

**PROJECT:** **9 Devonshire Terrace**

**TITLE:** DESIGN AND ACCESS STATEMENT

**ISSUED BY:** EMG

**DATE:** 19 / 12 / 2023

**PROJECT NUMBER:** 0123

**REVISION:** P01





1 / 9 Devonshire Terrace, Whitley Bay

# INTRODUCTION

This statement accompanies an application for the grant of planning permission for the erection of a rear single-storey extension to the existing property at 9 Devonshire Terrace, Whitley Bay.

This document should be read in conjunction with the following documents:

- 0123-0100-Site Plan as existing
- 0123-0101 -Site Location Plan
- 0123-0102-Site Plan as proposed
- 0123-0400-Existing Floor Plans
- 0123-0401 -Elevations as Existing
- 0123-3002-Proposed Floor Plans
- 0123-3003-Elevations as Proposed





1 / Site Location (Base Map Source: Google Earth)

## Location

The existing dwelling at 9 Devonshire Terrace is a two-storey terraced house facing onto a pedestrian street. The rear of the house has a two-storey offshoot with a single storey extension beyond that. The rear yard opens onto a back alley with vehicular access.

## Project Brief

The proposal is to remove the existing low-quality single storey extension then form a new larger single storey extension to provide an open plan kitchen / dining space. The house will also be retrofitted to improve thermal comfort and energy efficiency. The rear of the house is currently covered with a thin layer of cementitious render. The proposal aims to remove this and replace with lime-based render to allow the building to breathe.

## Use

No changes of use are proposed. The rear extension in addition to internal alterations, will create an open plan kitchen and dining space. Alterations internally will improve the current configuration.

## Scale

The single storey extension will increase floor area by approximately 5sqm.

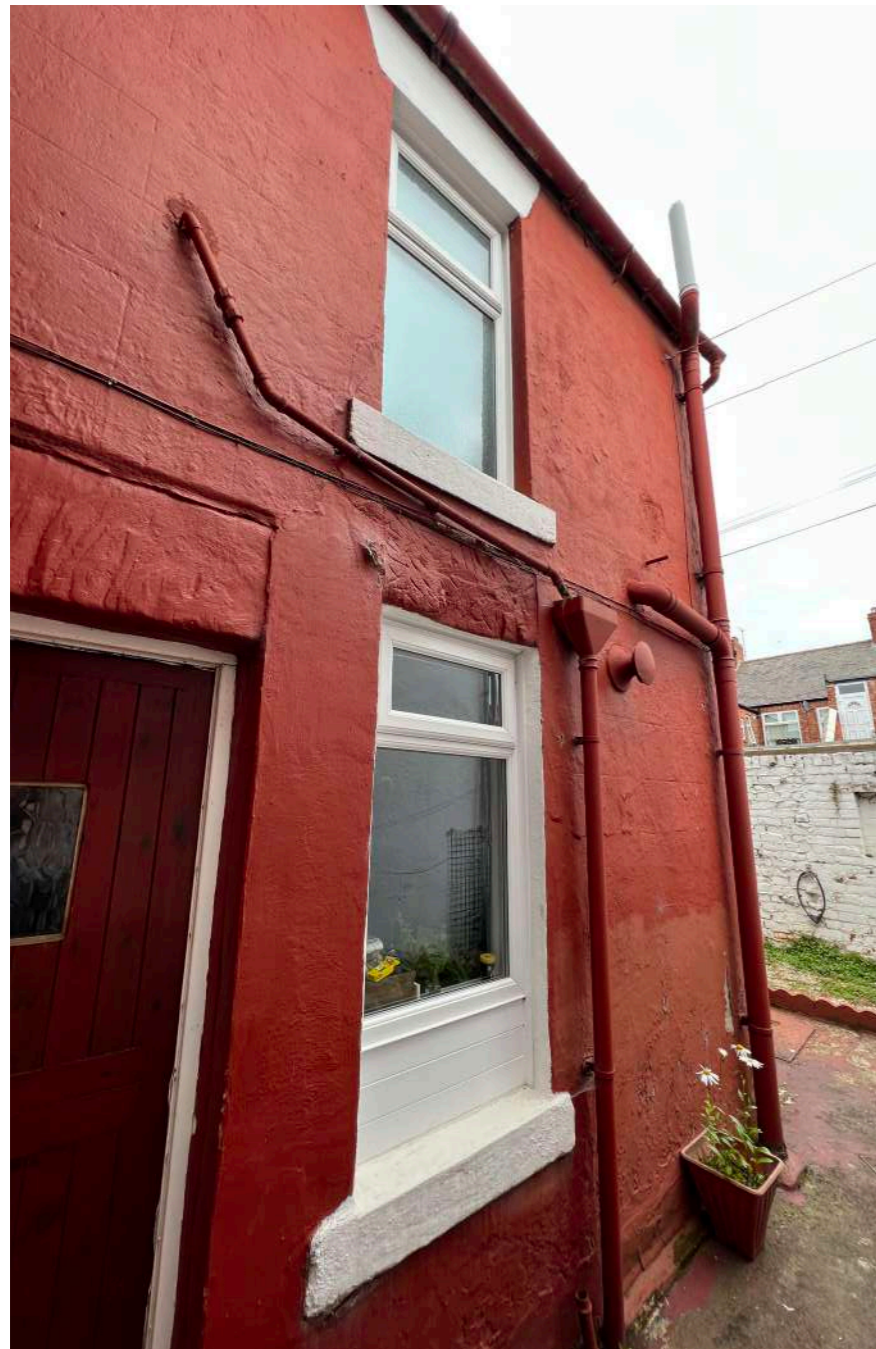
## Access

The property has a pedestrian access to the front and vehicular access to the rear via a back alley. No changes are proposed to the existing site access.



# Existing | Photographs

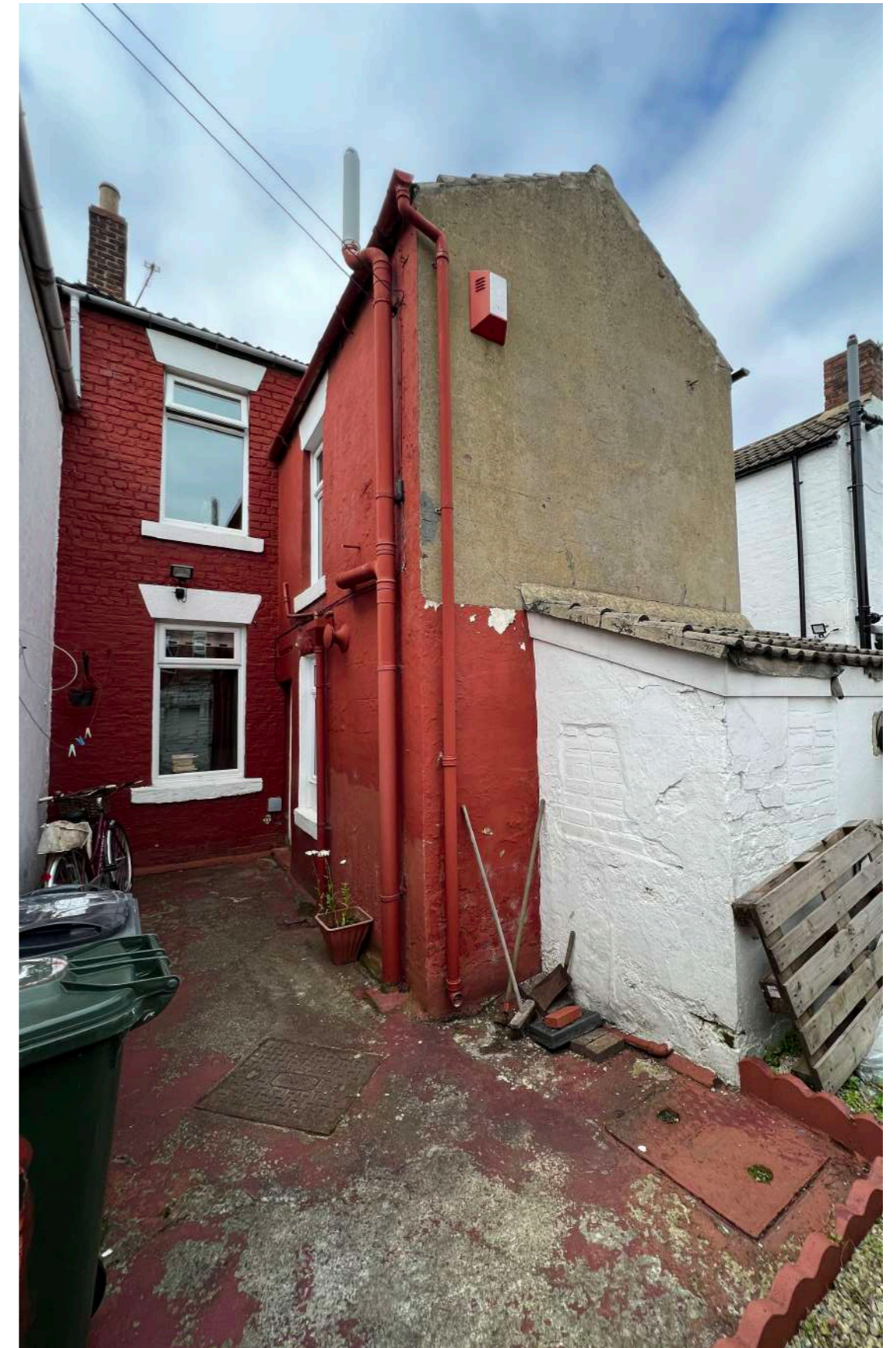
The house was built circa 1890s with a red brick frontage and bay window, typical of the area. It faces onto a pedestrian street with access by car only available via an alleyway to the back. The rear of the house is brick and was built with a two-storey offshoot housing the kitchen and bathroom. A further single storey extension of poorer quality houses the utility room. The rear has been skimmed in cementitious render which may be preventing moisture escaping the masonry. The original slate tiles have been replaced with a concrete tile, the surrounding houses appear to have undergone a similar treatment. The concrete tile is likely to be heavier than the original slate and is causing some minor deflections in the roof structure. The rear yard is concreted over.



3 / Garden wall



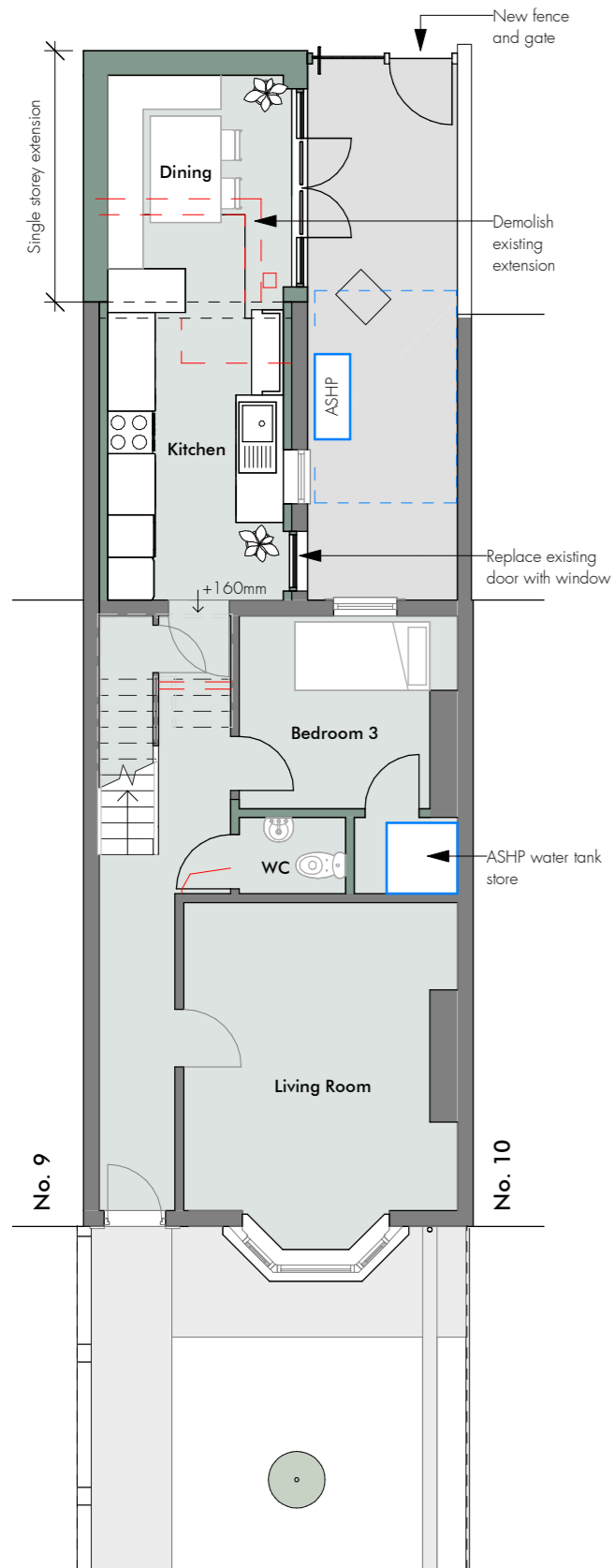
4 / View from kitchen door



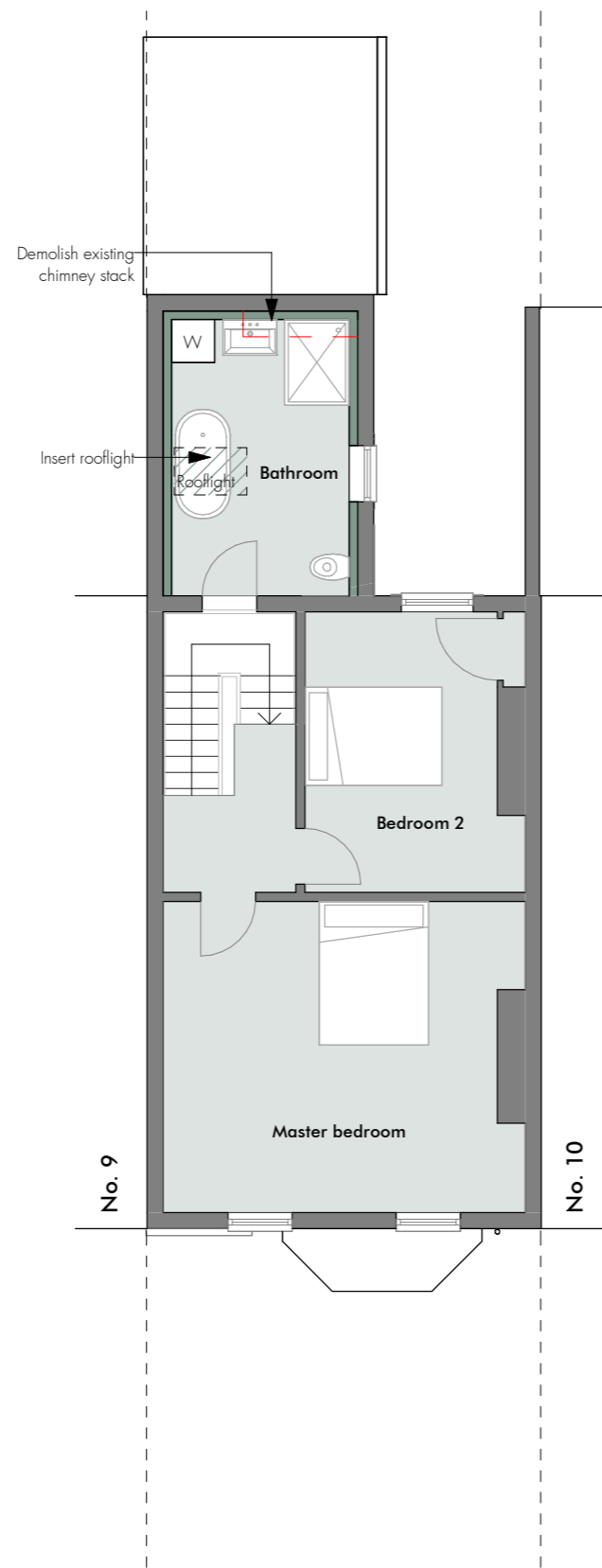
5 / Rear of house



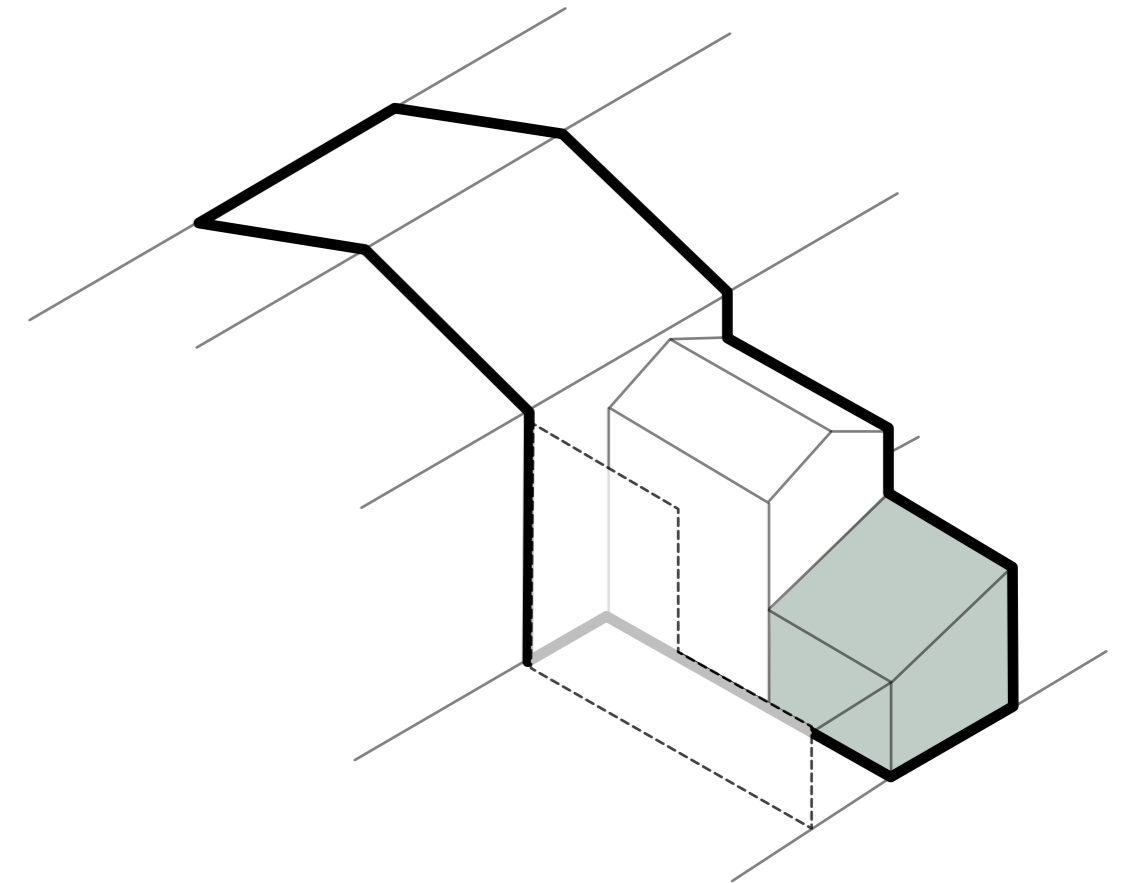
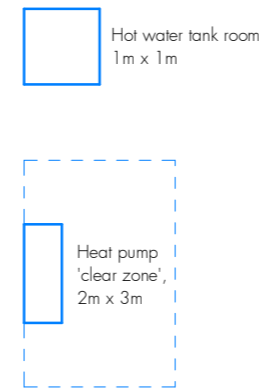
# Proposed | Appearance



Ground Floor Plan as Proposed



First Floor Plan as Proposed



The proposal removes the existing low-quality single storey extension. A new, larger extension is formed to provide an open plan kitchen / dining room. This will allow a better connection to the rear yard and improve the internal layout.

# Proposed | Appearance

No changes are proposed to the front of the house.

Generally, the house will undergo retrofitting to improve thermal comfort and energy efficiency.

The cementitious render to the rear off-shoot which may be preventing moisture escaping the masonry will be removed to improve breath-ability. This will be replaced by a pale lime based render to make good the brickwork.

The existing poor quality single storey extension which will be replaced with a new dining space opening onto the rear yard.

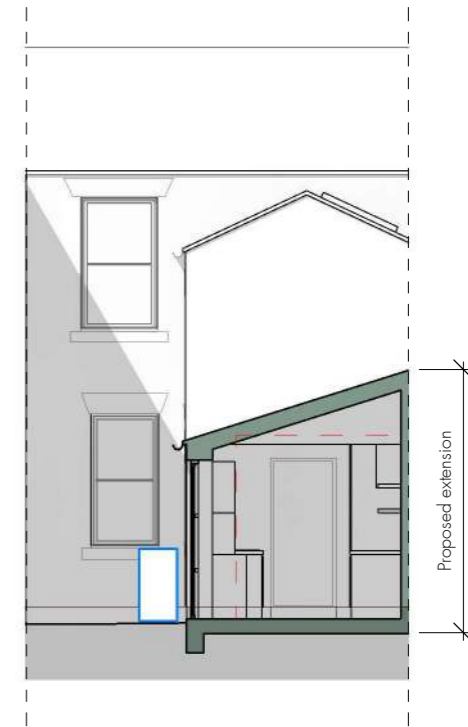
A set of glazed double doors with side panels will provide a significant improvement to the connection with the outside. The extension will be faced in render with a tiled roof.

The existing kitchen door will be replaced with a full height window to maximise light into the kitchen.

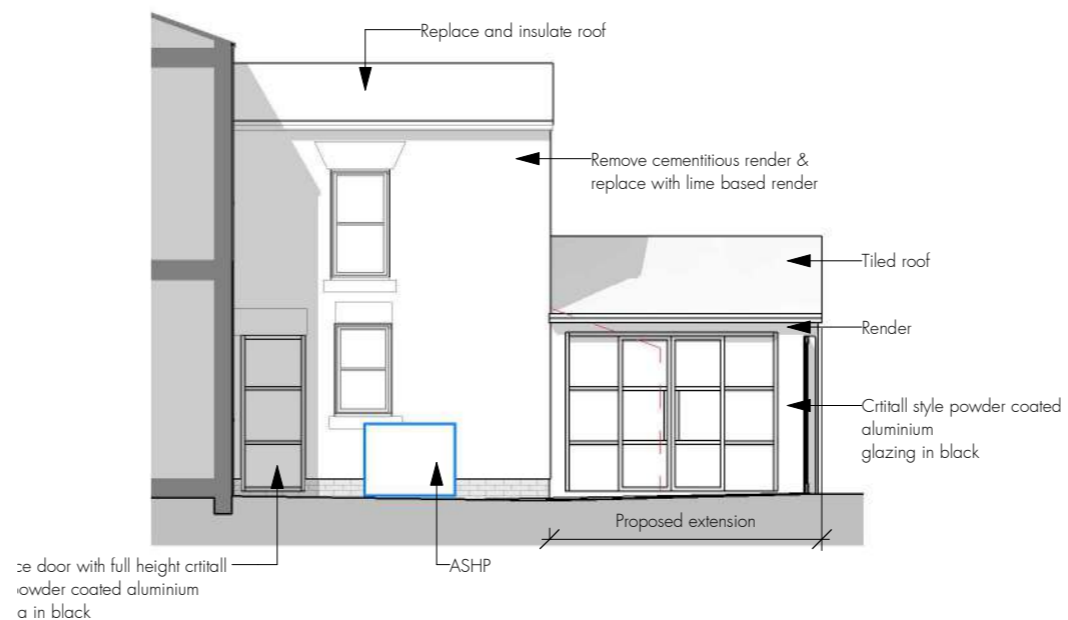
A new rooflight is proposed to the roof of the off-shoot to allow more light into the bathroom.



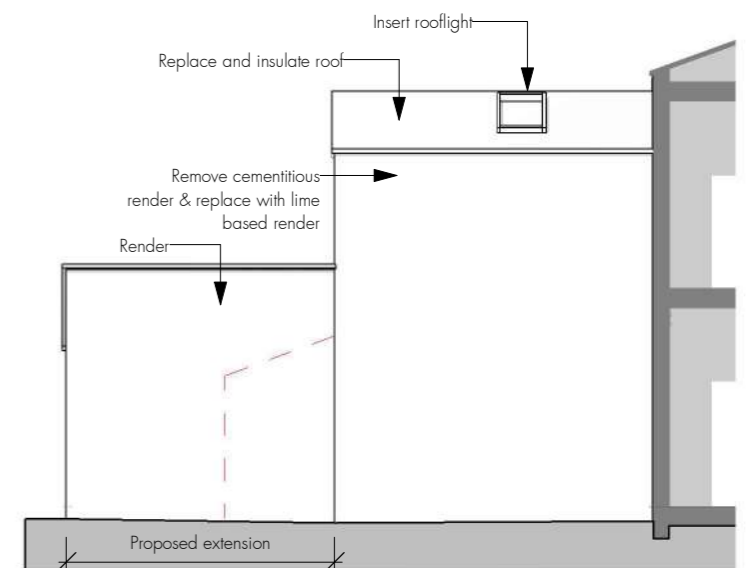
South Elevation as Proposed



North Elevation as Proposed



East Elevation as Proposed



West Elevation as Proposed

