

**Redevelopment of  
Holy Trinity Recreation Ground**

**The Rookery Sports & Social Club, 65 Roe Lane Southport PR9 7HR**

**Design and Access Statement**

June 2023



*Figure 01 –Proposed Clubhouse pitch side view*

## Contents:

<b>1.0 Introduction</b>	(page 03)
<b>2.0 Physical Context</b>	(page 04)
<b>3.0 Planning Policies</b>	(page 08)
<b>4.0 Flood Risk Assessment</b>	(page 11)
<b>5.0 Design</b>	(page 13)
<b>6.0 Cricket Square Management</b>	(page 20)
<b>7.0 Summary</b>	page 23)

## 1.0 Introduction.

This aim of this statement is to support the Planning Application for the demolition of the existing sports club and construction of a new sports pavilion with four changing rooms, spectator facilities and lounge facilities.



*Figure 02 –Existing Building*

This report should be read in conjunction with the drawings and the following supporting information:

- X05 Location Plan
- X10 Existing Site Plan
- X11 Contractors Compound
- X100 Existing Ground Floor Plan
- X101 Existing Roof Plan
- X200 Existing Elevations
- P10 Proposed Site Plan
- P20 Proposed External works
- P100 Proposed Ground Floor plan
- P101 Proposed Roof plan
- P200 Proposed Elevations
- P300 Proposed Sections A and B
- P301 Proposed Sections C and D
- P400 Drainage Layout
- TP01 Transport Plan
- Bat Report- The Tyrer Partnership
- Swept Path Analysis- AMNI Transportation Ltd
- Travel Plan- CTS Traffic
- Environmental Lighting Impact Assessment Report by SHD Lighting Consultancy Ltd

## 2.0 Physical Context



Figure 03 – Aerial View

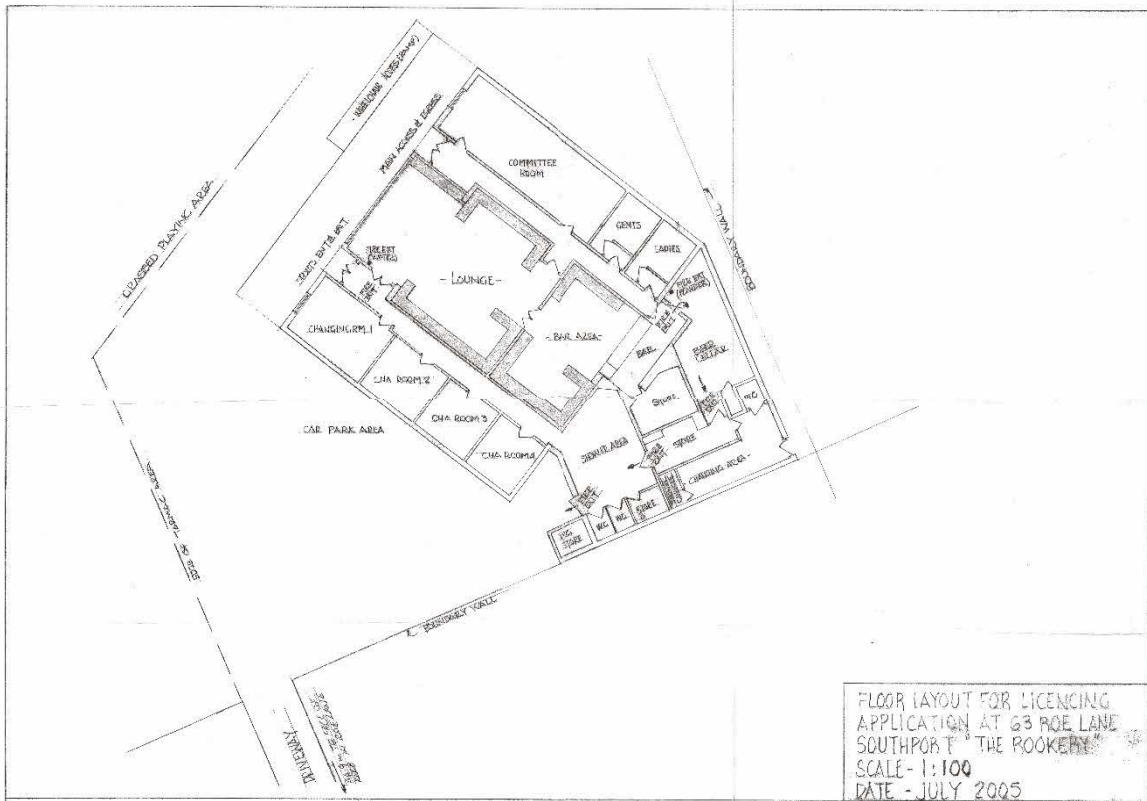


Figure 04 – Existing Floor Plan

**2.1 Existing Site.** Holy Trinity Recreation Ground Ltd is a registered Charity (510636) located at The Rookery, Roe Lane. Southport. The Charity is responsible for the care, maintenance and improvement of the playing fields which cover a 9-acre plot within a mile of Southport town centre. The land was left to the charity in 1925 by a local philanthropist for the recreational improvement of the local residents of the parish.

The proposed football and cricket part of the site extends to an area of 33,956sqm (3.39 Hectares) 8.3 acres and is mainly soft landscaping laid out as sports pitches comprising 2 no senior 11 a-side football, 1 no 9 a-side, 2 no 5-a-side and 1 no 7 a-side football pitches and 2 no cricket squares.

There are 5no parking spaces including 1 disabled space.

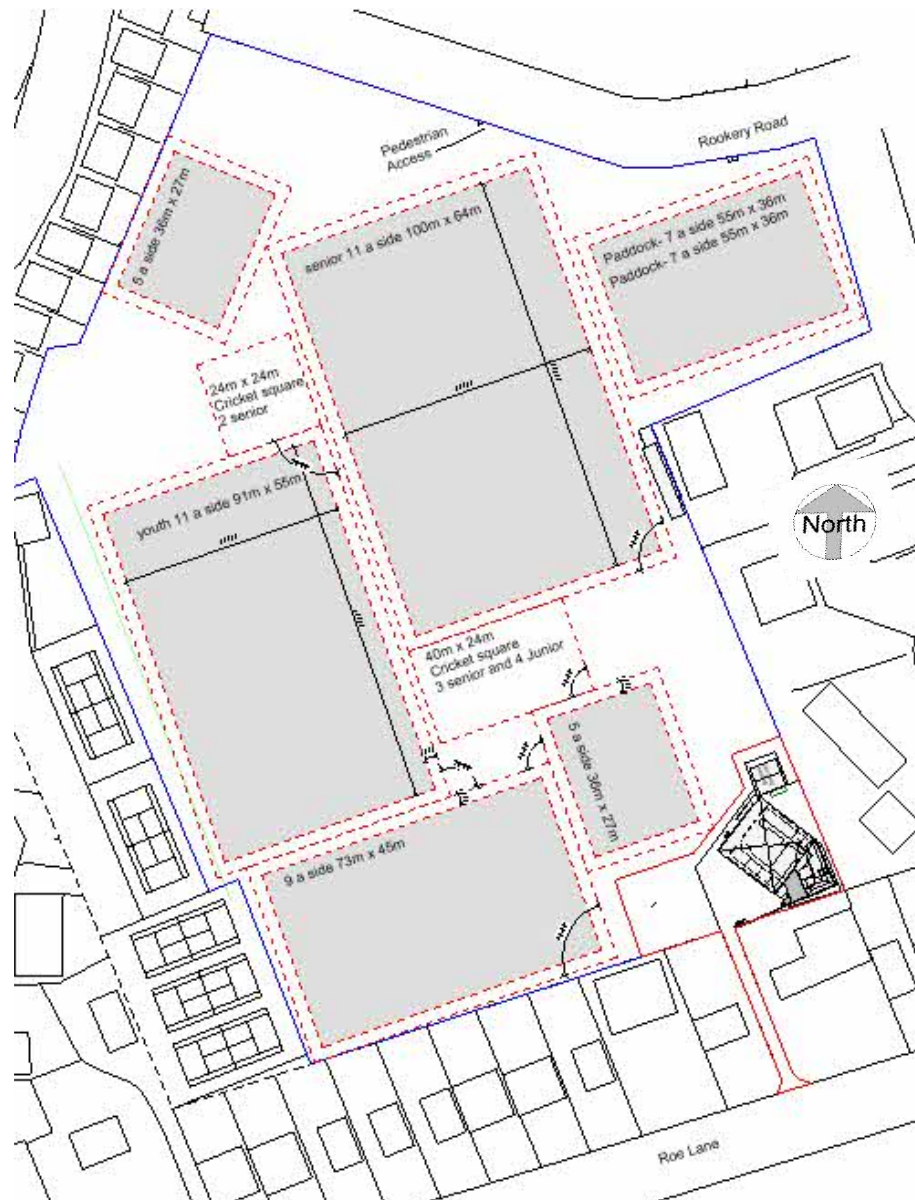
There are currently 3 cricket Clubs, one football club and a tennis club using the site.

- The three cricket clubs are comprised of 5 senior, 1 ladies team, and 3 junior sides with around 100 playing members and 50 social members in total.
- The Football club has 1 senior and 20 junior sides with around 300 players, 50 officials, coaches and managers.
- The Tennis Club have around 50 members in total.
- The clubhouse has a gross internal floor area of 328sqm.
  
- Community Use. The ground is used for several community group activities such as
  1. Boot Camp with 24 regular members
  2. Walking football for elderly exercise and wellbeing.
  3. Holy Trinity Primary School use the grounds for annual sports day and football practice and matches.
  4. Chess club with 18 regular members
  5. Sub Aqua Club with 40 regular members
  6. Darts and dominoes Team with 18 members playing in the local darts and dominoes leagues.

Note: the chess, sub aqua and darts and dominoes events took place in the old clubhouse and are currently temporarily located elsewhere. The intention is that they come back to the site. The clubhouse will be available for community use social and fundraising events.

The clubhouse is over 65 years old and is used for social events, after match refreshments and fundraising activity as well as committee meetings. The revenue from the clubhouse generated an income which is required to cover groundworks, utilities, rates, and insurance costs. The clubhouse facilities were in poor repair with structural problems and out of date changing facilities including a communal bath and changing rooms which are no longer fit for purpose. With the aim of increasing revenue, the charity funded a partial refurbishment of the function room which would enhance fundraising for the long-term plans including a complete overhaul of the facilities on offer. On 3rd April 2018 the clubhouse and changing rooms were partially destroyed by the fire only three days after the completion of the lounge and bar refurbishment. This has led to as severe reduction in revenue and the temporary requirement of two temporary changing rooms in the carpark which reduces the parking to two accessible spaces. The absence of the lounge and bar for over four years has increased the pressures on the finances and increased the reliance upon short term donations. This is not sustainable in the long term and has a major impact upon the development of the sports currently on offer.





**Figure 05**–Existing Site Plan with pitches

**2.2 Accessibility:** The site is located close to Southport town centre with good pedestrian links to local shops, bus and rail stations and the road network providing good access to the wider area.

Vehicular and pedestrian access to the site is via Roe Lane (A5267) to the south and via 2 pedestrian gates on Rookery Road to the north.

**2.3 Requirement:** The existing clubhouse layout is unsuitable for today's sporting demands for cricket and football. The existing communal shower and baths are unsuitable for developing the sports and making them available to a more diverse audience. The destruction caused by the fire provides an opportunity to redevelop the layout to today's standards.

**2.4 Proposed Layouts.** The proposed works include demolition of the existing clubhouse and the construction of a modern facility with up-to-date changing rooms including provision for

official/accessible changing room and function room with bar facilities. The proposed clubhouse will have a gross internal floor area of 378sqm, an increase in floor area of 41sqm.



*Figure 06–Proposed Layout.*

**2.4.1 Changing rooms.** There will be four changing rooms built in accordance with Sport England’s Design Guidelines (2016), each with a changing area of 20m<sup>2</sup>, four showers, (including 1 ambulant) and one toilet cubicle with wash basin. Each changing room has its own separate access so all changing rooms can be locked and are available for male, female or children’s use.

Note: Football requires a changing area of 18m<sup>2</sup> and Cricket requires a changing area of 20m<sup>2</sup> so each changing room will be designed to the larger area in order to accommodate both sports.

**2.4.2 Officials Changing room.** The Officials changing room will be able to accommodate up to three officials at any one time with accessible shower and separate accessible toilet with Doc M pack.

**2.4.3 Public Accessible Toilet.** Available to spectators or function room users.

**2.4.4 Function room Lounge.** The lounge will be able to accommodate 64 people seated with access to a bar and toilet facilities. A small kitchen prep area will be available. The bifold doors to the function room will allow the area to be opened up to the external covered terrace. The lounge will be used for fundraising events and will be available for hire for community use.

**2.4.5 External facilities.** There will be six parking spaces, (2500 x 5000mm), five of which will be accessible spaces to ensure inclusion. There will also be a deliveries space available for drop off and deliveries. Two no Cycle storage and refuse/recycling bin storage facilities will also be provided. These are located away from the building due to Secure by Design requirements. There will be a dropped kerb to the end of the carpark to enable emergency services access to the pitch side.

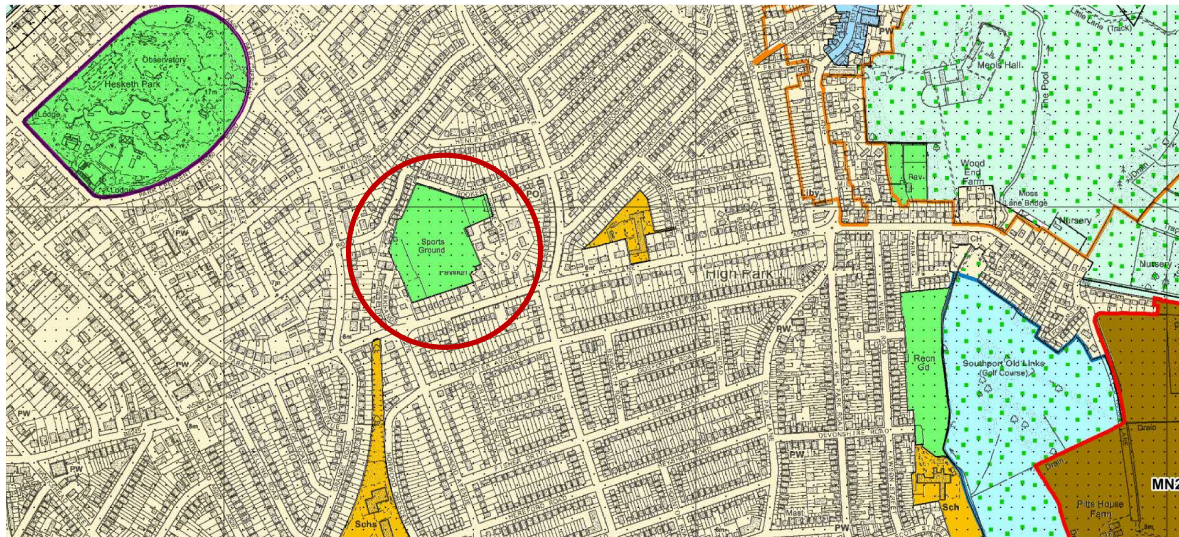


**2.4.6 Existing Tea room.** The existing tearoom will remain open to spectators. This has been a valuable resource during the closure of the clubhouse.

### 3.0 Planning policies.

The relevant planning policies are:

- NH5 Open space



**Figure 07**–Extract from Local Plan. NH5 Showing Open space area in green.

The existing site has been in use since 1924 and will be retained. The proposed is a like for like replacement of the clubhouse with facilities up to current standards that will allow the ongoing development of both sports.

#### 3.1 Pre Application Enquiry. DC/2022/02228 dated 14th December 2022.

The pre application enquiry confirmed the areas of concern and recommended the reports required.

**3.1.1** *In relation to 2c, the proposal would not undermine the plan's housing delivery objectives. Parts a. and b. in relation to the potential impact on the living conditions of neighbouring properties and the surrounding area, is discussed below.*

**3.1.2** *In relation to Local Plan Policy NH5, the proposal is acceptable in principle as long as there is no loss of outdoor sport pitches, squares or courts when assessed against the Playing Pitch and Open Space Strategy, which appears to be the case.*

#### **3.1.3 Residential Amenity and Design**

*'Should a full application be subsequently submitted, I would recommend the applicant considers the following matters, which if applicable to the development, should be addressed by submission of supporting evidence at the same time as the application. Typically, such evidence will be in the form of a specialist assessment and/or report: In this case, generally the replacement use is like for like with some betterment of facilities.*

**3.1.4** *The proposed small kitchen suggests a commercial style extraction system will not be required. A full application should provide additional information related to the function room use to ensure this does not adversely impact on nearby residents. For instance, breakout of entertainment noise and proposed opening hours. If provision of external lighting, including floodlighting forms part of a subsequent*



*application, this should be accompanied by an **obtrusive light assessment** to demonstrate that the proposed lighting scheme will not adversely impact nearby residential properties, with particular reference to the criteria within tables 3 and 4 of the Institution of Lighting Professionals Guidance Note GN01/21 The Reduction of Obtrusive Light.'*

Note: see opening hours and obtrusive light assessment by SHD.

**3.1.5** *The proposed clubhouse is located in the same location as the existing clubhouse with an increased floor area of 46m<sup>2</sup>. The main roof is lower in height overall, however the area located closest to the property on 65 Roe Lane, has **the roof height being higher than the existing roof**. The higher roof is being brought closer to this property. Therefore, the proposal will be more harmful to the residents living in this property, than the current situation. It is recommended that the height of the roof is reduced on this part of the building to reflect more of what is the existing situation.*

Note: The height of the roof has been amended as suggested.

### **3.1.6 Design**

*The proposal will use more modern materials, which are light in colour, which are similar to the materials used on the existing clubhouse and the surrounding area. It is noted in the Design and Access Statement that it fits in with the Sport England Design Guidelines of 2016. The **proposal is acceptable in design terms and fits in with the general character of the area**, which is a sports ground.*

### **3.1.7 Highways Requirements**

*The proposed development is to be accessed from the existing site access which is approximately 3.0m in width and **inadequate** to accommodate two vehicles side by side and as it is approximately 42m in length with **no passing places**, there is concern vehicles may be reversed onto the highway to give way to on-coming traffic with implications for pedestrians and cyclists safety.*

Note: Vehicular access will be restricted to management and disabled visitors. There will only be 6 parking spaces along with a delivery drop off space. The facing parking spaces will be 6m apart which is sufficient to turn a car around so that access and egress will always be in forward gear. Whilst there is no passing space along the route the lane is straight and visibility along it is good and the expectation would be that cars accessing the site would have priority over cars exiting the site. There is space in the car park for cars to wait to allow entering traffic to traverse the lane. The spaces will be allocated so access will be restricted. See Swept Path Analysis provided by AMNI Transportation Ltd.

**3.1.8** *It is stated in the DAS that there are two existing pedestrian accesses onto Rookery Road that would form part of the routes to the proposed development, but as these accesses currently have no connections to the proposed site and are internally of grass, they would be **unsuitable for use by wheel/push chair users, pedestrians during rainy weather and by cyclists**, unless provided as clearly defined pedestrian/cycle routes with hard surfacing.*

Note: The access is existing. During rainy weather the pedestrian and bicycle access will be via the lane off Roe Lane. There are no plans to provide hard surface routes across the pitches as this would restrict flexibility with the pitches.

**3.1.9** *The indicative layouts included in the submission shows 6 no proposed off-street parking spaces comprising of 1 no regular and 5 no disabled parking spaces **which is well below the level of provision** required by Sefton Council Parking Standard. Highways does not actively encourage on-street parking where highway safety may be compromised and due to the potential to adversely impact residential amenity. For a development of the scale proposed in this area, **some level of off-street parking and servicing is necessary to alleviate congestion** on the highway, protect and improve safety of pedestrians and to safeguard amenity of residents of properties in the area.*

Note: The provision of sporting facilities on the site has been in place for nearly a 100years. This application is for the renewal of the clubhouse and changing facilities. The current parking level on the site is compromised due to the requirement for temporary changing and toilet facilities due to the closure of the clubhouse after the fire.

**3.1.10** *The proposed off-street parking provision is inadequate and there is concern that during match days and on days of multiple games taking place as stated in paragraph 5.3 of the DAS, particularly when such games clash with other events at the 72-seating capacity function room lounge, spectators and attendees would resort to on-street parking at inappropriate locations to the detriment of highway safety and residential amenity. Provision is also required for coach parking off-street. Therefore, any full application submission should include a Transport Statement setting out the transport issues relating to the site and details of the of the proposed development with an Accessibility Checklist or Minimum Accessibility Standard Assessment (MASA) to demonstrate the extent to which the site is accessible by all modes of travel including walking, cycling and use of public transport as to warrant the proposed reduced level of off-street parking. The full application submission should also include a Travel Plan.*

Note: See Transport Statement, Accessibility Standard Assessment and Travel plan by CTS.

**3.1.11** *The provision shown on the indicative layout is not considered adequate to allow for safe turning of large/long vehicles that would be involved in removal of refuse and deliveries to the site, therefore any full application submission should include the relevant swept path analysis to demonstrate that the turning of these vehicles can be safely accommodated on site.'*

Note: The refuse and recycling bins will be locked away in a bin store. The bins will be taken down to kerbside on Roe Lane and there will be no requirement for refuse vehicles to enter the site. Construction vehicles will turn around within the temporary construction compound within the site. Delivery vehicles will consist of small vans that can park in the drop off space and turn within the carpark. See Swept Path Analysis provided by AMNI Transportation Ltd.

**3.1.12.** *The proposal in its current form is contrary to Local Plan Policy EQ3 'Accessibility'.*

Note: See Transport Statement, Accessibility Standard Assessment and Travel plan by CTS.

### **3.1.13 Ecology**

*The photograph of the existing building; Figure 02 in the Design and Access Statement, shows the existing clubhouse to be boarded up and appears vacant. As the building is not used, this could provide a habitat for bats. It is therefore recommended that a bat roost potential survey is carried out and if bats are found to be present then a full bat survey is required. If full emergence surveys are required, then these will be required prior to determination. Please note that emergence surveys can only be carried out between May-August. The information is set out in the Council's Nature Conservation Supplementary Planning Document, which can be found via the following link:*

Note: See Bat Roost Potential Survey by the Tyrer Partnership dated July 2023.

### **3.1.14 Consultation**

*The Council's most recent Statement of Community Involvement (March 2018) is available to view on the Council's website. Before submitting a planning application, the local planning authority recommends that the applicant consults with the immediate neighbours and businesses, who may be affected by the proposal.*

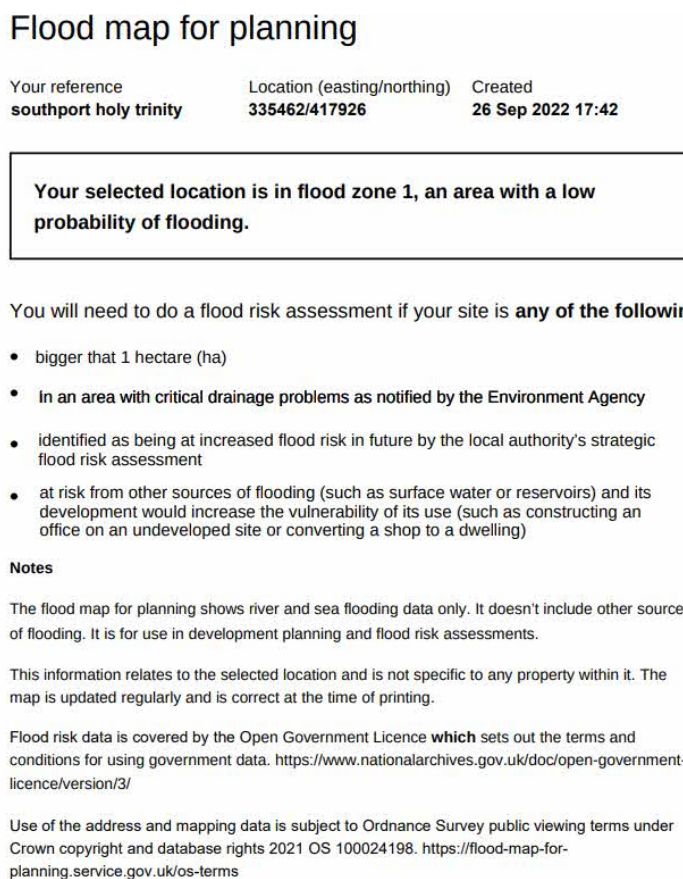
Note: The sports club will be holding several consultation meetings at the tea rooms on the site.

### 3.1.15 Conclusion

*The proposal is acceptable in principle, however there are concerns in relation to the impact of the proposal in relation to the living conditions of the neighbours as set out above. There is also additional information required to demonstrate that the proposal is acceptable in highway safety terms. There is also additional information required in relation to the function room use to ensure that this does not adversely impact on nearby residents. For instance, breakout of entertainment noise and proposed opening hours. If provision of external lighting, including floodlighting forms part of a subsequent application, this should be accompanied by an obtrusive light assessment to demonstrate that the proposed lighting scheme will not adversely impact nearby residential properties. The proposal is unacceptable at present but is capable of complying with requirements subject to the points above being addressed.*

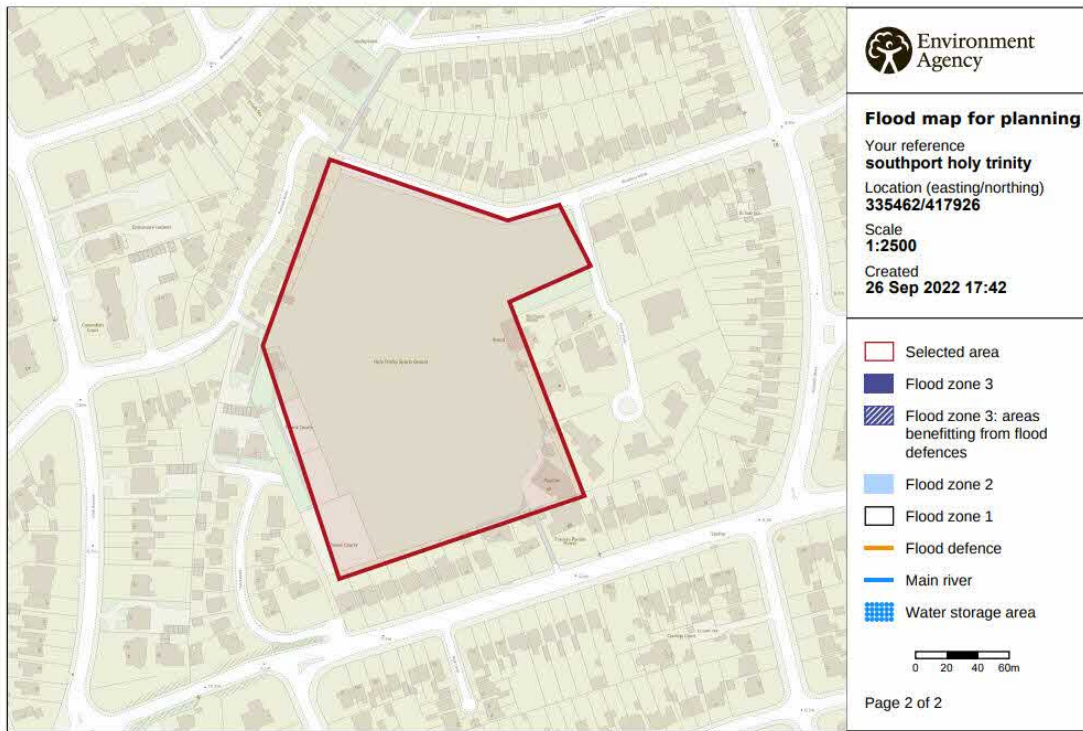
## 4.0 Flood Risk Assessment.

The site is regarded as being within flood zone 1.



**Figure 08 – Flood risk site map.**





**Figure 09 – Flood risk site map.**

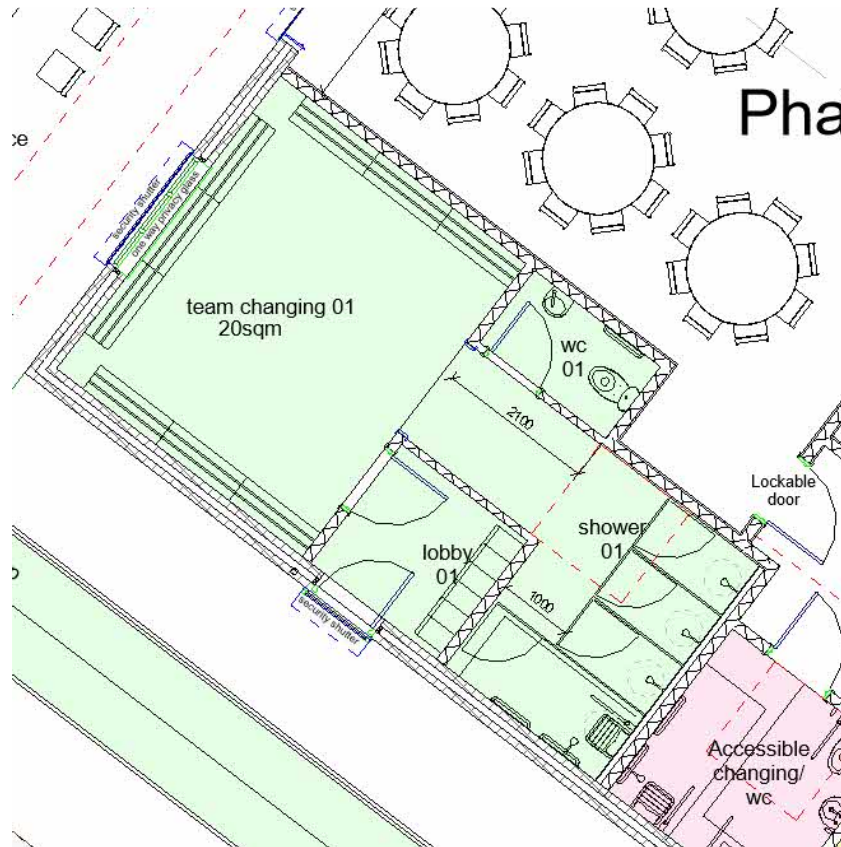


**5.2 Layout.** There are two types of changing room.

**5.2.1 Changing Rooms 1 and 2.** Changing rooms 1 and 2 can be accessed from the external walls without entering the main part of the building. Each changing room has views of the cricket square and are accessed from the side via a lobby with storage lockers for kit and equipment. The changing room is 20sqm in floor area with benches around three sides. The changing rooms are unisex and are suitable for cricket and football.

A small lobby separates the wc and showers. The walls will contain notice boards with league and fixture information and advertising space for events in the function room. There are four showers one of which is ambulant accessible.





*Figure 11 – Changing room 01 layout.*

**5.2.2 Changing Rooms 3 and 4.** Changing rooms 3 and 4 can be accessed from the spectator's entrance. Each changing room is accessed from the side via a lobby. The walls will contain notice boards with league and fixture information and advertising space for events in the function room. The changing room is 20sqm in floor area with benches around three sides. The changing rooms are unisex and are suitable for cricket and football. There are storage lockers for kit and equipment located in the Spectators entrance corridor. A small lobby separates the wc and showers. There are four showers one of which is ambulant accessible.

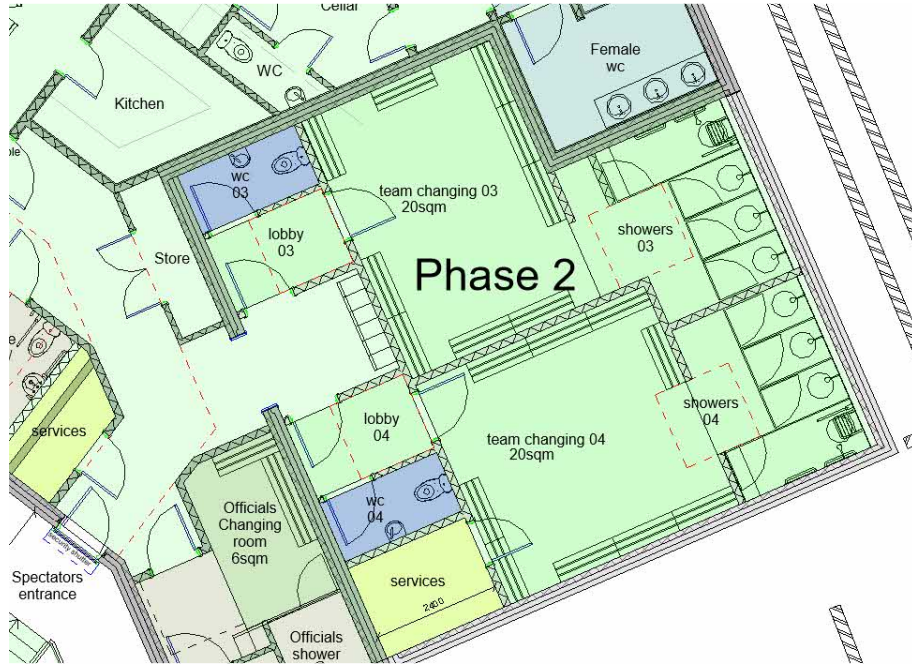


Figure 12 – Changing Room 3 and 4 layout

**5.2.3 Accessible Changing Room.** The accessible changing room includes a shower and accessible wc with a bench for changing. This is accessed via the Spectators entrance. This room will be fully tiled. This room will be made available for cyclists changing.

**5.2.4 Officials Changing Room.** The officials changing room includes a shower and wc with benches for changing. This is accessed via the Spectators entrance. This room will be fully tiled.

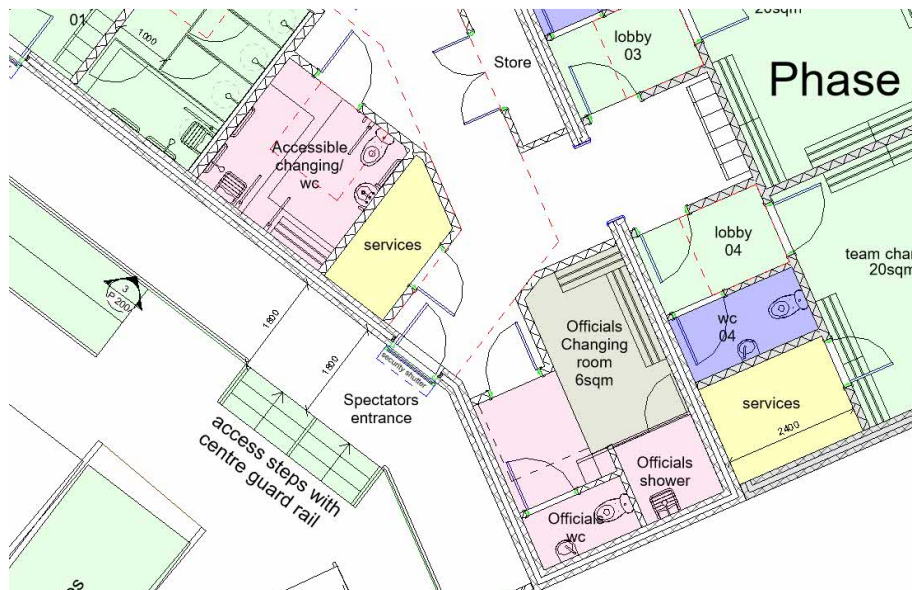
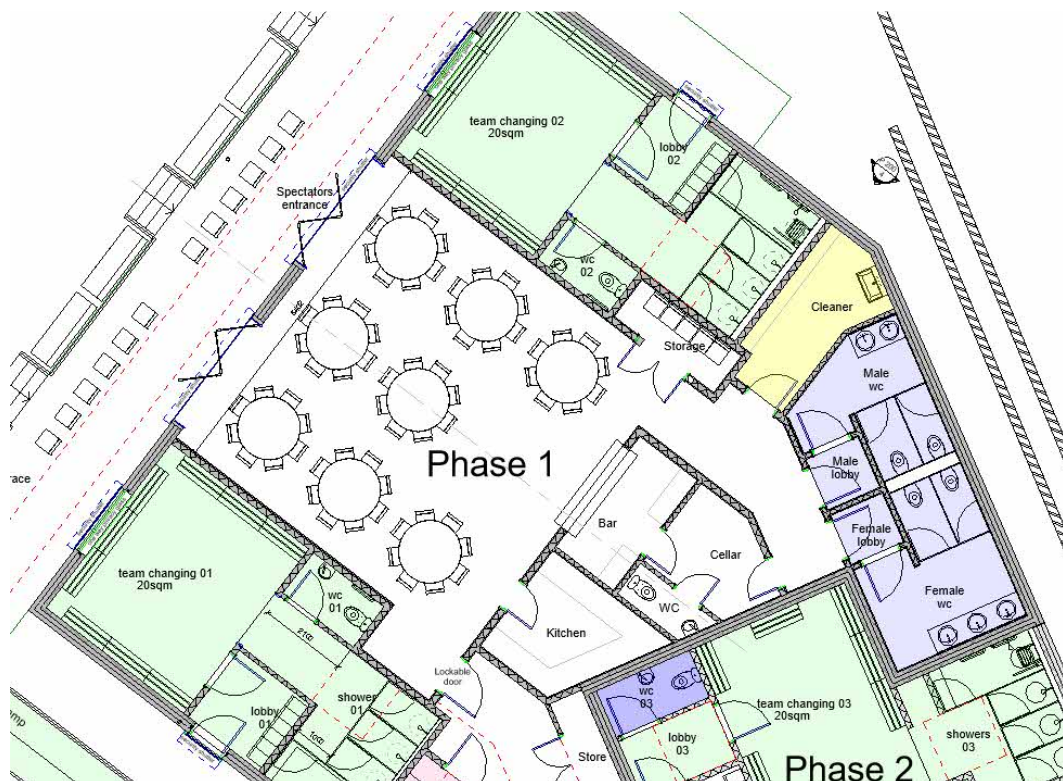


Figure 13 – Officials and Accessible Changing layout

**5.2.5 Clubhouse.** The function room can seat 64 and will be used for fundraising events, children's parties and for serving refreshments during matchdays. The facilities include a bar, kitchen, cellar and staff toilet. A cleaner cupboard and chair storage room. The male and female toilets each have a privacy lobby.



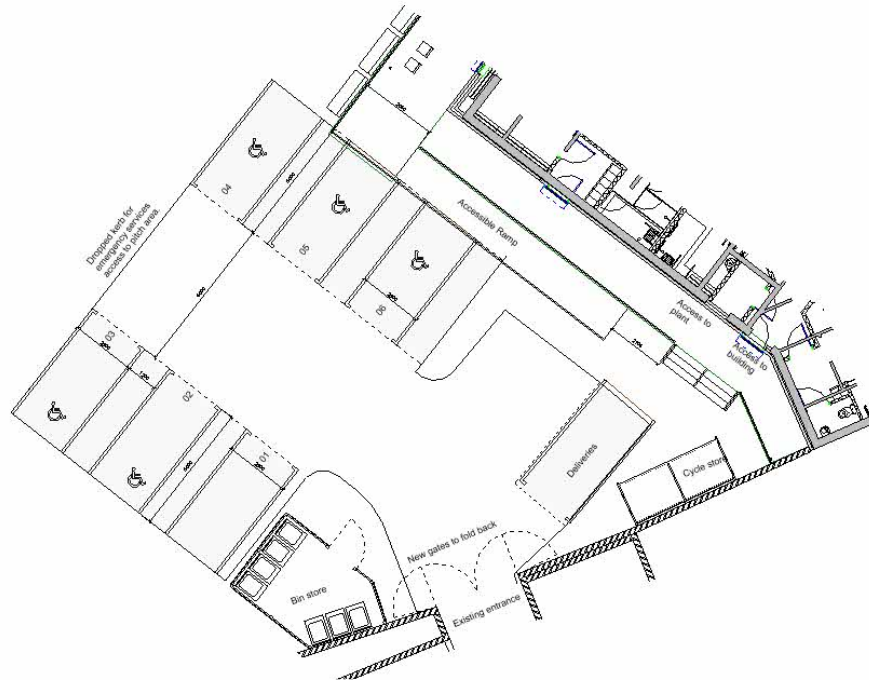
**Figure 14** – 3d view of clubhouse from pitch side.



**Figure 15** – Function Room Layout.

**5.2.6 External Areas** There will be 6 parking spaces, five of which will be accessible with a 1200mm refuge to the side. Each space will be 5m long and 2.5m wide. A dropped kerb will provide emergency service vehicle access to pitch side. The new gates will swing back towards the wall and will be restrained in an open position during training and matches. There will be two cycle shelters which will encourage bicycle use. One near the clubhouse and one near the north entrance off Rookery Road. Access to the building will be via a ramp or steps.





**Figure 16 – Proposed carpark layout.**

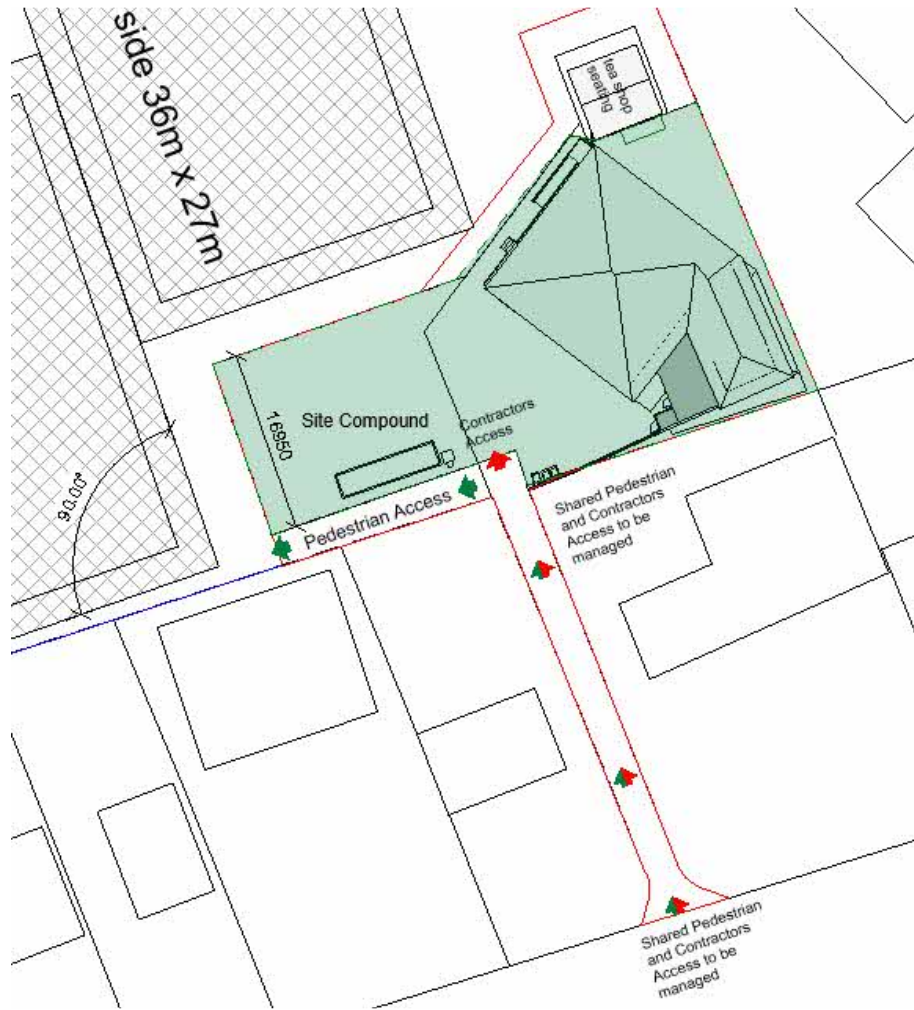
**5.2 Construction.** The external walls will be of masonry construction with split face concrete block such as Forticrete in Yorkstone. The roof will be metal cladding with PVC plastisol coating. Window and door frames will be powder-coated aluminium with clear double glazing with laminated and toughened glass.



**Figure 17 – Forticrete Splitfaced Yorkstone.**



**Figure 18 – Corrugated plastisol coated roof sheet.  
Goose wing grey**



**Figure 19 – Contractor's site compound**

**5.3 Contractors Site Compound.** A secure site compound will be installed for the duration of the construction works. A Harris type fence will be installed around the perimeter with lockable access gate. Deliveries to site will be managed by the contractor and will not clash with matchdays or practice. Pedestrian access will be around the perimeter. The site compound will be stoned up and site cabins placed.

**5.4 Phasing of works.** To assist with funding of the project the construction works will be carried out in two phases.

Phase 1- Consists of Carpark, access ramp and steps, Function Room, Changing Rooms 1 & 2, Bar, kitchen, Male and Female Toilets, Accessible changing room and wc, Officials changing and function room terrace.

Phase 2- Consists of Changing Rooms 3 & 4.



**Figure 20 – Phasing of Project.**

**5.5 Ventilation.** All toilets and changing rooms will have Vent Axia Silent. From only 12dB(A) and IPX5 - Zone 1 rated. Meets current Building Regulations Approved Document F and L. Light fitting operation with 15 minute overrun.

Changing Rooms Main area 6 – 10 Air changes per hour.  
Changing Rooms Shower area 15 – 20 AC/Hr  
Lavatories 6-15 AC/Hr  
Kitchen 30 AC/Hr

**5.6 Cycle storage.** Secure cycle storage will be provided in two locations, one near the clubhouse and one near the north entrance off Rookery Road.



**Figure 21 – Secure Cycle storage.**



**5.7 Ecology.** The site use is existing and has been in place since 1924. There are no planting areas on the site. The pitches are maintained regularly which includes regular cutting of the grass. Opportunities for ground nesting birds are extremely limited.

See Bat Report by the Tyrer Partnership dated July 2023.

Appendix ii provides recommendations for habitat biodiversity.

- Bee bricks will be installed on the south facing wall of the northern boundary.
- The House sparrow terrace (2 no) can be incorporated in the new building on the quieter north elevation.
- The traditional birdboxes can be attached to the boundary walls away from the pitches and disturbance by spectators.
- New Shrubs- Honeysuckle and Guelder Rose will be planted along the boundary of the Paddock area and the northern boundary.
- New Trees to be planted to the western boundary north of the tennis pavilion and to the northwestern corner.

See P10 Proposed Site Plan for locations.

**5.8 Siting:** The existing buildings are to be demolished to facilitate the new clubhouse. The existing building line will be utilised where possible.

Existing boundaries will remain with road and pavement surfaces repaired.

**5.9 Refuse collection.** The bin store will be located in a secure area away from the building to ensure there is no risk of fire.

The bin store will be secure and accessible with external lighting and washdown facilities. Each standard wheeled bin is 1100 litres. Recycling facilities are also included.

- 3 no refuse bins (1100 litre each)
- 1 no paper and cardboard and 3 no glass and cans (all 1100 litres).

The bins will be taken from the bin store to the kerbside on Roe Lane by club members.

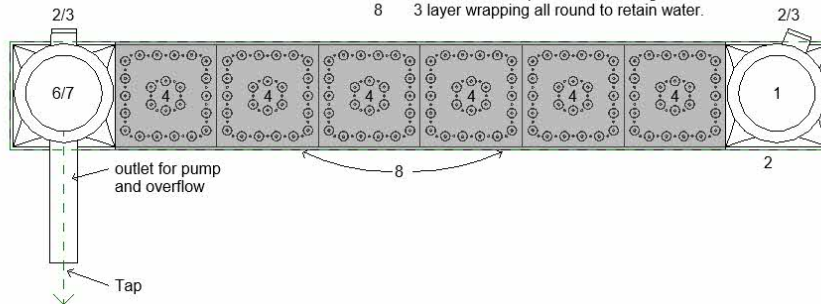
**5.10 Drainage Layout.** The foul drainage for the proposed residential properties would connect to the existing system on site.

All roads and new paths within the site would be block pavements and form part of a SUDS system with water attenuation crates and to dissipate via the existing surface water drainage at a reduced rate. The retained water can be used to supplement the water required to water the pitches.

GRAF Rainwater harvesting with EcoBloc Inspect flex and light system. fully wrapped in 3 layer geotextile/geomembrane/geotextile.

System comprises.

- 1 Filter Shaft with telescopic dome shaft and pedestrian loading
- 2 Infiltration Inlet
- 3 Vario 800 flex type 2 shaft
- 4 1 layer of EcoBloc light on top of
- 5 1 layer EcoBloc inspect Flex
- 6 Submersible pump in
- 7 pump shaft with overflow and with telescopic dome shaft and pedestrian loading
- 8 3 layer wrapping all round to retain water.

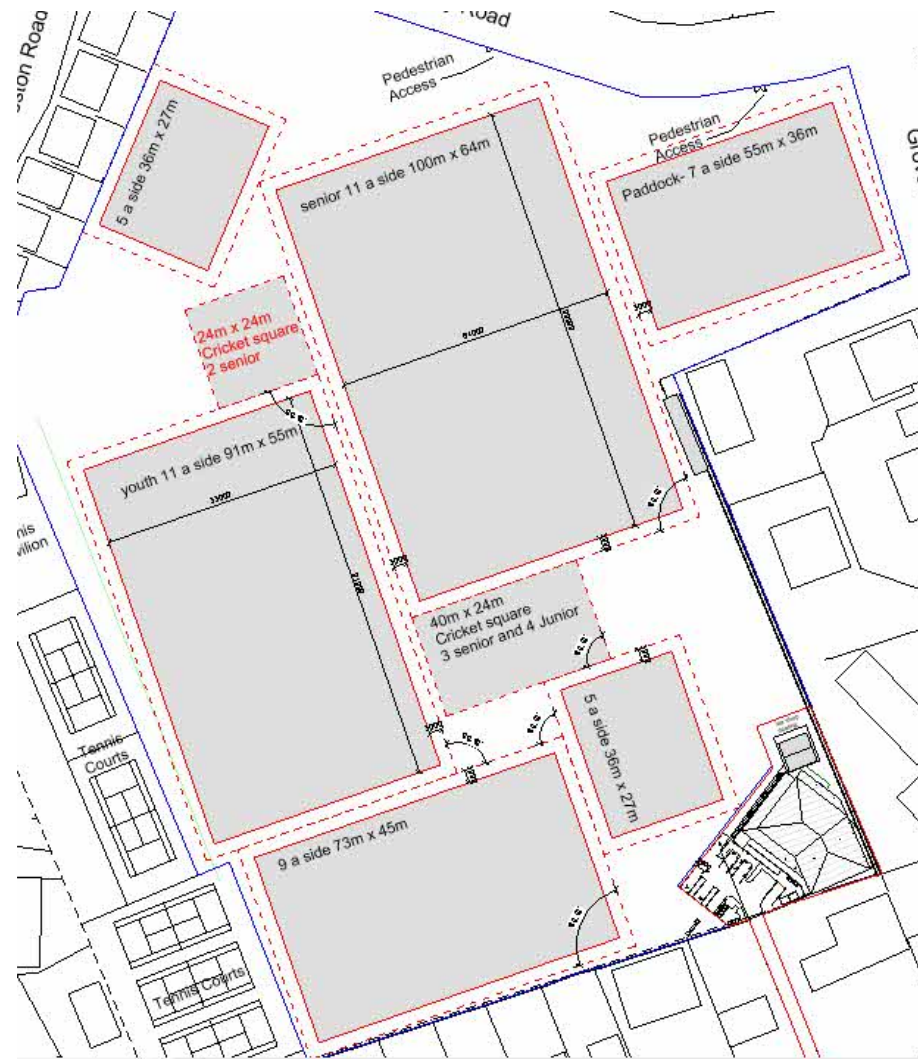


**Figure 22 –Proposed water attenuation**

The diagram above shows half of the attenuation proposed. The system can be added to as funds allow in order to increase the water available for pitch watering.

## 6.0 Cricket Square Management Holy Trinity CC

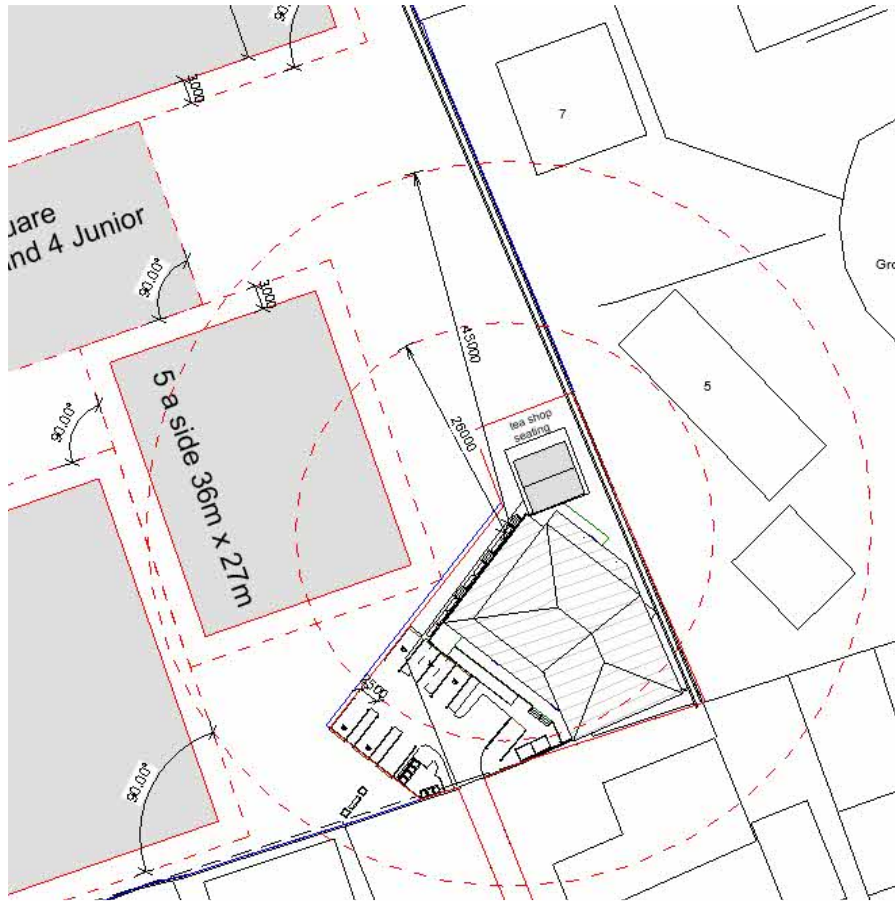
The club has played on the ground for around 100 years offering cricket and football. without ever having any sort of pitch availability issues. There are 14 cricket pitches on the 'main' square, 2 of which are earmarked for junior games. This has always been ample for the four senior teams and 5 junior teams each season. The Rookery Road square has 5 strips and the pitches are each used 3-4 times per season. The use of careful pitch management ensures there is always spare capacity if required.



**Figure 22 – Sports Pitches.**

### 6.1 Opening Hours.

The opening hours reflect the existing arrangements. Fundraising events and special occasions will usually occur on Friday and Saturday evenings. The Spectators entrance on the southwest side is lobbied from the function room. The function room doors open out on the northeast side facing the pitch. The nearest properties are No 5 Grove Park- 26 metres away and No 7 at 45m away.



**Figure 23 – Acoustic distances**

Monday	7am-9pm
Tuesday	7am-9pm
Wednesday	7am-9pm
Thursday	7am-9pm
Friday	7am-11pm
Saturday	7am-11.30pm
Sunday	7am-6pm



## 7.0 Summary

It is concluded that this scheme offers a carefully crafted and the best opportunity to secure the long-term future for the buildings and site at The Rookery.

- The proposed scheme is sympathetic to the site and there is minimal impact upon the neighbours and the general character of the area.
- The proposal integrates well with the surrounding community and is compatible with the existing use of the site.
- Existing access arrangements will be maintained.
- The active use of the site will reduce the opportunities for antisocial behaviour.
- The proposed scheme is located within close proximity to transport links and general facilities reducing the requirement for car use and enhancing pedestrian and public transport use.
- Cycle storage is provided.
- The proposed works will ensure the longevity of the Charity and clubs and provide sporting facilities for all.

End