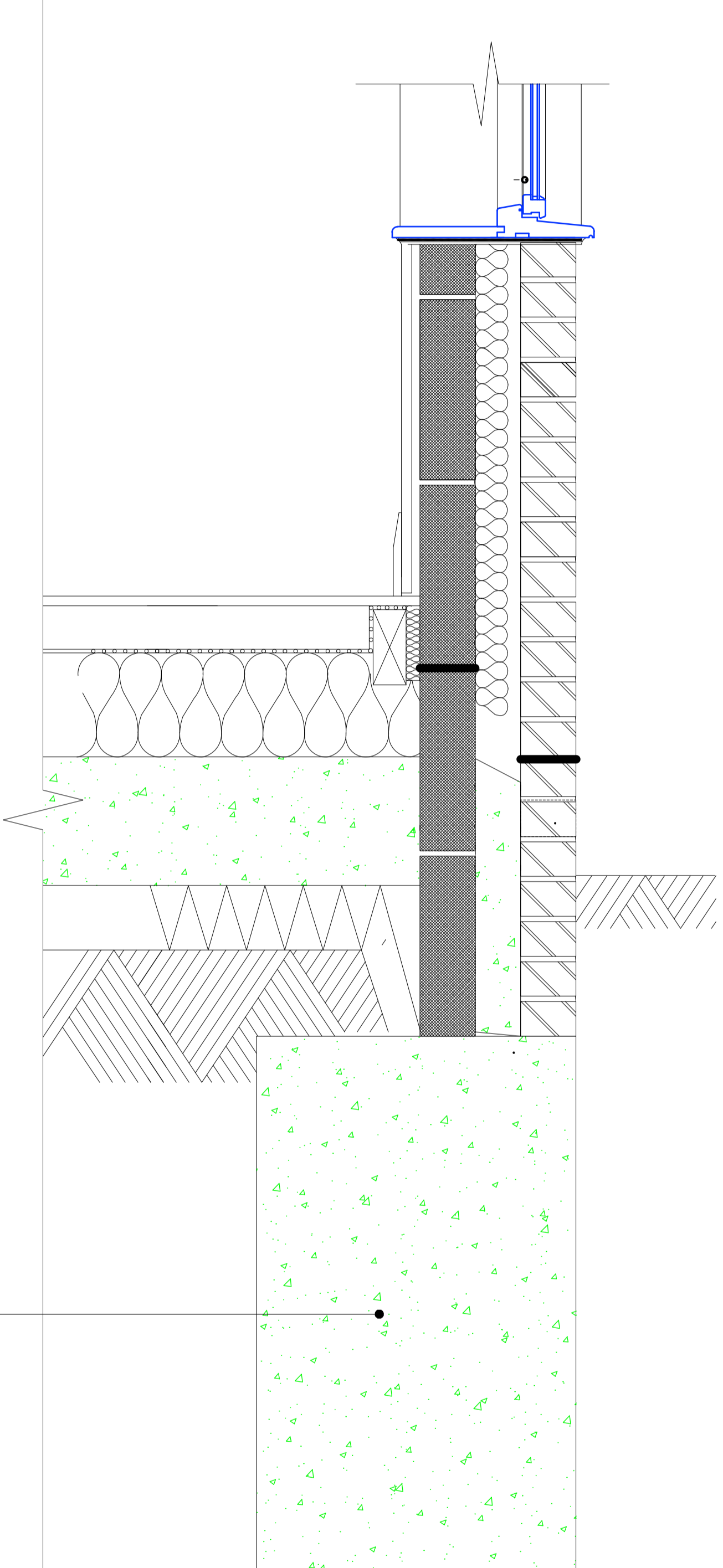
SUBSOIL

FOUNDATIONS MASS CONCRETE FOUNDATIONS. TRENCH FILLED

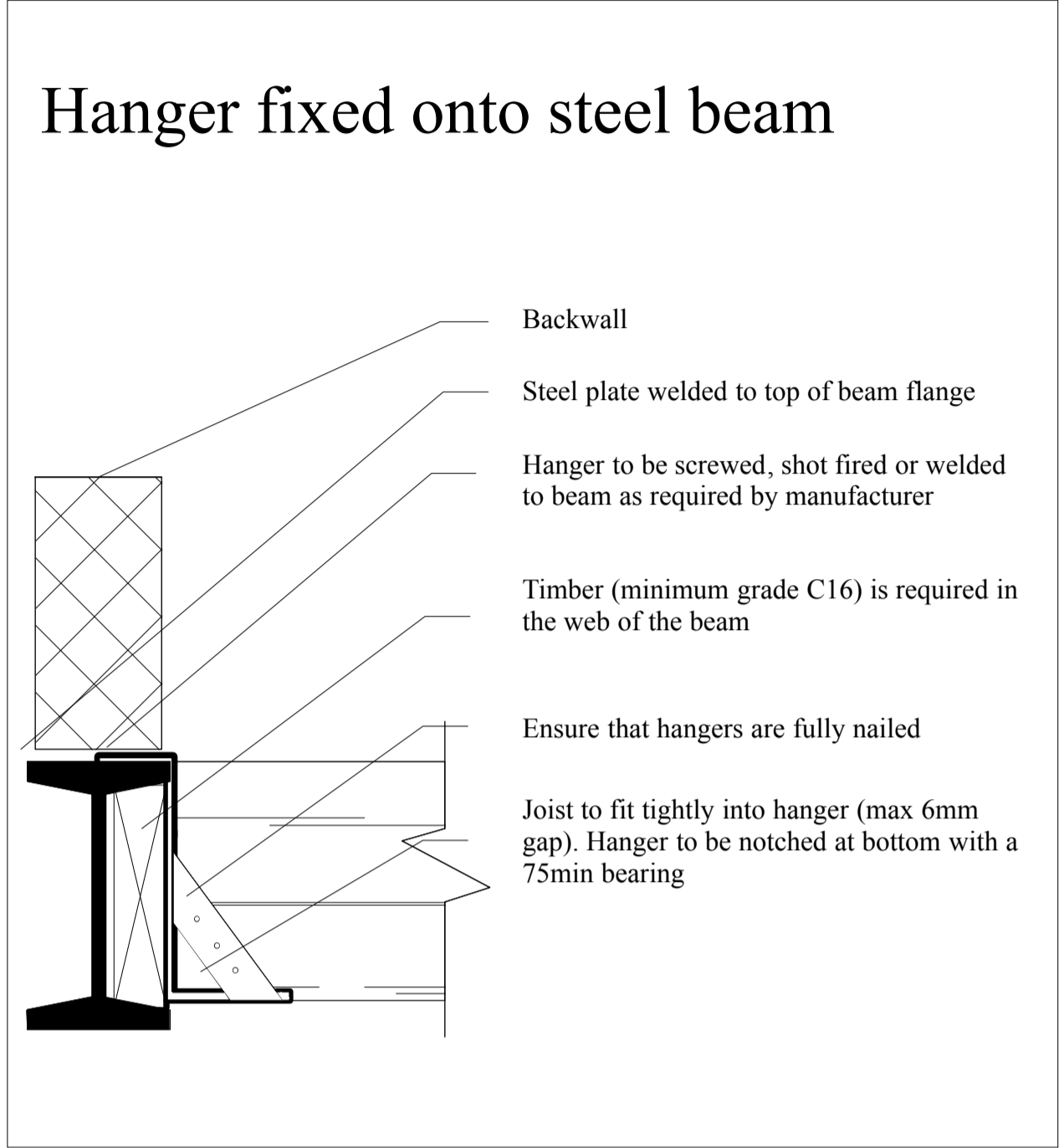
ASYMETRIC FOUNDATIONS ON BOUNDARY TO ENABLE CONSTRUCTION RIGHT UP TO BOUNDARY. CONTRACTOR TO ADVISE



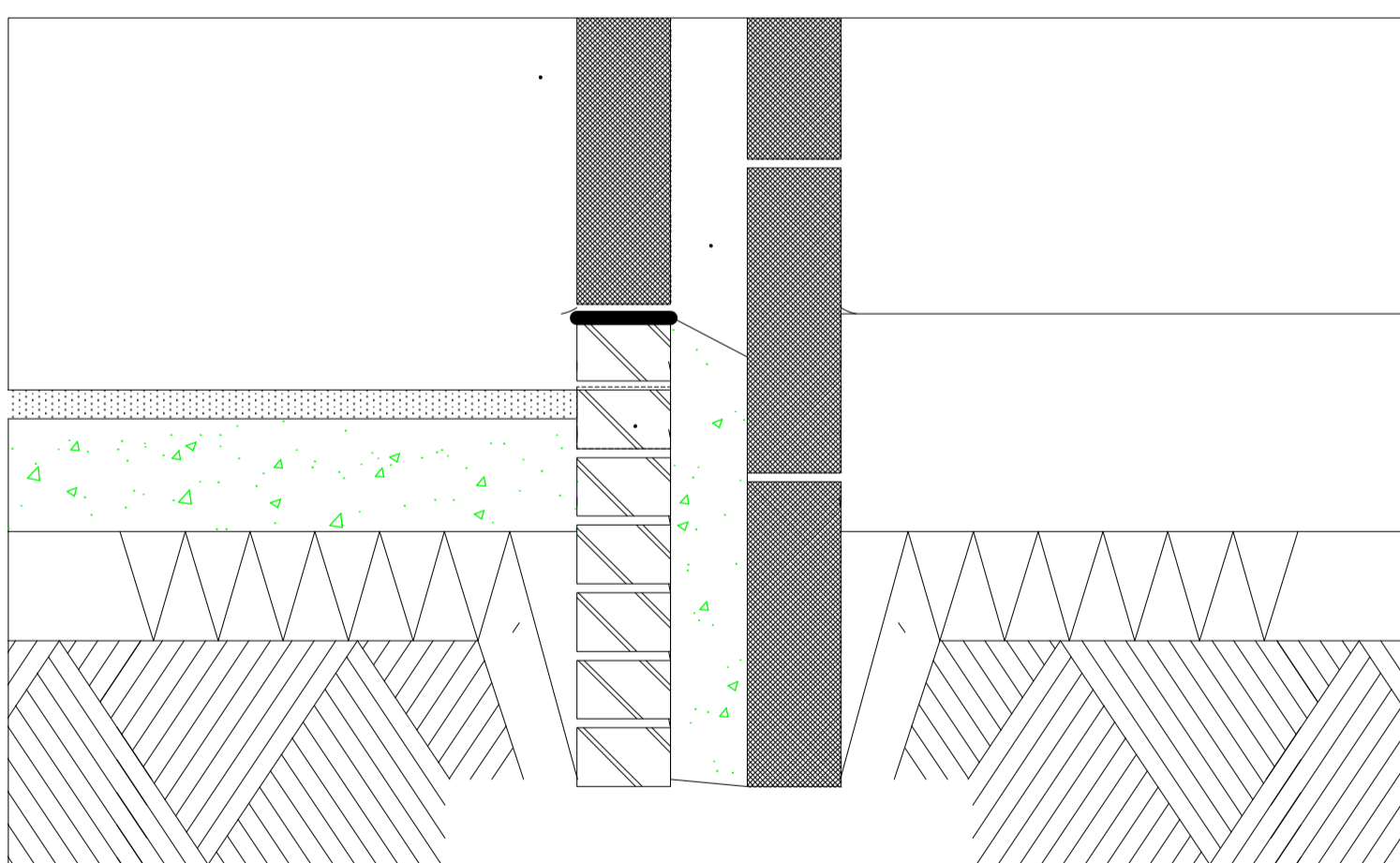
PROPOSED CONCRETE FOUNDATIONS
Scale; NTS.



PROPOSED CONCRETE FOUNDATIONS ASYMETRIC
Scale; NTS.



PROPOSED STEELBEAM SECTION
Scale; NTS.



PROPOSED PATIO SECTION DETAIL
Scale; NTS.

| | | | |
|--------------|------------------------------------|-----|---|
| Client | JULIA | | |
| Project | | | |
| Project Date | tbc | | |
| Venue | 22 BIRCH GROVE, POTTERS BAR | | |
| Job No | 801/EN6 | | |
| Subject | | | |
| Date | MAY 2023 | | |
| Design | | | |
| Drawn | JM | | |
| Drawing No | PL06 | Rev | B |
| Scale | AS SHOWN @ A1 | | |


V WORKS
 DESIGN & BUILD

JOE MORRIS
 07921146627
 info@vworksdesignbuild.co.uk
 www.vworksdesignbuild.co.uk

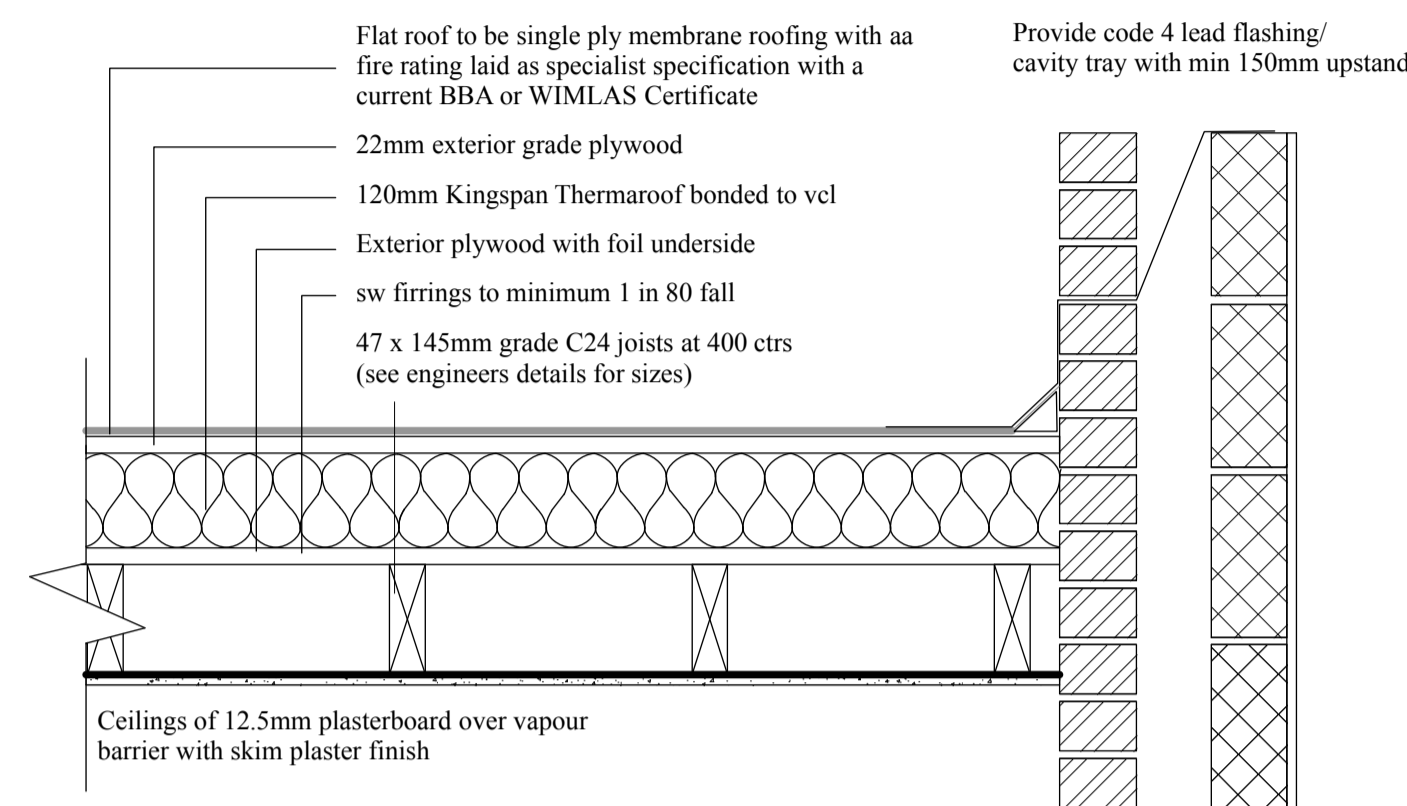
 @vworksdb

This drawing is the property of V WORKS LTD. It may not be duplicated or disclosed to any third party for any purpose except as authorised in writing by V WORKS LTD. All dimensions are to be verified on site before any work commences. Any errors or omissions are to be reported to the designer. If in doubt ask. The contractor is to provide full sized setting-out drawings based on the information contained within this drawing for the designer's approval prior to commencement of manufacture. This drawing is to be read in conjunction with the relevant consultants and/or specialist drawings/documents and any discrepancies or variations are to be notified to the designer before the affected work commences.

© 2020 V WORKS LTD All rights reserved.

| Rev | Date | Amendment | Initials |
|-----|----------|-------------------|----------|
| A | 07/05/23 | INFORMATION ISSUE | JM |
| B | 13/07/23 | UPDATED DRAWINGS | JM |

WARM FLAT ROOF



WARM FLAT ROOF

(imposed load max 1.0 kN/m² - dead load max 0.75 kN/m²)

To achieve U value 0.18 W/m²K

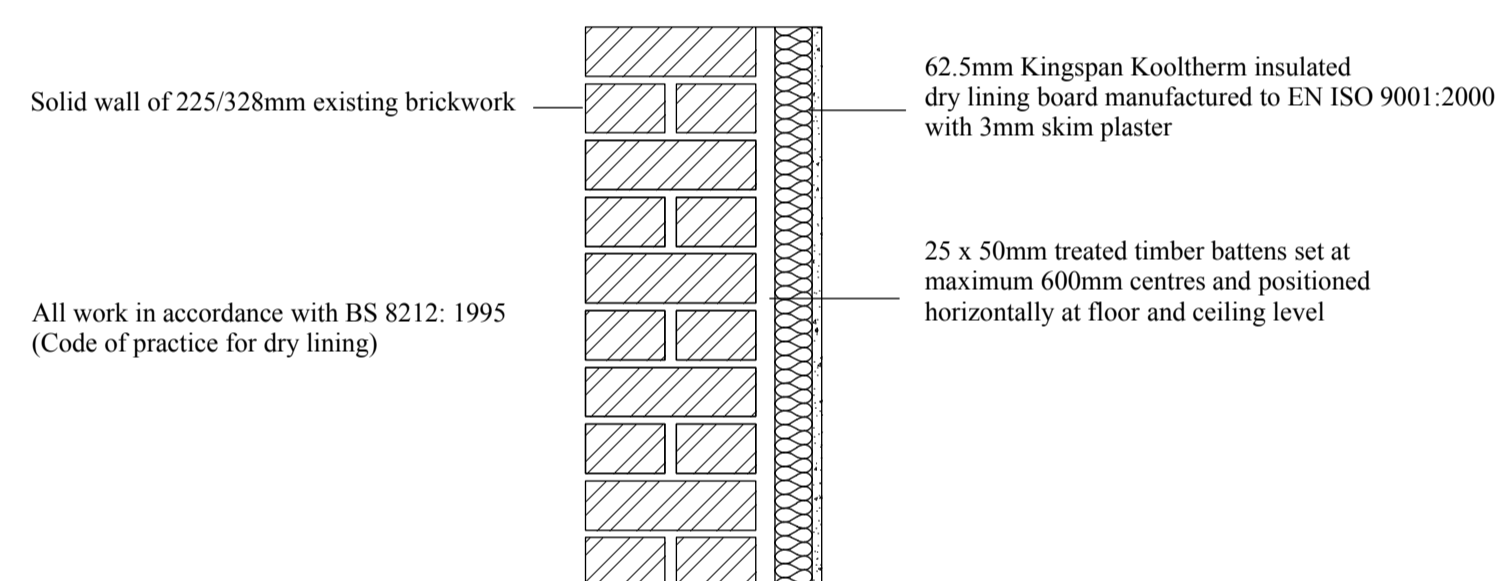
Flat roof to be single ply membrane roofing providing aa fire rating for surface spread of flame with a current BBA or WIMLAS Certificate and laid to specialist specification. Single ply membrane to be fixed to 22mm exterior quality plywood over 120mm Kingspan Thermaroof.

Insulation bonded to vcl on 22mm external quality plywood decking or similar approved on sw firrings to minimum 1 in 80 fall on sw treated 47 x 145mm flat roof C24 timber joists at 400mm ctrs to give a max span of 3.22m or as Structural Engineer's details and calculations. Underside of joists to have 12.5mm foil backed plasterboard and skim. Provide cavity tray to existing house where new roof abuts existing house.

Provide restraint to flat roof by fixing of 30 x 5 x 1000mm ms galvanised lateral restraint straps at maximum 2000mm centres fixed to 100 x 50mm wall plates and anchored to wall.

THIS IS A GENERAL GUIDE BASED ON NORMAL LOADING CONDITIONS FOUND IN DOMESTIC CONSTRUCTION. IT IS YOUR RESPONSIBILITY TO ASSESS YOUR DESIGN TO ASCERTAIN WHETHER ENGINEER'S DETAILS/CALCULATIONS ARE REQUIRED. PLEASE REFER TO THE TRADA DOCUMENT - 'SPAN TABLES FOR SOLID TIMBER MEMBERS IN FLOORS, CEILINGS AND ROOFS FOR DWELLINGS' OR ASK YOUR BUILDING CONTROL OFFICER FOR ADVICE.

UPGRADING EXISTING SOLID WALL



UPGRADE OF SOLID EXTERNAL WALL

To achieve min U-value 0.30W/m²K

Existing wall to be exposed and checked for its suitability. Insulate existing wall on the inside using 62.5mm Kingspan Kooltherm K118 insulated dry lining board fixed to 25 x 50mm battens at 600mm centres to provide a nominal 25mm cavity between the masonry and insulation.

Fix a vapour control layer under the insulation. Finish with a plaster skim. All work in accordance with BS 8212 (Code of practice for dry lining).

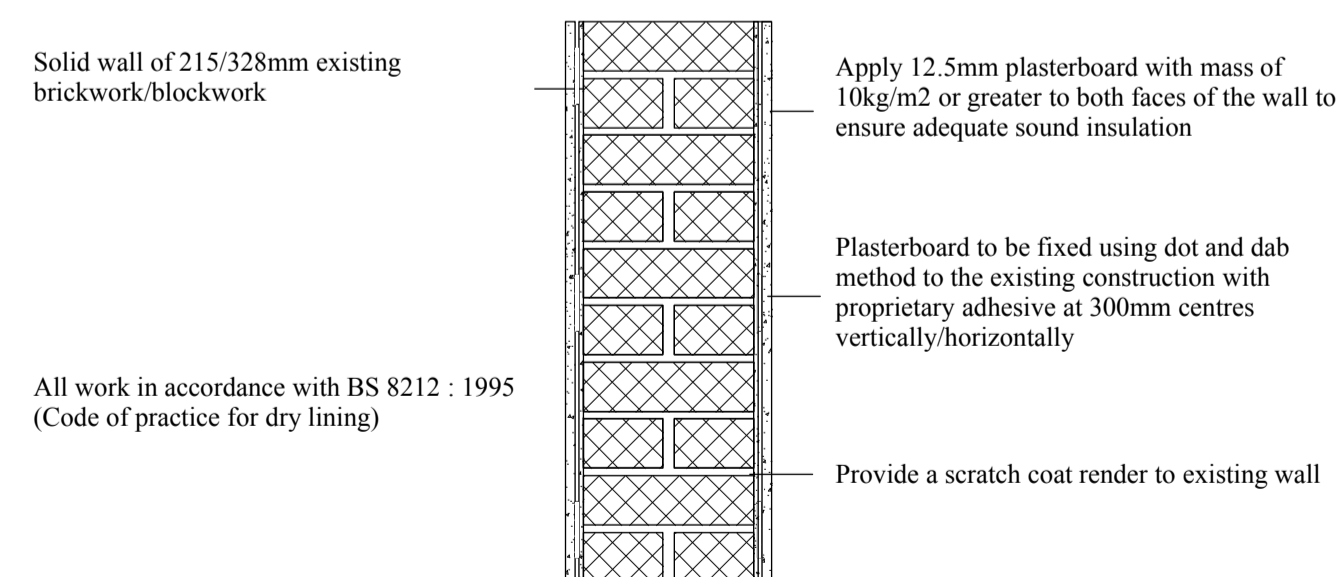
INTERNAL STUD PARTITIONS (within flat)

100mm x 50mm softwood treated timbers studs at 400mm ctrs with 50 x 100mm head and sole plates and solid intermediate horizontal noggins at 1/3 height or 450mm ctrs. Provide min 10kg/m³ density acoustic soundproof quilt tightly packed (e.g. 100mm Rockwool or Isowool mineral fibre sound insulation) in all voids the full depth of the stud. Partitions built off doubled up joists where partitions run parallel or provide noggins where at right angles. Walls faced throughout with 12.5mm Gyproc FireLine board with skim plaster finish. Taped and jointed complete with beads and stops.

PIPES PASSING THROUGH SEPARATING WALLS

Provide adequate fire stopping where pipes pass through walls using proprietary systems including acoustic intumescent sealant, intumescent collars and fire sleeves to ensure the appropriate level of fire and sound resistance is maintained.

UPGRADING SOLID PARTY WALL



UPGRADING SOLID PARTY WALL

As detailed in Approved Document E Wall Type 1.1

The existing walls must be checked for stability and be free from defects as required by the Building Control Officer. Wall to be a minimum 215mm thick with a minimum block density of 1840kg/m³. Provide a scratch coat render to existing wall. Apply plasterboard with mass of 10kg/m² or greater, e.g. Gyproc Soundbloc, to the both wall faces to ensure adequate sound insulation in accordance with Approved Document E.

Pre completion sound testing to be carried out by a suitably qualified person with appropriate third party accreditation (either UKAS accreditation or be a member of the Association of Noise Consultants Registration Scheme). IT IS THE DESIGNERS RESPONSIBILITY IS TO CONSULT WITH AN ACOUSTIC ENGINEER TO ENSURE THE COMPLIANCE ALL ASPECTS OF APPROVED DOCUMENT E

THIS CONSTRUCTION HAS THE POTENTIAL TO COMPLY WITH THE REQUIREMENTS OF THE BUILDING REGULATIONS WHEN FORMING A SEPARATING FLOOR FROM AN EXISTING FLOOR BY MATERIAL CHANGE OF USE. COMPLIANCE CAN ONLY BE DEMONSTRATED BY A PACKAGE OF SOUND TESTING AGREED WITH BUILDING CONTROL.

| | | | |
|--------------|-----------------------------|-----|---|
| Client | JULIA | | |
| Project | | | |
| Project Date | tbc | | |
| Venue | 22 BIRCH GROVE, POTTERS BAR | | |
| Job No | 801/EN6 | | |
| Subject | | | |
| Date | MAY 2023 | | |
| Design | | | |
| Drawn | JM | | |
| Drawing No | PL07 | Rev | B |
| Scale | AS SHOWN @ A1 | | |