

Design and Access Statement

Introduction

This design and access statement is in support of the proposal for the demolition of the existing dwelling and detached garage. The proposed development is for a new home which is being submitted for full planning approval.

The site is located at No.6 St Giles Garth, Bramhope, Leeds, LS16 9BD.

The land is currently occupied by one single ground floor dwelling and it is owned by the applicant.

The proposal site has accounted for sustainability, health, wellbeing and posterity, whilst aiming to align with the National Planning Policy Framework and local parish.

Scheme Outline

Planning permission is sought by a private client for a new detached home within the existing site they occupy. Currently, a large two-bedroom ground floor dwelling. The proposal being submitted is for a three-bedroom home.

Externally, the property has been designed with consideration to the existing house and local surrounding properties, incorporating a stone and render finish to exterior walls and a grey clay interlocking tile to the roof pitch. The new dwelling will sit in line with neighbouring properties.

The property has been designed in accordance with the owner's health requirements, ages and wellbeing, making the property functional for their personal needs.

The dwelling will have an integrated garage located at the front of the property, with allocation for one car. Access to the dwelling will be gained from Saint Giles Garth via the A660 Leeds Rd.

The drive way is to be relocated from the existing location, and reinstated on the opposite side of the site, on the front elevation. This is intended to ease any congestion as vehicles exit the A660 (Leeds Rd) to access their properties.

Sustainability Development Statement

Bramhope is a village and civil parish in the City of Leeds metropolitan borough, West Yorkshire, England, north of Holt Park and north east of Cookridge.

Bramhope village: -

9 miles (14 km) north of Leeds city centre, in the LS16 Leeds postcode area.

Is approximately 3 Miles from Leeds Bradford Airport. It is also 4 miles from the historic market town of Otley, situated along the river Wharfe.

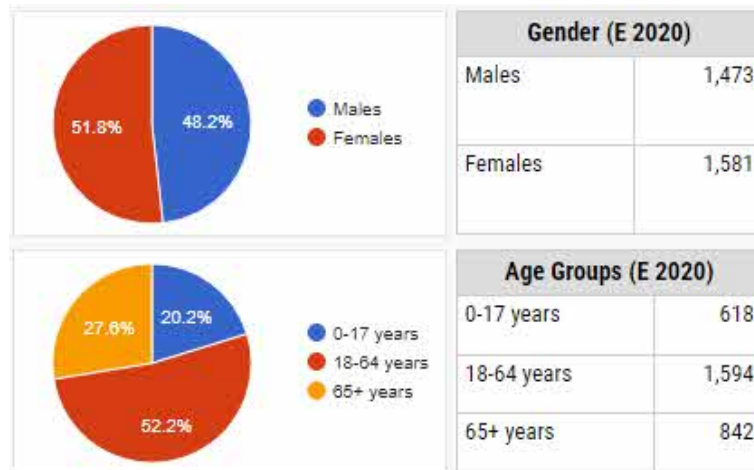
Has a Primary School (11 Minutes' walk and 3 Minutes by car) I and secondary school, Ralph Thoresby School (55 minutes' walk and 11 Minutes by car).

Bramhope has an array of local amenities serving a diverse demographic. However, the more comprehensive amenities are provided by Otley, Yeadon, and Guisely, all of which are a short distance away. With major centres of Leeds, Bradford and Harrogate being slightly further afield where, major retail shops can be found accompanied by smaller independent retail stores.

Bramhope's village is easily accessible from Saint Giles Garth by traveling west along Leeds Road to Church Hill Rd south, leading to Old Lane. On foot, this is approximately 10 Minutes. By car 5 minutes.

Public transport is accessible less than 500 ft from Saint Giles Garth providing access to Bramhope village, Leeds City Centre and the wider regional locations.

Bramhope's population has an estimate of 3054 as from 30-06-2020. The population is heavily weighted in the 18-64 age group.



Source: www.citypopulation.de

Bramhope is predominantly privately owned houses which tend to be above the average value for properties in West Yorkshire.

The Site

Number 6 Saint Giles Garth is a privately owned site owned under freehold title by the client, situated off the A660 Leeds Road. Located in the well-established commuter village of Bramhope.

The existing property comprises of a traditionally constructed detached bungalow built in 1957 (image no. 1 to 10). There is an attached car port (as per image no. 5 & 6) to the side and a detached single garage, store, and outside W/C to the rear (as per image no.8). The main dwellings accommodation consists of a Hall, Living Room, Dining Room, Kitchen, Utility Room, Store, Bathroom, two Bedrooms.



Image 1: Proposed North East Elevation



Image 2: Proposed North East Elevation



Image 3: Existing South East Elevation



Image 4: Existing North West Elevation

Although the property has been lived in, it has been neglected over recent years with little to zero maintenance work being undertaken. The main property and outbuilding require heavy refurbishment, both internally and externally to achieve full modernisation. Drainage maintenance is also required to the grounds subsequent of tree route damage.

The property (Combined) occupies an area of 171 Square Metres. The site area displays a trapezium shape with a slope falling approximately, 10 Metres from the rear (South) to the (North) front of Saint Giles Garth. With a total area of approximately 1800 square metres.

The site has a front, side and rear garden as well as, drive way access to the left-hand side of the property (Image 4), providing adequate off-street parking leading to the garage located to the rear of the property.

Boundaries are formed in a combination of walls and hedges although, many walls are hidden from view due to the excessive vegetation.



Image 5: LHS Neighbouring property to No.6



Image 6: RHS Neighbouring property to No.6

Situated to the left (image no.5) and right (image no.6) of the property are the existing neighbouring bungalows which are separated from No.6 Saint Giles garth by established shrubbery and conifer trees. Heights range from 8ft to over 15 Metres (image no 7 & 8) in some locations.



Image 7: Boundary Conifer Tress



Image 8: Boundary Conifer Trees

Trees and Shrubs will be retained (as per the request of the neighbouring properties) to maintain privacy levels.

To the North, the site is bound by A660 Leeds Rd. To the south it is bound by residential properties which are situated along Breary Lane.

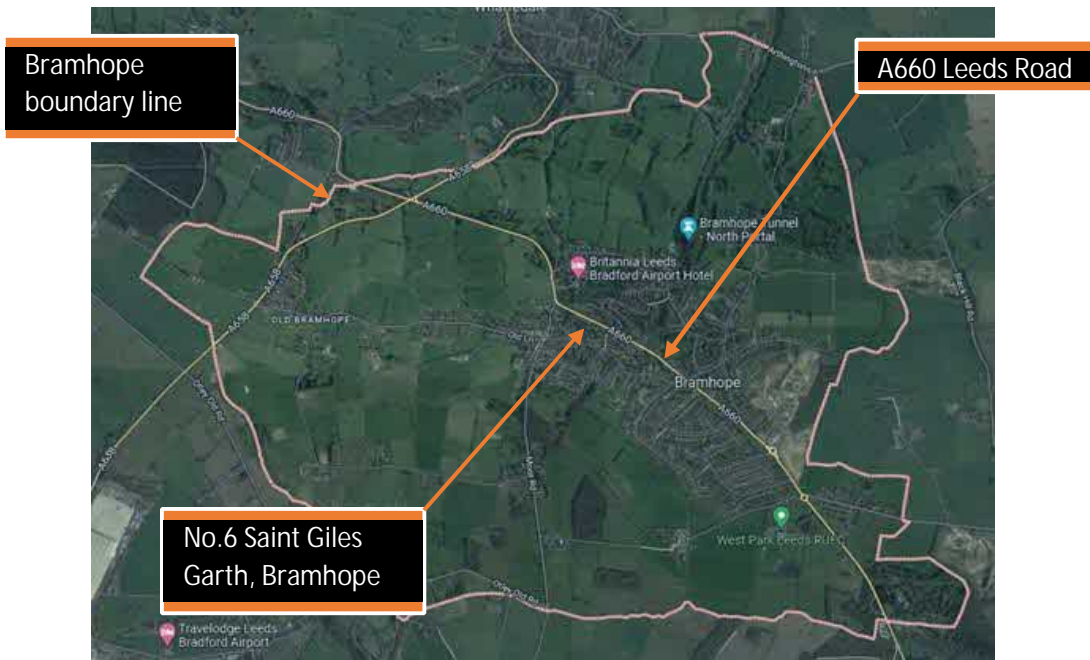


Image 9: Site Location within Bramhope Boundary



Image 10: Site Location

Access

Leeds Rd (A660) links Burley in Wharfedale to Otley Rd, Weetwood. Leeds Rd provides a gateway to the Yorkshire dales and wider areas of the district of Leeds and Bradford.

On approach from either direction of the A660 leading into Saint Giles Garth (from both east and west), two slip roads provide ingress and egress. Notably, if cars are exiting either of the slip roads on to the A660 at the same time as vehicles attempting to gain access to Saint Giles Garth. Vehicles are forced to slow down and often stop, backing up moving traffic on a road which has a speed limit of 40mph (Image no. 12).



Image 11: A660 Burley Wharfedale direction



Image 12: Vehicles approach from Weetwood.



Image 13: Saint Giles Garth

Proposed Development

The proposal will see the re development of a tired and neglected dwelling. The proposed building will utilise sustainable technology and modern construction techniques, intended to improve the buildings aesthetics. Designed to be a modern version of the original, improving the building fabric and the energy efficiency of the building's life. Ethically sourced with the reuse of existing materials where possible. For example, the existing Yorkshire stone patio and roof tiles will be re used for copings, paving flags, and internal features.

The new development is reflective of the existing dwelling and in keeping with the local area, maintaining the stone plinth and render as per neighbouring properties along Saint Giles Garth, yet with modernity. The design will make use of natural light, with the provisions of large fixed and vented double and triple glazed window systems, with Dormer windows to the rear roof space. Large open internal spaces are designed to capture natural light, allowing it to penetrate the properties open plan living space. Exposure to natural light is a critical resource, key to psychological and physical wellbeing.

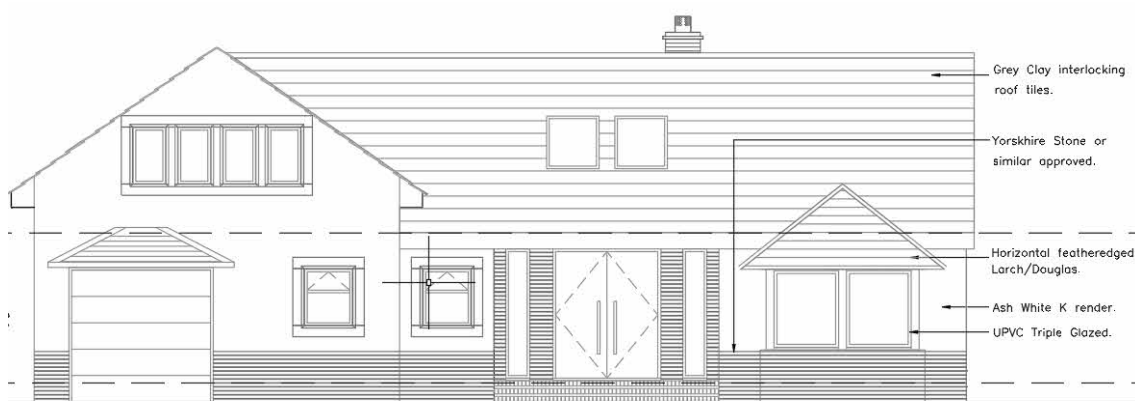


Image 14: Proposed South West Elevation (Front)

The development will have a single garage with, additional parking located to the front of the property. The dwelling will have use of the existing access from Saint Giles Garth, however. To counter vehicle congestion, the existing drive way will be relocated to the opposite side to mitigate inaccessibility/ queuing (residents and delivery) vehicles accessing Saint Giles Garth when arriving from either A660 direction.

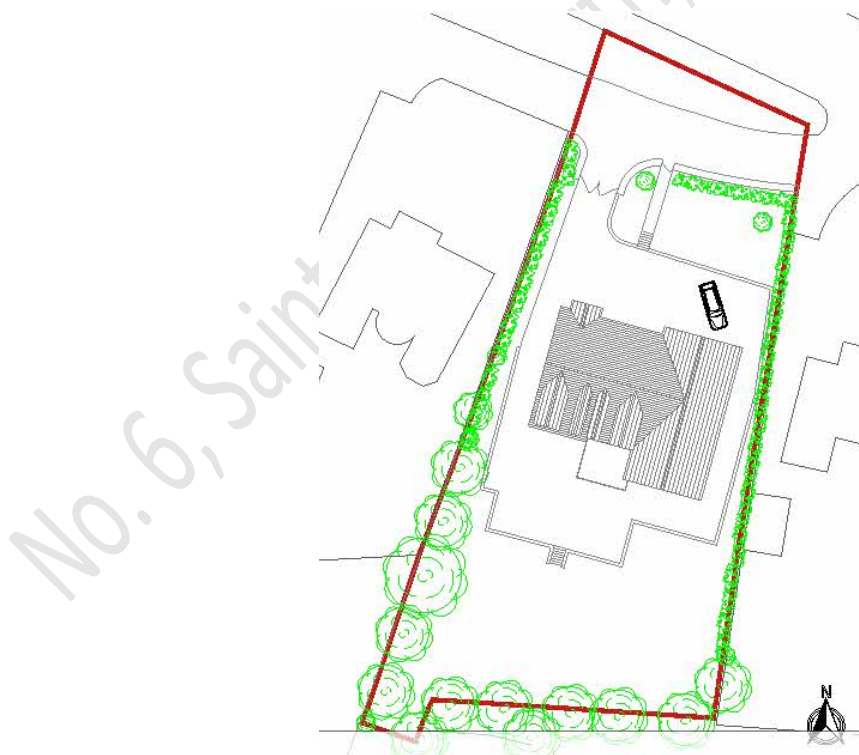


Image 15: Proposed Site Layout

Image 15 shows the proposed site layout arrangement is more than capable of accommodating a proposal of this nature and with adequate amenity space.

A stone wall be reinstated where the existing drive was. Carefully keyed in with the existing wall, then finished with a recessed gated entrance.

The impact on the local area is intended to be minimal, subsequent of the existing boundary screening stone wall and established hedges. The development proposal is intended to provide a fresh perspective in replace of the existing tired dwelling.

Design

The property has been designed around the clients and their specific needs as they age.

Designed for functionality and ease of movement, the proposed property will provide ample space should either become wheel chair dependent as, all of the doors and rooms have been designed to be wheel chair friendly.

The proposed dwelling will receive a 35-degree roof pitch, clad in grey clay tiles.

Windows will be triple glazed to the front and double glazed at the rear. Externally, windows within render and stone will receive stone jambs, sill and headers. Barge boards will be fitted to apex roofs and hipped gables. Rear roof will have a chimney flue. Exterior walls will receive stone plinths 1000mm high with off white k render above.

The house design is in keeping with the existing orientation and will be built on the same level as the existing house. However, the proposed dwelling will be in line with the original dwelling front gable (refer to Image 12) line, on the proposed south east (Front) Elevation.

A level patio will be created re using the original paving and stone roof tiles to the rear. This will allow the occupants to extend their living area, making it easy to transfer activities as well as reducing the maintenance of the large garden area.

Existing trees and shrubbery will be retained around the boundaries, allowing neighbours to retain their privacy. Additional trees and shrubbery will be planted where gaps occur.

The stone wall (as seen in image no.13) will be retained at the front edge of the garden boundary with (Image) Saint Giles Garth. There will be an adjoining wall filling the void of the relocated driveway entrance. This will be built from the retained stonework on the original wall and simply relocated to fill the described driveway void.

There aren't any overlooking issues as, side windows have not been proposed. Moreover, the existing vegetation is established at heights exceeding 8ft around the entire boundary (Image no.6, 7, 8 and 13).

Site Services

The site is already connected to mains water, electricity and a telephone line servicing. The proposed home will implement Air Source Heat Pump and Wood Burner for hot water and heating. Solar panels are being considered for the roof space. Rainwater will be discharged into rain water harvesting tanks and via existing and new gullies.

Ecology

The scheme intends to improve the ecological value of the site with proposed tree planting and ecology measures. The grassland areas are unlikely to be suitable for nesting or feeding, however. The boundary shrubbery and trees will improve wildlife habitats providing appropriate nesting grounds for birds, bunting and wood pigeons. The stone wall will provide habitats for small animals and insects.

Note, the property is not located within a flood risk zone.

No. 6, Saint Giles Garth, Bramhope, Leeds