



# Application for Consent Under Section 153 of the Highways Act 1980

**BPP House, Grove Avenue, Bristol**

**BPP Holdings Ltd**

Prepared by:

**SLR Consulting Limited**

7 Park Row, Leeds, LS1 5HD

SLR Project No.: P3492

Client Reference No: -

6 December 2023

Revision: 001

# Application for Consent to Outward Opening Door

## Introduction

- 1.1 This highways act application note seeks consent from Bristol City Council as Local Highway Authority under Section 153 of the Highways Act 1980 for an outward opening new entrance door to facilitate disabled access to BPP House, Grove Avenue, Bristol. SLR Consulting has prepared this application note on behalf of the applicant, BPP Holdings.
- 1.2 BPP Holdings Ltd have been in Bristol since 1999, when they moved into Kingsons House; now known as BPP House. The building is located on the junction of The Grove and Grove Avenue, to the south of Queen Square.
- 1.3 BPP is a global leader in providing education to over 58,000 learners per year, working with 7,000 businesses and its Bristol hub has been educating local people since 1999, and providing employment for many local staff.

## Development Proposals

- 1.4 The proposal comprises the installation of a disabled access arrangement which includes a new entrance door with keypad access and a wheelchair lift platform. The new access is located on the Grove Avenue elevation of BPP House.
- 1.5 The proposed disabled access is necessary to serve BPP's continued use of BPP House and will benefit both staff and students accessing the building. The new access point is adjacent to the existing stepped entrance to the building which provides general access.
- 1.6 The proposal involves a door which would open outwards over the footway on the western side of Grove Avenue.
- 1.7 BPP House has its ground floor above street level and there is no opportunity for a ramp from street level, a lift is therefore necessary to provide wheelchair access into the building. An internal lift cannot be accommodated with an entrance door opening inwards since there is insufficient space for it without compromising the building's structural integrity.
- 1.8 There is therefore no alternative to obtaining disabled access into BPP House without an outward opening door at the proposed location.
- 1.9 The latest proposals for the entrance and the immediately surrounding highway is presented as **Appendix A** to the rear of this report.
- 1.10 A similar previous (unimplemented) application was submitted to Bristol City Council in 2013. This application was ultimately successful at Appeal (Planning Inspectorate ref: APP/Z0116/W/15/3131531). I will refer to the Inspector's findings on highways within this application note.

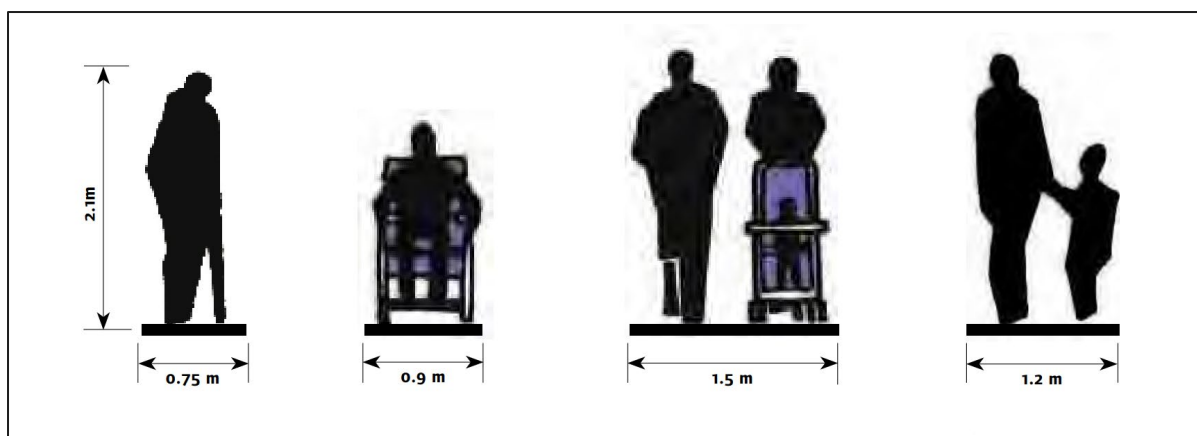


## Existing Situation

- 1.11 Grove Avenue is a short cul-de-sac without a turning head which carries very little vehicular traffic.
- 1.12 Footways are provided on each side of the street but are also only lightly used.
- 1.13 Pedestrians who do use the street tend to favour the footway on the eastern side as well as the carriageway itself over the footway on the western side adjacent to the application site. This is due to a more direct desire line being found on the opposite side of the street running from the controlled crossing of The Grove into Queen Square and onwards across its central footpath.
- 1.14 The footway at the point of the proposed entrance is approximately 2.5 metres wide which reduces to about 2 metres just past the stepped entrance, due to the more forward position of the adjoining building. This arrangement results in a tendency of those few pedestrians who pass the site to use the outer part of the footway rather than walk close to the application building.

## Policy Background

- 1.15 It is considered that the proposal would accord with the development principles set out in Policy BCS10 of the adopted Bristol Development Framework Core Strategy as well as Policy DM23 of the Bristol Local Plan Development Management Policies.
- 1.16 Government guidance set out in Manual for Streets advises in para. 6.3.22 that the minimum unobstructed footway width for pedestrians should generally be 2m but paragraph 6.3.23 goes on to say that widths can be varied between different streets to take account of pedestrian volumes and composition.
- 1.17 The extract below (*page 68 Manual for Streets*) shows widths required for wheelchair users and pushchairs to use the footway with ease.



## Proposed Development Interaction with the Public Highway

- 1.18 A plan of the proposal is submitted as E6287G-PR Rev 7, attached as **Appendix A**.



- 1.19 The proposal is slightly recessed into the building such that the maximum sweep of the opening door over the footway is shown to be 525mm. On the occasions when the door is opened the resulting footway width will be just under 2m. Given the low usage of the footway and particularly at this specific location this is not considered to be unduly restrictive and is in line with guidance set out in Manual for Streets.
- 1.20 To avoid a possible hazard at such times, the proposal shows steel barriers on both sides of the entrance to prevent people accidentally walking into the open door and the proposals specify an aluminium framed glass door, such that anyone using the new access will be able to see other users of the highway and vice versa. A pedestrian visibility splay of 2.0m x 2.0m is shown in **SLR drawing ref: P3492**.

### Planning Inspectors Comments on Highway

- 1.21 Roger Dean BSc DipTP MRTPI Planning Inspector appointed by the Secretary of State for Communities and Local Government in his decision dated 18 February 2016 (Planning Inspectorate ref: APP/Z0116/W/15/3131531) concluded for an identical proposal that:

*“I am satisfied that the proposal would safeguard the pedestrian network in this part of the City and I can see no reason why the occasional reduced width of useable footway would be incapable of providing safe and convenient access for all sections of the community. Indeed, the proposal would obviously be beneficial in this regard for wheelchair users.”*

### Conclusion

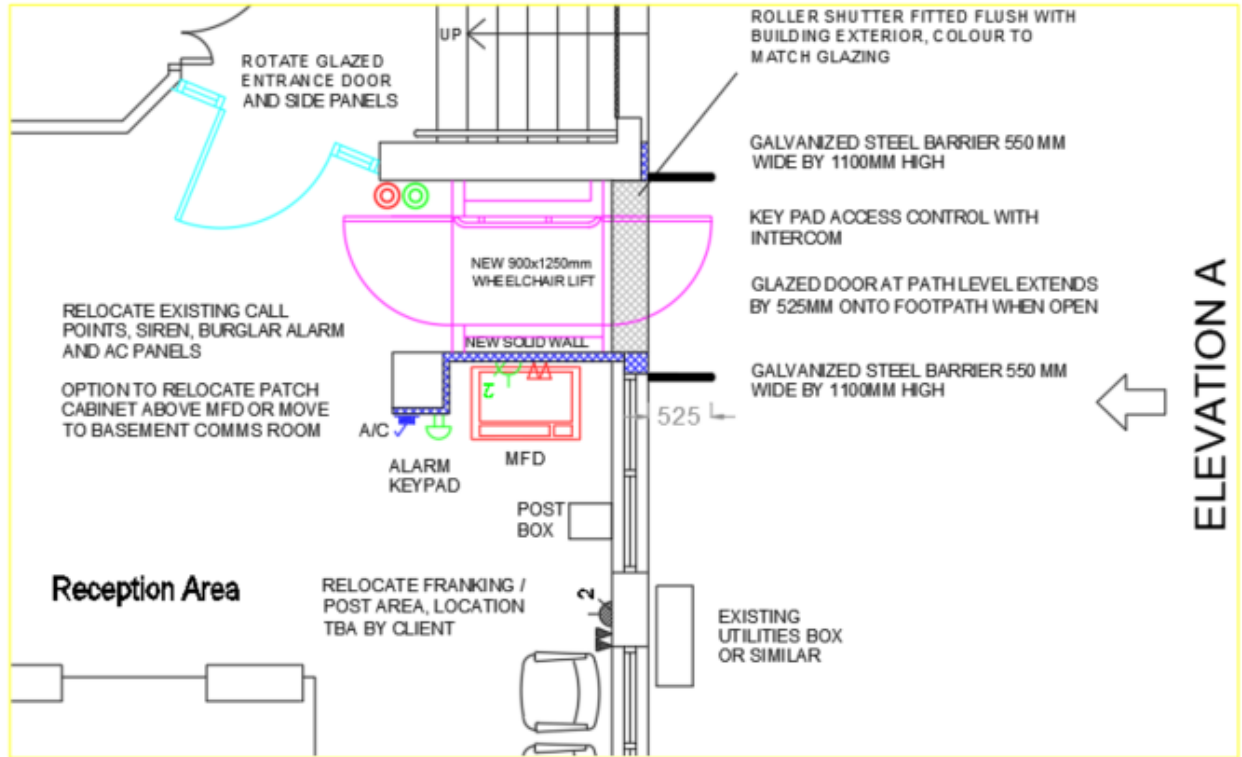
- 1.22 It is therefore concluded that there are no substantive highway reasons why Bristol City Council should not consent to the proposals referred to in this note for the outward opening door as provisioned in Section 153 of the Highways Act.



## Appendix A



**PROPOSED GROUND FLOOR**



**KEY**

- NEW FILL HEIGHT BOARD (GLAZED WINDOW WITH MANTLEPIECE)
- NEW SOLID PARTITION
- NEW FRAMED GLAZED DOOR PARTITION
- NEW HALF OPEN FIRE RESIST GLAZED PARTITION

NEW DOOR, NEW DOOR, EXISTING DOOR

EXISTING 1200mm x 2000mm (2000mm x 2000mm) GLAZED ALUM. INFILL - 4 PANELS (1200mm x 2000mm)

EXISTING 1200mm x 2000mm (2000mm x 2000mm) GLAZED ALUM. INFILL - 4 PANELS (1200mm x 2000mm)

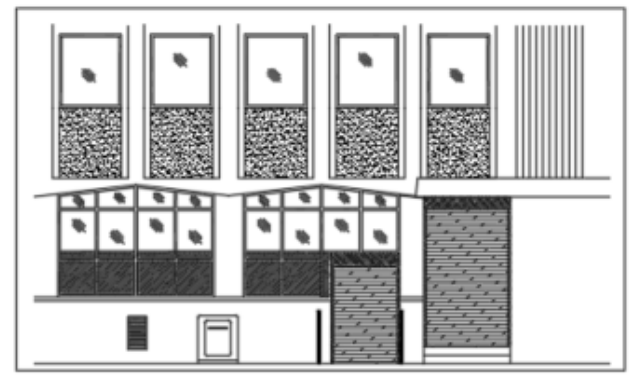
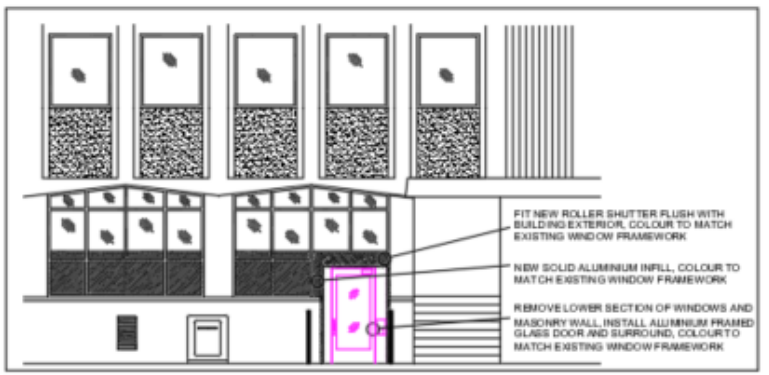
- EXISTING 900mm x 900mm SUPPLY A/C UNITS
- EXISTING 900mm x 900mm EXTRACT A/C UNITS
- EXISTING 900mm x 900mm 4 TUBE LUMINAIRE FITTING
- RELOCATED 900mm x 900mm 4 TUBE LUMINAIRE FITTING
- LUMINAIRE FITTING INSTALLED WITH EMERGENCY POWER BACKUP
- EXISTING RELOCATED SPOTLIGHT FITTING
- EXISTING RUNNING MAIN FIRE EXIT SIGNAGE
- EXISTING 2 COMPARTMENT FLOOR BOX

- EXISTING WIRELESS DATA POINT
- NEW TELEPHONE POINT
- NEW DRINKING WATER POINT
- NEW SINGLE SWITCHED SOCKET OUTLET
- NEW LIGHT (BRO) -
- NEW SWITCHED SPUR
- EXISTING DETECTOR
- EXISTING PA SYSTEM
- EXISTING TELEPHONE OUTLET
- EXISTING DOUBLE SWITCHED SOCKET OUTLET
- EXISTING WALL (BRO) SOCKET OUTLET
- EXISTING LIGHT SWITCH
- FIRE ALARM BELL
- FIRE ALARM CALL POINT

NO.	DESCRIPTION	DATE
1	ISSUE PERMITS	12/07/14
2	ISSUE & FIT ALUM. INFILL BOARD	12/07/14
3	REMOVE FRANKING / POST	12/07/14
4	REMOVE TOP PARTITION	12/07/14
5	REMOVE LIGHT POINTS	12/07/14
6	FIT GLAZED ALUM. INFILL BOARD	12/07/14
7	ELEVATION WORK WITH ROLLER SHUTTER (WORK OVER THE GLAZING)	12/11/14

Survey data by form

ELEVATION A - SCALE @ 1:50



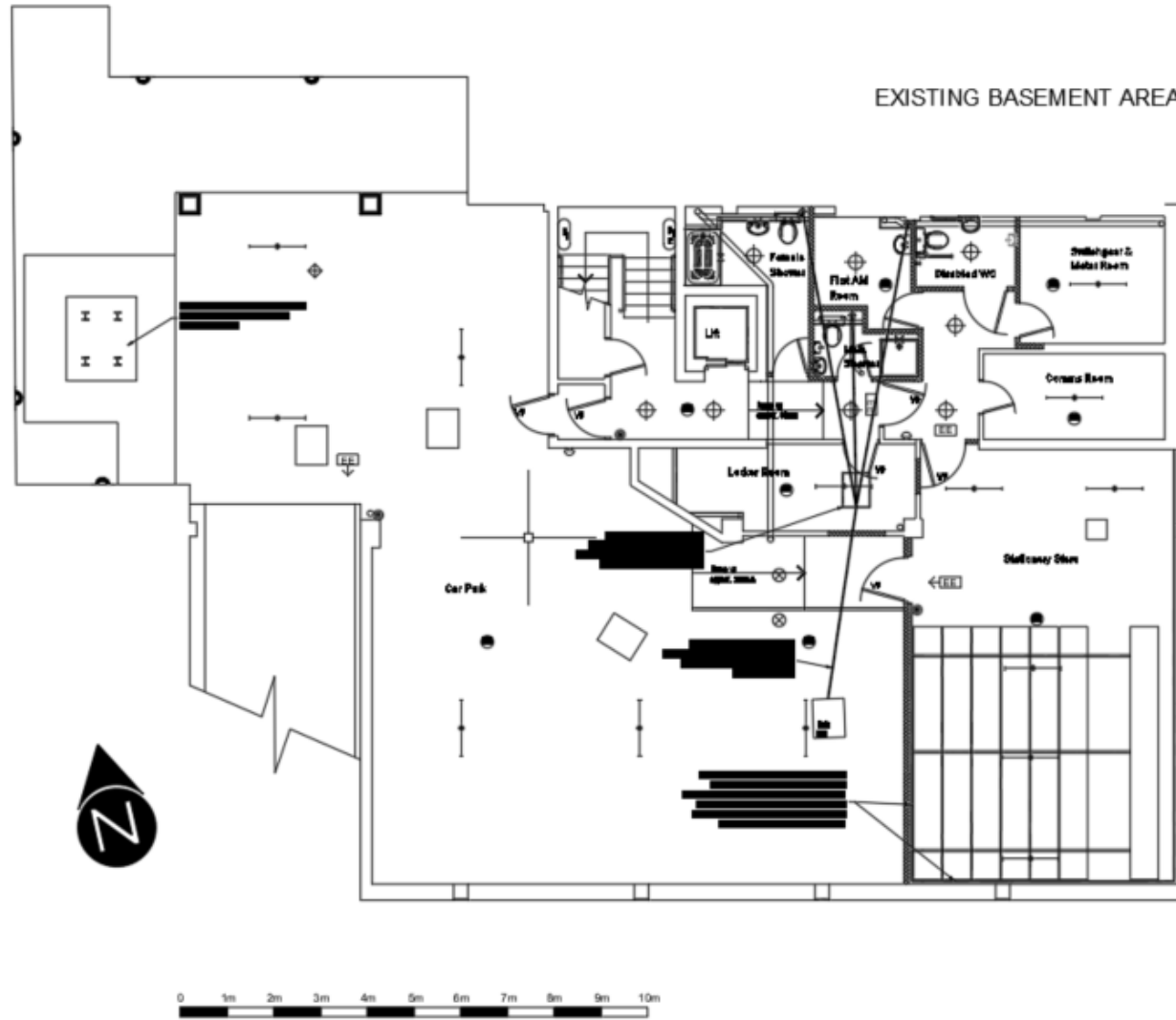
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 SITE: BPP HOUSE, GROVE AVENUE, QUEEN'S SQUARE, BRISTOL BS1 4DY  
 DESCRIPTION: PROPOSED GROUND FLOOR LAYOUT  
 Date: 17/12/14 Scale: 1:20 SIDRTG-PR Rev 7

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EXISTING BASEMENT AREA



- Differentiated reinforced Br
- Reinforced Br
- Mixed reinforced Br
- Concrete block Br
- Asphaltcrete block
- Asphaltcrete block
- Reinforced emergency exit
- Reinforced steel column

REV	DESCRIPTION	DATE
1	ISSUE DRAWING	17/12/14

Survey data by others

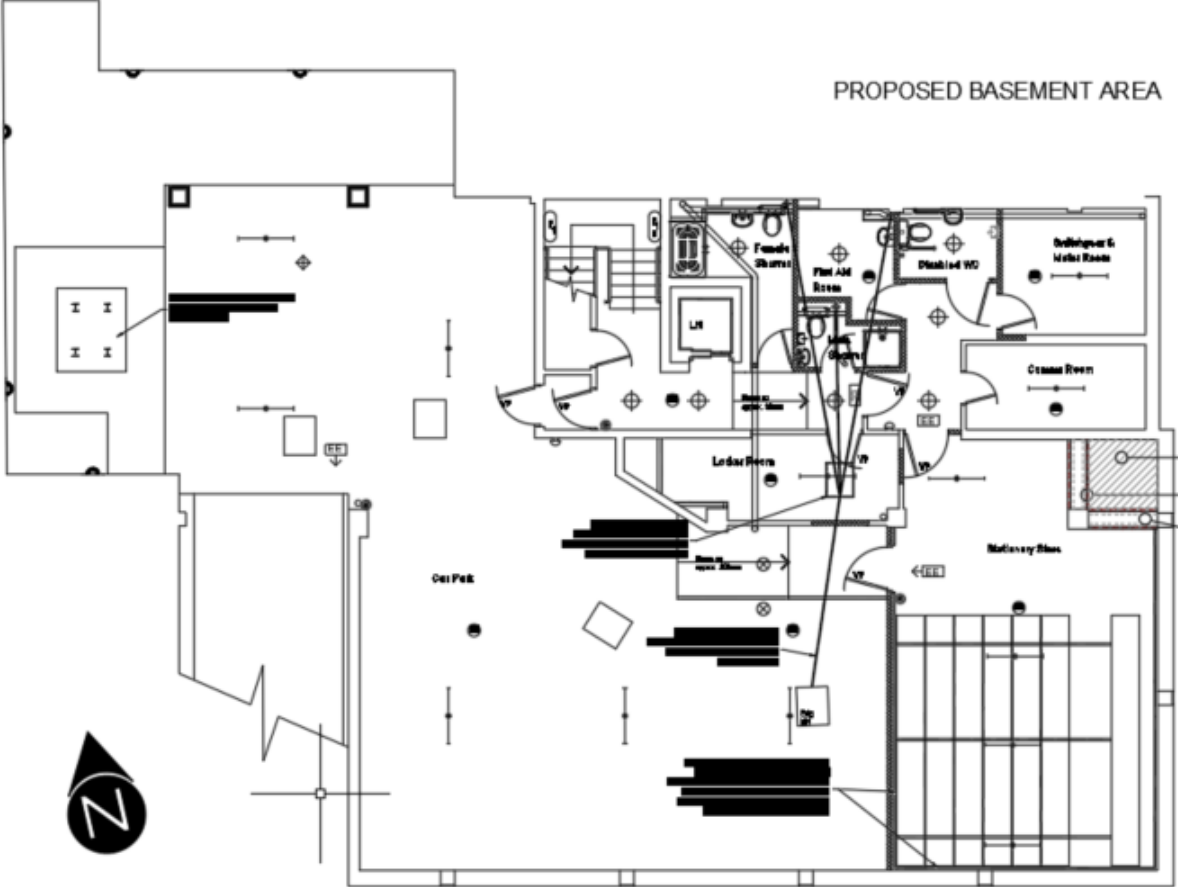
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 BRISTOL BS1 4DY  
 DESCRIPTION: EXISTING BASEMENT LAYOUT  
 Date: 16/12/14    Scale: 1:50    EQ27B-EX    Rev 1



**form**  
form workplace solutions

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PROPOSED BASEMENT AREA

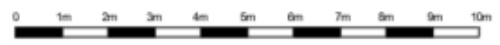


- Observed ceiling structure
- Floor level 100
- Observed ceiling structure
- Observed ceiling structure
- Access study access
- Access to office
- Electrical services not in
- Includes floor structure



REV	DESCRIPTION	DATE
1	ISSUE APPROX 2008	12/02/08

Survey data by others



CLIENT: BPP PROFESSIONAL EDUCATION  
 SITE: BPP HOUSE, GROVE AVENUE, QUEENS SQUARE  
 BRISTOL BS1 4DY  
 DESCRIPTION: PROPOSED BASEMENT LAYOUT

Date: 07/12/14	Scale: 1:50	BS278:PR	Rev: 1
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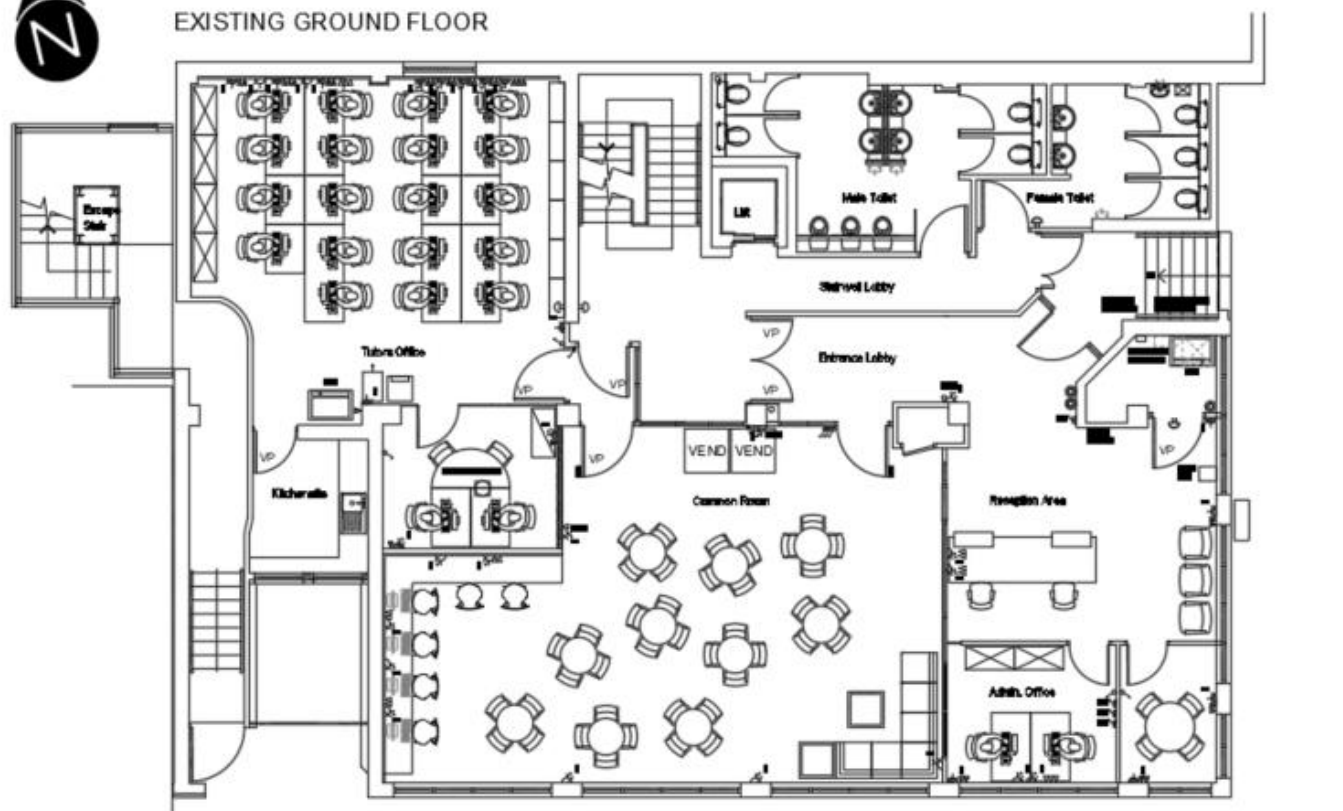
**form**  
form workplace solutions

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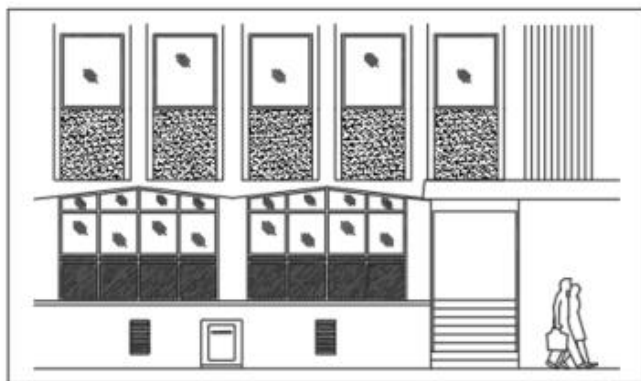




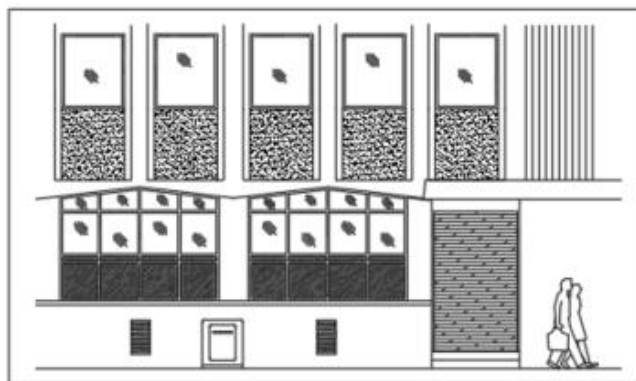
# EXISTING GROUND FLOOR



## ELEVATION A



ROLLER SHUTTER - OPEN



ROLLER SHUTTER - CLOSED

ELEVATION A

KEY

- NEW FILL HEAVY DUTY EXISTING COLD PARTITION WITH WEATHERCOAT
- NEW FILL PARTITION
- NEW FILL HEAVY DUTY COLD PARTITION
- NEW FILL HEAVY DUTY HEAVY COLD PARTITION

NEW DOOR    NEW DOOR    EXISTING DOOR

- EXISTING 600mm x 600mm SUPPLY A/C GRILLE
- EXISTING 600mm x 600mm EXTRACT A/C GRILLE
- EXISTING 600mm x 600mm 4 TUBE LAMPWARE FITTING
- RELOCATED 600mm x 600mm 4 TUBE LAMPWARE FITTING
- LAMPWARE FITTING INSTALLED WITH EMERGENCY POWER SUPPLY
- EXISTING RECESSED SPOTLIGHT FITTING
- EXISTING RECESSED 800mm PIRE DET. DEVICE
- EXISTING 1 COMPARTMENT FLOOR BOX
- EXISTING WIRELESS DATA POINT
- EXISTING PA SYSTEM
- NEW TELEPHONE OUTLET
- EXISTING TELEPHONE OUTLET
- NEW SWITCHE SWITCHED SOCKET OUT
- EXISTING DOUBLE SWITCHED SOCKET OUTLET
- NEW SWITCHE SWITCHED SOCKET OUTLET
- EXISTING SINGLE SWITCHED SOCKET OUTLET
- NEW LIGHT SWITCH
- EXISTING LIGHT SWITCH
- NEW SWITCHED SPUR
- FIRE ALARM BELL
- EXISTING DETECTOR
- FIRE ALARM CALL POINT

REV	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	25/07/15
2	ISSUED FOR TENDER SUBMISSION	01/11/15

Survey data to form

CLIENT: BPP PROFESSIONAL EDUCATION  
 SITE: BPP HOUSE, GROVE AVENUE, QUEEN'S SQUARE, BRISTOL, BS1 4DQ  
 DESCRIPTION: EXISTING GROUND FLOOR LAYOUT

Date: 16/12/14    Scale: 1:50    E828704X    Rev 2

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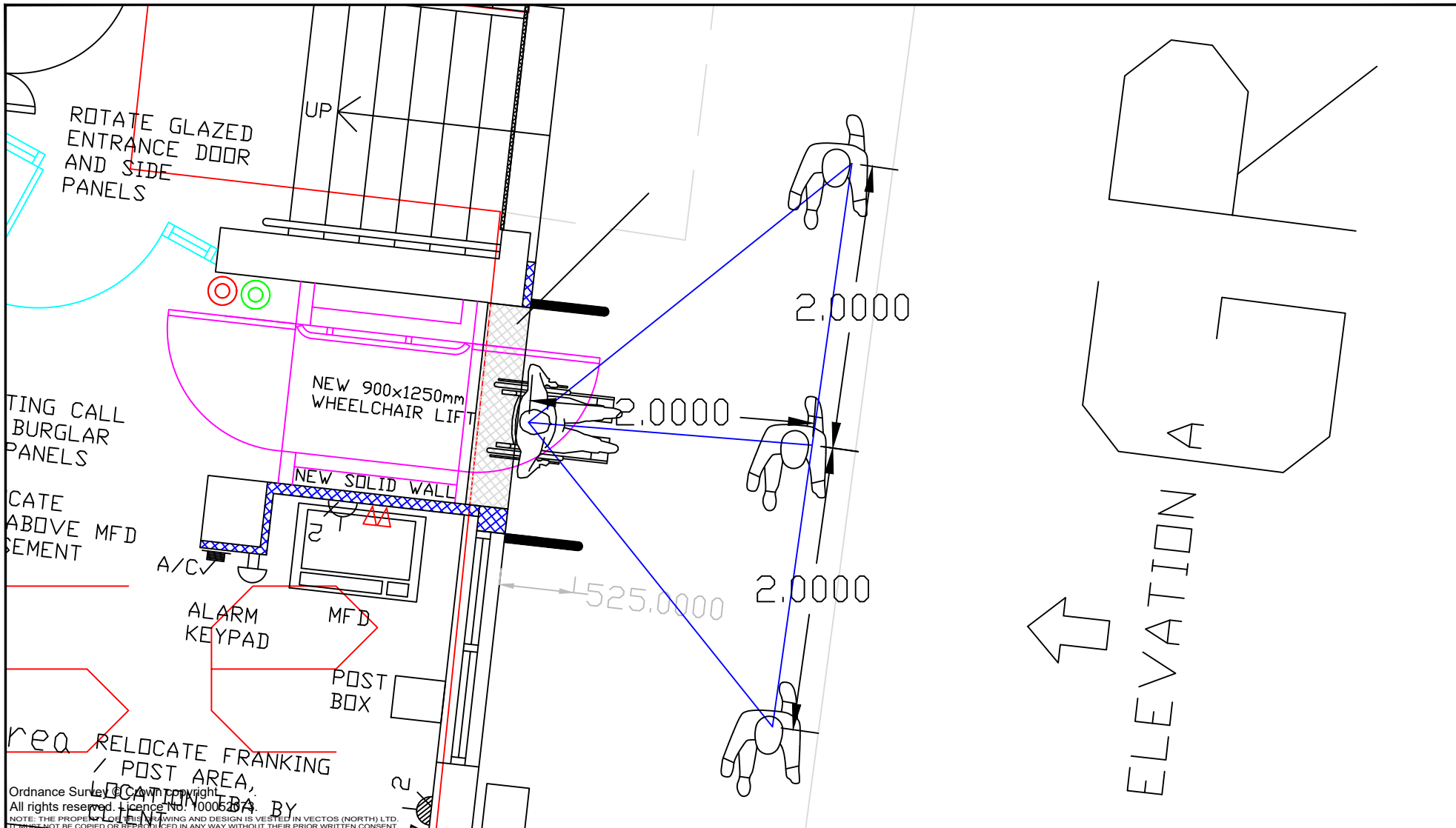
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## Appendix B





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REV.	DETAILS	DRAWN	CHECKED	DATE	Notes:
					1. This is not a construction drawing and is intended for illustrative purposes only. 2. White lining is indicative only.  <b>2m x 2m Pedestrian Visibility</b>

Grove Avenue , Bristol			
Pedestrian Visibility Splays			
DRAWN: YF	CHECKED: MR	DATE: 08/12/2023	SCALES: 1:1000 at A3

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DRAWING NUMBER: P3492	REVISION:



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