



Front Elevation

Address: 17 Atwater Court, Lincoln, LN2 4SQ

Report Reference No: DAS/02/012/2023

Client: Mr. Hazbi Halili

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17 Atwater Court, Lincoln – Design and Access Statement

1. – Introduction

This planning, design and access statement has been written to accompany a Full Planning Application at 17 Atwater Court, Lincoln, LN2 4SQ, for the conversion of the loft into habitable space. An electronic version of this statement has been submitted through the Planning Portal and is accompanied by the following drawings and documentation.

- Existing GF/FF Plans and Elevations - Atwater/DWG/01/-
- Proposed GF/FF Plans and Elevations - Atwater /DWG/02/-
- Proposed Second floor Plan and details - Atwater /DWG/03/-

2. - Site Characteristics and Context

The proposed site of 17 Atwater Close, is located in the City of Lincoln is a cathedral city and district in Lincolnshire, England, of which it is the county town. In the 2021 Census, the Lincoln district had a population of 103,813.[3] The 2011 census gave the urban area of Lincoln, including North Hykeham and Waddington, a population of 115,000 a figure which has been updated to 127,540 with the 2021 census. Lincoln is an actively growing City community.

Atwater Close site to the Northeast edge of the city, just outside the City Boundary, it is part of Urban Development that has been expanding since the 1990's. The development is known as Bunker Hill, there has been further development in this area such as on Greetwell Fields. The applicants boundary covers a modest plot and is to the end of a cul-de-sac, the property has an open frontage with properties in a horseshoe plan around the front and it backs onto properties located on Chedworth Road, as seen in figure 1. The applicant intends to fully use this property as their own home on completion of the conversion, they intend to share the new footprint with their family and friends and contribute actively to the local community. The existing property, being a newer development is very modest in its proportions and as such the third bedroom is meeting the needs of the young family.

The proposal is to convert the loft area into habitable space, the existing prefabricated truss is not an attic type and only offers 1.9m clear headroom, this is not suitable for conversion. The proposal is therefore to replace the roof with a prefabricated attic truss with full width rear dormer, all to be specifically designed by a local specialist truss manufacturer. The dormer will sit to the rear and the front aesthetic of the property will not alter. The new first floor plan will house one bedroom with an en-suite shower room. The alterations to the property will not alter the footprint of the dwelling and will have no visual impact to the front of the site and holds an opportunity to ensure that a relatively new property continues to serve local families for several generations, meeting the needs of our modern growing society.



Figure 1



17 Atwater Court, Lincoln – Design and Access Statement

3. - The Proposed Development

The existing property is a red brick, 2 storey property of a simple aesthetic presentation, likely built in the mid 1990's. Full planning permission is sought for the conversion of the loft space at this property in Atwater Close, Lincoln. The conversion will require the roof structure to be replaced and recovered. The eaves height will be reinstated but the ridge height will raise 300 – 400mm dependant on the final truss manufacturers design. A full width dormer will be provided to the rear to ensure that the most beneficial head height is achieved and to make the most of the proposed alteration.

This conversion will create an additional master bedroom for the applicant with an ensuite shower room. This will allow their daughters to have a bedroom each and leave the third bedroom for visiting family and guests. Sharing family time is something that is very important to the applicant. There are no intentions for the space to fulfil any use or purpose other than provide domestic facilities for the current occupants.

As part of the acoustic proposals the owner intends to improve the thermal efficiency of the property generally and undertake any general maintenance required to prolong the life of the dwelling and enhance its presence in the setting.

The newly created second floor layout can be seen in figure 2.

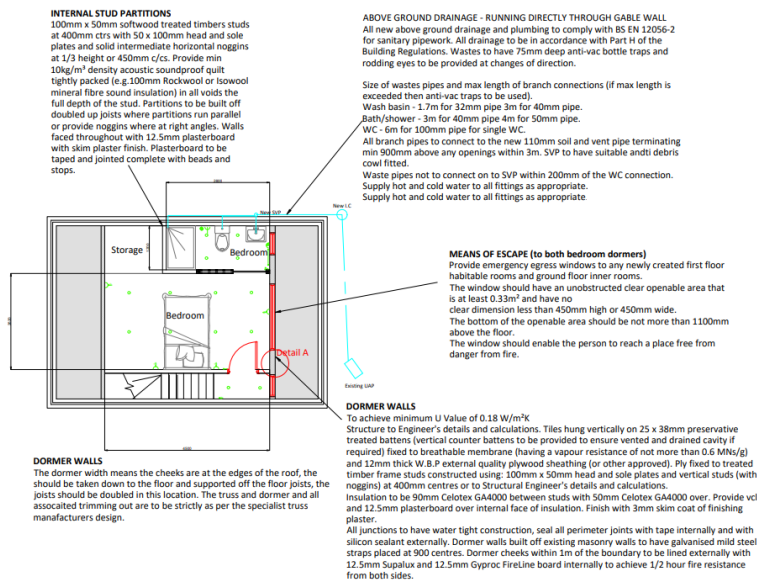


Figure 2 – Proposed First Floor



4. – Design Principles

The proposed conversion does not extend beyond the footprint of the existing dwelling. The design has been further supported as required by a specialist truss manufacturers design and professional input. The conversion negates the need to extend and lose valuable green garden space. The garden here is modest and very much enjoyed by the family.

No windows have been included in the Easter and Western side elevation to ensure that the privacy of the immediate neighbouring occupants is maintained. A full width dormer has been proposed at the rear of the property, where the largest distance is offered between any overlooking properties and applicants dwelling. There are already 4 existing windows in this elevation, so the introduction does not create an increasingly detrimental situation.

The external appearance of the design matches that of the existing dwelling in both materials and style, the ridge height will raise between 300 and 400mm dependant on the final truss manufacturers design and the covering will be, where possible, with the existing tile. The sides and any unglazed frontage of the dormer will be finished in a tile that matched the roof covering. The surface of the flat roof dormers will be a GRP finish to reduce ongoing maintenance requirements.

Time has been taken to ensure that the aesthetic presentation of the conversion externally impacts as little as possible on the neighbouring properties or the local environment.

5. – Relevant Planning Policy

Generally Converting the loft of a house is considered to be permitted development (not requiring planning permission) subject to the following limits and conditions.

Development not permitted

B.1 Development is not permitted by Class B if—

(a) permission to use the dwellinghouse as a dwellinghouse has been granted only by virtue of Class [F1G,] M, [F2MA,] N, P [F3, PA] or Q of Part 3 of this Schedule (changes of use);

(b) any part of the dwellinghouse would, as a result of the works, exceed the height of the highest part of the existing roof.

(c) any part of the dwellinghouse would, as a result of the works, extend beyond the plane of any existing roof slope which forms the principal elevation of the dwellinghouse and fronts a highway.

(d) the cubic content of the resulting roof space would exceed the cubic content of the original roof space by more than—

(i) 40 cubic metres in the case of a terrace house, or

(ii) 50 cubic metres in any other case.

(e) it would consist of or include—

(i) the construction or provision of a verandah, balcony or raised platform, or

(ii) the installation, alteration or replacement of a chimney, flue or soil and vent pipe; F4...

(f) the dwellinghouse is on article 2(3) land [F5; F6...]

[F7(g) the dwellinghouse is built under Part 20 of this Schedule (construction of new dwellinghouses)] [F8; or

(h) the existing dwellinghouse has been enlarged in reliance on the permission granted by Class AA (enlargement of a dwellinghouse by construction of additional storeys).]



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Due to the fact that the conversion will slightly increase the ridge height and also that a new Soil and Vent pipe is being installed, it is deemed that planning permission is required.

We have therefore consulted the relevant Local Authority for Planning matters, which is West Lindsey District Council, as such the Central Lincolnshire Local Plan 2012 to 2036 has been consulted.

The extension to the dwelling is to all intents and purposes back land/conversion development, the proposed alterations will not be seen from the road approach to the property as visually, aside from a 300mm height difference the property will remain aesthetically identical to the front elevation. The relevant planning policy below outlines the considerations and design measures that have been taken and we have attempted to justify why it is felt the scheme should be approved. Indeed the only external visual alteration that will be evident to the naked eye will be the addition of the dormer to the rear.

Policy LP26: Design and Amenity All development, including extensions and alterations to existing buildings, must achieve high quality sustainable design that contributes positively to local character, landscape, and townscape, and supports diversity, equality, and access for all. Development proposals will be assessed against the following relevant design and amenity criteria.

Design Principles

All development proposals must take into consideration the character and local distinctiveness of the area (and enhance or reinforce it, as appropriate) and create a sense of place. As such, and where applicable, proposals will be required to demonstrate, to a degree proportionate to the proposal, that they:

- a. Make effective and efficient use of land.*

The property concerned has a very modest garden and sits in an area of urban sprawl to the city periphery. The property itself would have been erected as urban infill some 30 years ago. As such further development on this site, in the form of a footprint increase, may not be appropriate or beneficial for the local environment, as significant development in the locality has already taken place extensively. This proposal sees an increase in footprint allowing the applicants family to visit without leading to a loss of valuable and beneficial green space and garden. The applicant adds valuable incoming populous to the urban area and actively contributes to the local economy and community. Allowing their family to grow will ensure that their place in this community is sustainable. This prolongs and enhances the life of the urban asset and ensures that a family with diverse and modern lifestyles, can stay within the community, without the need for new housing. Thus creating a sense of place for the modern family and reducing local housing market churn.

- b. Respect the existing topography, landscape character and identity, and relate well to the site and surroundings, particularly in relation to siting, height, scale, massing, form, and plot widths.*

The proposed external appearance has been designed using similar materials to reflect the character of the surrounding environment. The scale and orientation of the dormer windows has been carefully considered to reduce the overall impact on the aesthetics of the dwelling, any surrounding buildings, and in order to mitigate any overlooking issues.

- c. Not result in the visual or physical coalescence with any neighbouring settlement.*

The easiest method of introducing light was via windows in the Wester and Eastern gable end walls, this course of action has been deliberately avoided to ensure that there are no openings overlooking the nearest neighbouring properties. A side extension was considered, drawn up and rejected by the applicant due to the impact this may have on the adjacent housing, the benefits were not felt proportional.



- e. Not result in ribbon development, nor extend existing linear features of the settlement, and instead retain, where appropriate, a tight village nucleus.*
- f. Incorporate and retain as far as possible existing natural and historic features such as hedgerows, trees, ponds, boundary walls, field patterns, buildings, or structures.*
- g. Incorporate appropriate landscape treatment to ensure that the development can be satisfactorily assimilated into the surrounding area.*
- h. Provide well designed boundary treatments, and hard and soft landscaping that reflect the function and character of the development and its surroundings.*
- i. Protect any important local views into, out of or through the site.*
- j. Duly reflect or improve on the original architectural style of the local surroundings or embrace opportunities for innovative design and new technologies which sympathetically complement or contrast with the local architectural style.*
- k. Use appropriate, high-quality materials which reinforce or enhance local distinctiveness, with consideration given to texture, colour, pattern, and durability.*

As previously mentioned, the form and shape of the proposed design has been derived from the form and design of the existing property. This has then been developed further internally to incorporate a more contemporary feel suited to a modern family. The conversion does not impact the available garden and green space. No digging, excavating or disturbance to the established vegetation in the vicinity will be required in any way.

The applicant intends to reuse the roof covering materials to maintain aesthetic continuity and reduce waste. The sides of the Dormer windows will be finished in a vertically hung in a tile that matched the existing to reduce the visual impact of the dormer inclusion and blend it in to the building. The dormer has been designed to stand back from the eaves line and sit lower than the ridge line, therefore muting their presence and appearance.

Rather than install an extension requiring party wall consent and causing significant disturbance in the surrounding area for a longer period of time, the applicant has chosen to convert the roof space.

Amenity Considerations .

The amenities which all existing and future occupants of neighbouring land and buildings may reasonably expect to enjoy must not be unduly harmed by or as a result of development. Proposals should demonstrate, where applicable and to a degree proportionate to the proposal, how the following matters have been considered, in relation to both the construction and life of the development:

- m. Compatibility with neighbouring land uses.*
- n. Overlooking.*
- o. Overshadowing.*
- p. Loss of light.*
- q. Increase in artificial light or glare.*
- r. Adverse noise and vibration.*
- s. Adverse impact upon air quality from odour, fumes, smoke, dust, and other sources.*
- t. Adequate storage, sorting, and collection of household and commercial waste, including provision for increasing recyclable waste.*
- u. Creation of safe environments.*

The extension has been carefully designed to ensure that the scale is effective and meets needs, in such a way that cause no disruption or negative impacts to the neighbours. For all of the above points the proposed development has looked to overcome any issues mentioned from point M to U.

The relevant planning policy is underpinned by an aspiration for sustainable growth in homes, jobs, services, and facilities; this extension development will ensure that another modern-day family are able to live in a 1990's dwelling sustainably and contribute actively to that society.



6. – Other Compliance Matters

Heritage Designation

The property is not listed and not within a conservation area.

Flooding

The property sits in an area at very low risk of flooding from rivers and the sea. Very low risk means that this area has less than 0.1% chance of flooding each year. The Environment Agency is responsible for managing the flood risk from rivers and the sea.

Desk top research also shows that the property is in a very low-risk area of surface water flooding, sometimes known as flash flooding, this

- happens when heavy rain cannot drain away
- is difficult to predict as it depends on rainfall volume and location
- can happen up hills and away from rivers and other bodies of water
- is more widespread in areas with harder surfaces like concrete

Very low risk means that this area has a chance of flooding of less than 0.1% each year. Lead local flood authorities (LLFA) are responsible for managing the flood risk from surface water and may hold more detailed information.

Due to the above factors a flood risk assessment will be required as part of the application.

Party Wall Consent

In this instance Party Wall Consent is **NOT** required.

Other

- The property is known *NOT* to sit within the coal field
- The applicant is the sole Freehold Owner of the property and as such has the full authority to undertake the proposed alterations.



7. – Relevant Contacts

The Client

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The Agent/Surveyor

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The Truss Specialist

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8. – Conclusion

The proposed development is acceptable due to its efficient use of conversion to an existing back land infill 1990's property, to ensure that the property remains relevant and sustainable for the modern-day family.

This property sits within urban development of Lincoln city and within walking distance of a host of amenities and the updating of it negates the need for continual new build in the area. Being a rural village there are limited opportunities for new build housing to support new families into the area. The City of Lincoln has adopted the Central Lincolnshire plan, and this will be used in making decisions on planning applications across the county. One key consideration is housing and ensuring that the local housing is capable of meeting the needs of the community through until 2040. The policy to ensure that the housing is in the right location and will be well designed. These properties are clearly located in the correct place where demand continues to see further development.

The proposal would achieve a good quality design that uses existing and matching materials in order to respect the surrounding environment in scale and layout. There are no technical constraints as the proposed scheme would not prejudice the safe or efficient use of the public highway and would not give rise to any severe impacts to highway safety. Furthermore, the proposal would not adversely impact upon the level of private amenity which the occupiers of nearby properties could reasonably expect to continue to enjoy. Accordingly, planning should ideally be approved as the proposal complies with relevant policies from the Central Lincolnshire Local Plan and would constitute sustainable development in line with the NPPF 2019.

