

# Design and Access Statement

## **Erection of a New Building**

**Zink Properties Ltd  
Zeeco Europe  
The Woolfox Building  
Great North Road  
Rutland  
LE15 7QT**

Prepared by  
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## **Introduction**

- 1.1 This Design and Access Statement has been prepared in accordance with the requirements of the Town & Country Planning (Development Management Procedure) (England) Order 2015.

## **2 Proposal**

- 2.1 The application proposes the erection of a steel framed building to increase much needed floor space for Zeeco Europe Ltd, which will enable the business to meet current demands and grow to maximise the full potential of the site at LE15 7QT.
- 2.2 The new building will be utilised as a workshop, machine shop and offices.

## **3 Existing Site Details**

- 3.1 The site location is shown on drawing SH-Z-2023-02 illustrating existing site layout.
- 3.2 The site is situated to the North of the Great North Road (A1) along the slip road to Empingham in Rutland.
- 3.3 Palisade fencing surrounds the perimeter of the site, with trees and bushes along the South boundary to screen the existing buildings.
- 3.4 The site extends to some 16,219.8470m<sup>2</sup> and the proposed floor area of 1,620m<sup>2</sup> amounts to less than 10% of the total site area.
- 3.5 Given the small amount of proposed development in relation to the land owned by the applicant, the scale is proportionally justified.
- 3.6 There are no public rights of way across the site.
- 3.7 The existing site access is a good, well surfaced roadway situated off the Great North Road (A1) slip road.
- 3.8 Stormwater drainage will be linked to an existing soakaway system installed for adjacent buildings.

## **4 Description of Proposed Development**

- 4.1 The proposed site layout is shown on drawing SH-Z-2023-03
- 4.2 The floor/roof plans and elevations for the proposed building are shown on drawing SH-Z-2023-04
- 4.3 The proposed building will have a steel frame and grey insulated steel cladded roof. The walls will be grey insulated steel cladding to replicate existing buildings on the site.

- 4.4 For working purposes, the proposed building will have two large external doors for the access and egress of goods. The building will be equipped with a number of personnel doors to ensure the proposed building conforms to current building regulations. Numerous windows and rooflights will ensure the proposed building is flooded with natural light.
- 4.5 Solar panels will be installed to ensure the construction of the development will achieve a reduction in carbon emissions.
- 4.6 The location has been carefully considered to ensure a 'lean' process for the business. Moreover, the proposed location offers screening via existing buildings and bushes.
- 4.7 The proposed building is of an appropriate scale to allow the business to support growth.

## **5 Evaluation**

- 5.1 The design appearance of the proposal and access if given planning permission will fit in with the surrounding area.

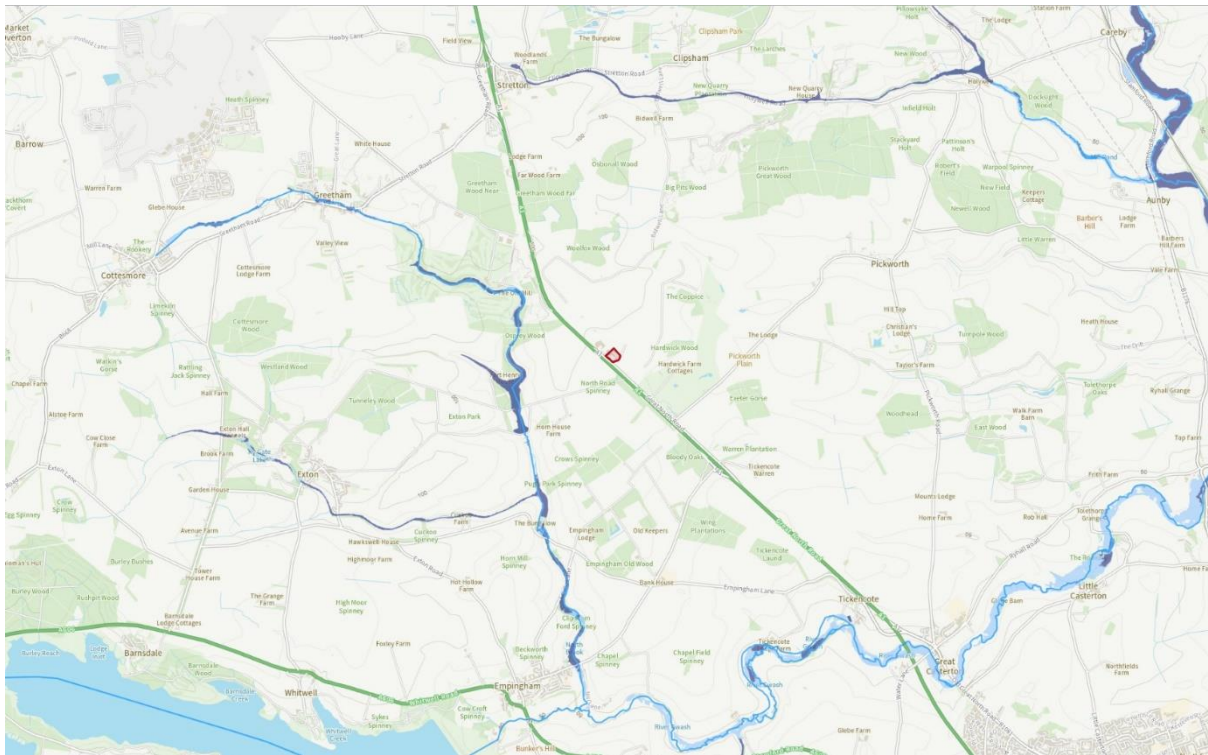
## **6 Design**

- 6.1 The design of the proposed building and access will not have any impact on surrounding properties.
- 6.2 The proposed building is of a design that is typical of the site and surrounding businesses. Being of modern steel frame and steel cladding.
- 6.3 There are no privacy issues or any overlooking issues due to the location of the proposed building being situated behind existing buildings.
- 6.4 The design of the project has taken into account landscape, access and long-term maintenance matters.
- 6.5 The use of the proposed building will create no nuisance matters to neighbours or highway use.
- 6.6 The proposed building will be 60m x 27m and amount to 1,980m<sup>2</sup> floor area. (1,620m<sup>2</sup> ground floor and 360m<sup>2</sup> 1<sup>st</sup> floor).
- 6.7 Eaves height will be 7.998m and 6.94m, with a 9.98m ridge height.
- 6.8 The project has been set out within the constraints of the site to meet the demands of economical construction, good engineering design practice and practical use.
- 6.9 As to be expected on an industrial site, the ecological value of the site is minimal.
- 6.10 No evidence of bird or mammalian activity was seen on the area around the proposed site.
- 6.11 In our opinion as authors of this report, the proposed erection of a new building can have no detrimental effects upon any wildlife interest of this site.

- 6.12 There is adequate space within the site boundary for the development and off-road car parking spaces to ensure that there is no adverse impact on the neighbouring properties.
- 6.13 The number of car parking spaces will increase by twenty-four spaces to accommodate the increased level of employment the proposed building will bring to the county.
- 6.14 The proposal would not have any adverse impact on the environmental character or landscape which is already used by businesses.
- 6.15 The proposed building will have minimal visual impact on the countryside.

## 7 Flood Risk

- 7.1 The proposed building will not increase any potential of flooding on the site.
- 7.2 The risk of flooding on this site is shown on the Governments flood maps <https://flood-map-for-planning.service.gov.uk/> as Flood Zone 1, the lowest possible risk of flooding.



## 8 Access

- 8.1 The site is already served by an existing private access road, therefore there will be no highway implications.
- 8.2 The existing access arrangements will remain unaltered.

## 9 Conclusion

- 9.1 The amount of development proposed on the site is commensurate to the plots overall size. The scale of the development is acceptable on planning grounds.

- 9.2 The location of the development is acceptable given that the proposal is within an existing industrial estate.
- 9.3 The proposed building will not have an unacceptable impact on highway safety.
- 9.4 The approval of the proposed building will secure the long-term future of the business in Rutland and create significant permanent employment opportunities.

S. Carr

Saxby Hatfield Ltd

December 2023