



**Dove Lane, Bristol**

## **Ecological Mitigation and Enhancement Strategy**

**December 2023**

**A report of behalf of Places for People Homes Ltd.**

**Ref: 1466-EMES-RP**

## Introduction

This document has been produced by GE Consulting on behalf of Places for People Homes Ltd. to provide details of the delivery of ecological mitigation and enhancements at Dove Lane, Bristol (central OS grid reference: ST 5967 7384). Proposals include development of 358 residential dwellings (Use Class C3) and 670sqm of Commercial, Business and Service floorspace (Use Class E), along with associated access, parking, landscaping, public realm and associated works.

## Background

The site was granted full planning consent by Bristol City Council (BCC) in July 2023 (planning ref: 22/01736/F). The planning application was accompanied by an Ecological Impact Assessment Report (1466-EcIA-LT) produced by GE Consulting in 2022 which included a desk study, extended Phase 1 Habitat survey and an assessment of the development's impacts on ecology and nature conservation. A Landscape and Ecology Management Plan (1466-LEMP-LT) also accompanied the application which provided details of the measures to protect and enhance existing habitats and providing a framework for the establishment and ongoing management of newly created habitats on site. The approved LEMP also provided details of faunal enhancements including swift and bee bricks.

## Aims

Condition 10 attached to the consent states:

*Prior to the commencement of the development hereby approved, the applicant shall submit an Ecological Mitigation & Enhancement Strategy (EMES). This shall include details of the provision of bird, bat, insect and hedgehog boxes. The location, specification, height and orientation of these features shall be shown on a site plan. The development shall be carried out in full accordance with the approved details or any amendments agreed in writing by Bristol City Council.*

*Reason: To conserve biodiversity and to ensure that the proposed development delivers ecological enhancement to the natural and local environment.*


This Ecological Mitigation and Enhancement Strategy (EMES) aims to provide sufficient information to allow discharge of Condition 10 attached consent, following completion of the measures detailed within this report.

## Ecological Mitigation and Enhancements

- 👉 Enhance the Site for nesting birds by providing swift boxes in suitable locations as shown on **Figure 1** and as per Elevation Drawings accompanying the RMA submission (Glenn Howells Architects, 2023) included as **Appendix 1** and specified in **Table 1** below; and
- 👉 Enhance the Site for invertebrates by providing bee bricks in suitable locations as shown on **Figure 1** as per Elevation Drawings accompanying the RMA submission (Glenn Howells Architects, 2023) included as **Appendix 1** and specified in **Table 1** below.
- 👉 Enhance the Site for hedgehogs by providing hedgehog domes in suitable locations as shown on **Figure 1** and specified in **Table 1** below.

**Table 1: Protected Species Features**





Quantity	Example Type and Illustration	Location and description
20no. swift boxes	<p>Schwegler 17 Swift Box or acceptable equivalent (available at <a href="https://www.wildcare.co.uk/swift-box-35.html">https://www.wildcare.co.uk/swift-box-35.html</a>)</p>  <p>Or Woodstone Burgos Swift Box or acceptable equivalent (available at <a href="https://www.wildcare.co.uk/10519-woodstone-burgos-swift-box.html">https://www.wildcare.co.uk/10519-woodstone-burgos-swift-box.html</a>)</p>	<ul style="list-style-type: none"> <li>👉 Located as indicated on <b>Figure 1</b> and included on elevation drawings (Glenn Howells Architects, 2023) on south-facing elevations.</li> <li>👉 Installed as high as possible ensuring that there is unobstructed access for birds entering and leaving.</li> <li>👉 Boxes should be sited under the shelter of eaves or overhanging roofs.</li> <li>👉 Entrance out of direct sun, preferably north or east-facing.</li> <li>👉 Installed in groups of five on appropriate elevations of Buildings B1, B2, C1 and C2.</li> </ul>

		
<p><b>10no. bee bricks</b></p>	<p>Green and Blue Bee Brick or acceptable equivalent (available from <a href="https://www.greenandblue.co.uk/products/bee-brick">https://www.greenandblue.co.uk/products/bee-brick</a>)</p> 	<ul style="list-style-type: none"> <li>🍌 Located as indicated on <b>Figure 1</b> and included on elevation drawings (Glenn Howells Architects, 2023) on south-facing elevations.</li> <li>🍌 Minimum installation height of 1m.</li> <li>🍌 No vegetation obstructing the holes.</li> <li>🍌 Bee-friendly plants are located nearby so that bees have a food source and to improve the likelihood of the brick being inhabited.</li> </ul>
<p><b>2no. hedgehog domes</b></p>	<p>Schwegler Hedgehog Dome or acceptable equivalent (available from <a href="https://www.arkwildlife.co.uk/product/schwegler-hedgehog-dome/">https://www.arkwildlife.co.uk/product/schwegler-hedgehog-dome/</a>)</p>	<ul style="list-style-type: none"> <li>🍌 Located as indicated on <b>Figure 1</b> in suitable locations among landscape planting.</li> <li>🍌 Durable of wood-crete construction.</li> <li>🍌 All year round: suitable for breeding and hibernation.</li> <li>🍌 Weather-proof: protect from wind &amp; rain, insulated to keep heat and prevent damp.</li> </ul>







- Key:**
-  Site Boundary
  -  Bee Brick
  -  Swift Brick
  -  Hedgehog Dome



**Figure 1:**  
Ecological Mitigation and Enhancement Plan

**Project:**  
Dove Lane, Bristol

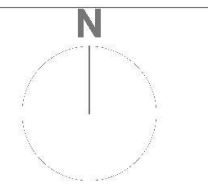
**Client:**  
Places For People

**Date:**  
13/12/2023

**Drawn:**  
HK

**Ref:**  
1466-EMEP-F1

**Revision:**  
-







Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
 CONTRACTORS TO NOTIFY ARCHITECTS OF SITE  
 VARIATIONS AFFECTING INFORMATION ON THIS DRAWING.  
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 ARCHITECTS.

1. Zone of stepped brickwork to provide 10no. of bee bricks on Plot B1 South elevation, adjacent to planted areas at approximately 1m above ground level.
2. Proposed location for 5no. swift bricks to be installed within the brickwork of the Northern elevation. Height >5m above ground level, 5m clearance in front and not sited above windows/doors.



**1 Plot B1 - Elevation 1 (South)**  
 1 : 200



**2 Plot B1 - Elevation (East)**  
 1 : 200



**3 (05) Plot B1 - Elevation 3 (North)**  
 1 : 200

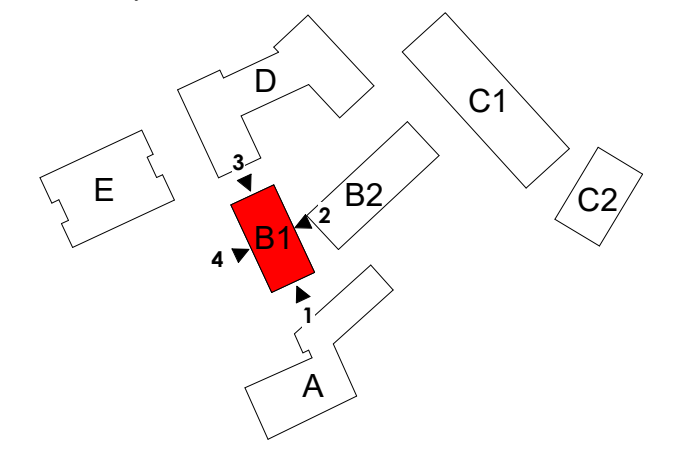


**4 (05) Plot B1 - Elevation 4 (West)**  
 1 : 200

Revisions

Date	Rev	By	Description
30/03/2022	P1	GR	Planning Issue
28/11/2023	P2	RB	S96a 01 Issue
11/12/2023	P3	RB	S96a 01 Issue

Location Key



PLANNING

Project Dove Lane Bristol  
 Client Places for People Homes Ltd  
 Drawing Title Elevations - Plot B1 (Sheet 1 of 1)

Drawing No.	Revision
DLB-GHA-ZZ-DR-A-05221	P3
Scale - 1 : 200@A1	Date 03/30/22
Checked FG	



Notes & Key

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- Proposed location for 5no. swift bricks to be installed within the brickwork of the Northern elevation. Height >5m above ground level, 5m clearance in front and not sited above windows/doors.



**1 (05) Plot B2 - Elevation 1 (East)**  
 1 : 200



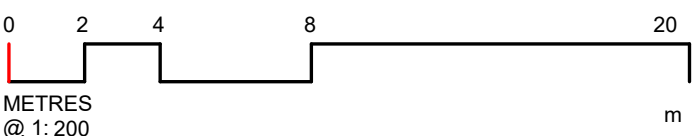
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 1 : 200



**3 (05) Plot B2 - Elevation 3 (West)**  
 1 : 200

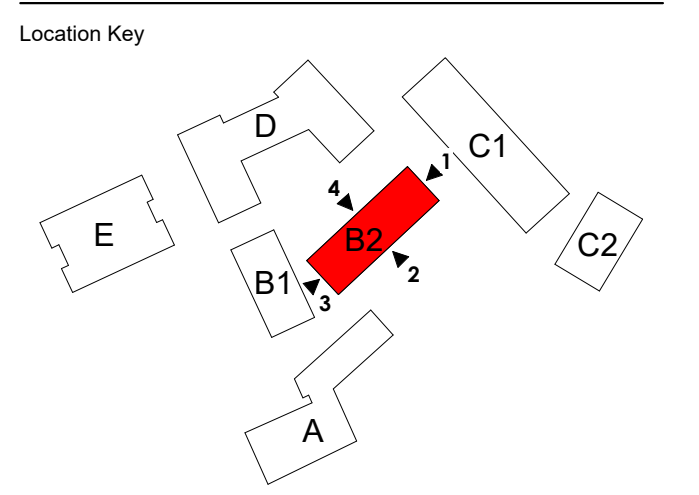


**4 (05) Plot B2 - Elevation 4 (North)**  
 1 : 200



Revisions

Date	Rev	By	Description
30/03/2022	P1	GR	Planning Issue
25/10/2022	P2	GR	Additional Screening to South Elevation
28/11/2023	P3	RB	S96a 01 Issue
11/12/2023	P4	RB	S96a 01 Issue



**PLANNING**

Project Dove Lane Bristol  
 GHA No. 2330

Client Places for People Homes Ltd

Drawing Title Elevations - Plot B2 (Sheet 1 of 1)

Drawing No. DLB-GHA-ZZ-DR-A-05222  
 Revision P4

Scale - 1 : 200@A1 Date 03/30/22 Checked FG

Notes & Key

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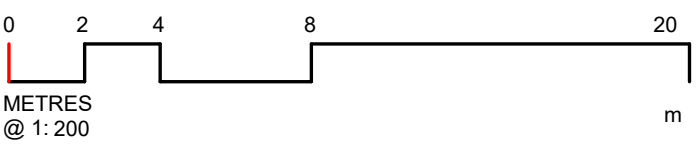
- Proposed location for 5no. swift bricks to be installed within the brickwork of the Western elevation. Height >5m above ground level, 5m clearance in front and not sited above windows/doors.



**1** (05) Plot C1 - Elevation 1 (North)  
1 : 200



**2** (05) Plot C1 - Elevation 3 (East)  
1 : 200



Revisions

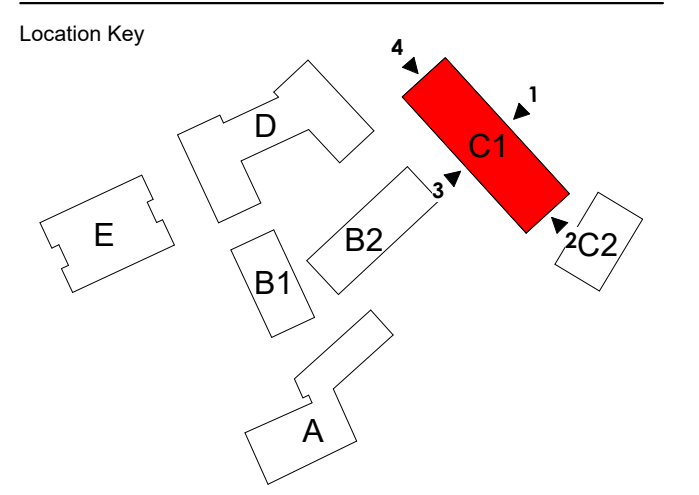
Date	Rev	By	Description
30/03/2022	P1	GR	Planning Issue
29/09/2022	P2	GR	Planning Amendments
28/11/2023	P3	RB	S96a 01 Issue
11/12/2023	P4	RB	S96a 01 Issue



**3** (05) Plot C1 - Elevation 2 (South)  
1 : 200



**4** (05) Plot C1 - Elevation 4 (West)  
1 : 200



PLANNING

Project: Dove Lane Bristol  
GHA No.: 2330

Client: Places for People Homes Ltd

Drawing Title: Elevations - Plot C1 (Sheet 1 of 1)

Drawing No.: DLB-GHA-ZZ-DR-A-05231  
Revision: P4

Scale: Scale - 1 : 200@A1  
Date: 03/30/22  
Checked: FG



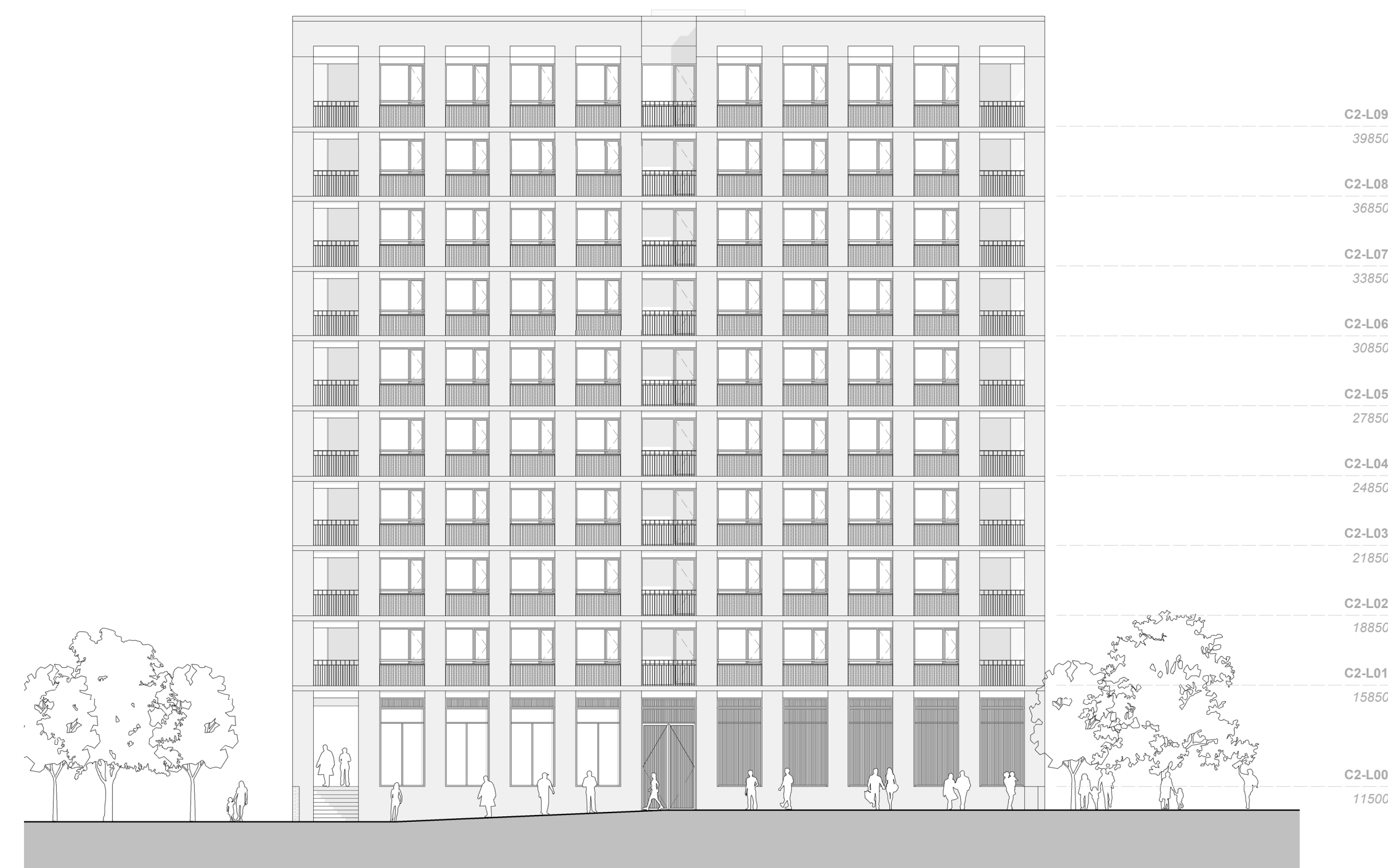
Notes & Key

DIMENSIONS NOT TO BE SCALED FROM THIS DRAWING.  
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- Proposed location for 5no. swift bricks to be installed within the brickwork of the Eastern elevation. Height >5m above ground level, 5m clearance in front and not sited above windows/doors.



**1 (05) Plot C2 - Elevation 1 (North)**  
 1 : 200



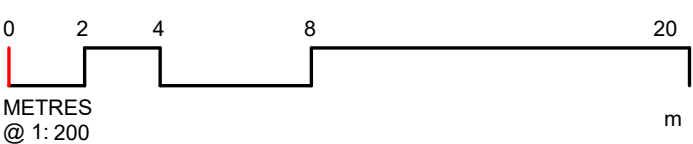
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**3 (05) Plot C2 - Elevation 3 (East)**  
 1 : 200



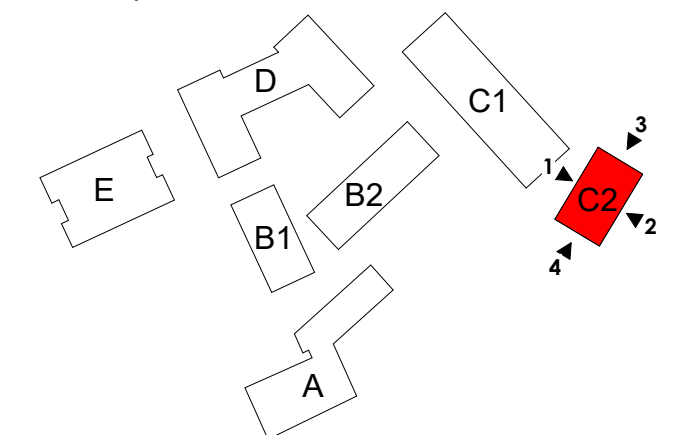
**4 (05) Plot C2 - Elevation 4 (West)**  
 1 : 200



Revisions

Date	Rev	By	Description
30/03/2022	P1	GR	Planning Issue
08/04/2022	P2	GR	Planning Issue
29/09/2022	P3	GR	Planning Amendments
28/11/2023	P4	RB	S96a 01 Issue
11/12/2023	P5	RB	S96a 01 Issue

Location Key



PLANNING

Project: Dove Lane Bristol  
 GHA No.: 2330

Client: Places for People Homes Ltd

Drawing Title: Elevations - Plot C2 (Sheet 1 of 1)

Drawing No.: DLB-GHA-ZZ-DR-A-05232  
 Revision: P5

Scale: 1 : 200@A1  
 Date: 08/04/22  
 Checked: FG

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