



DESIGN AND ACCESS STATEMENT

PROPOSED REPLACEMENT CATTLE SHED AT COTTAM HOUSE FARM,
COTTAM, DRIFFIELD, YO25 3BY

Client

MASON FARMING LTD

East End Farm
Butterwick
Malton
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Introduction

This report has been commissioned by Mason Farming Ltd of East End Farm, Butterwick, Malton, North Yorkshire, YO17 8HF.

Section 42 of the Planning and Compulsory Purchase Act 2004 requires a Design and Access Statement to be submitted with the majority of planning applications. The purpose of this report is to satisfy the requirements of Section 42 of the aforementioned Act.

This report has been prepared to illustrate the process that has led to the development proposal and to explain and justify the proposal in a structured way.

This report has been prepared by Ian Pick. Ian Pick is a specialist Agricultural and Rural Planning Consultant. He holds a Bachelor of Science with Honours Degree in Rural Enterprise and Land Management and is a Professional Member of Royal Institution of Chartered Surveyors, being qualified in the Rural Practice Division of the Institution.

Ian Pick has 25 year's experience in rural planning whilst employed by MAFF, ADAS, Acorus and most recently Ian Pick Associates Limited.

Background Information

This application seeks full planning permission for the erection of a replacement cattle at Cottam House Farm. The existing cattle shed a dated and inefficient structure and it is proposed to replace it with a modern, purpose built cattle shed. The existing cattle shed is shown in the photograph below.



Amount

The proposed building extends to 36.6m x 24.4m with an eaves height of 6m and a ridge height of 8.785m. The proposed building will house up to 150 head of cattle.

Use

The use of the building will be to provide winter housing for cattle on a straw based, naturally ventilated system.

Layout

The layout of the development is shown on the attached plan, IP/MF/03. The proposed building has been sited on the same footprint as the existing building which is being replaced.

Scale

The scale of the building is 36.6m x 24.4m with an eaves height of 6m and a ridge height of 8.785m. The proposal provides 893 sq. m of floor space.

Landscaping

The proposal is for a replacement building within the existing farmyard at Cottam House Farm. The proposed building has been located on the footprint of the existing building, and the application site is enclosed by woodland shelter belts to the east and south and existing buildings to the north and west. There are no public views of the development.

Appearance

The building is of steel frame construction. The gable end walls will be formed of concrete panels for the lower walls with vent air profile sheeting above in slate blue. The roof material will be a clear heatguard sheeting – as shown in the image below.



Access

The proposal relates to the provision of replacement cattle housing on the farm, with no increase in the scale and nature of the business.

Heritage Impacts

Scheduled Monument – 1017068 – Medieval Village of Cottam

The application site is located in close proximity to the Medieval Village of Cottam which is located to the west of the application site. The application site is entirely previously developed land and currently occupied by a modern agricultural building. Views of the development from the scheduled monument are obscured by existing farm buildings. The proposed development will have no impact on the setting or appearance of the ancient monument.

Grade II Listed Building – 1346478 – Cottam House

Cottam House is a late 18th century farmhouse which is Grade II listed. Cottam House is located 100m to the northwest of the proposed replacement agricultural building, as shown in the image below.



As shown in the image above, a large range of modern farm buildings separates the site of the proposed replacement cattle shed and the listed building. There is no intervisibility between the application site and the listed building. The proposal is also a replacement building on a similar footprint, and as such, any impact on the setting of the listed building is negligible.

Ian Pick BSc (Hons) MRICS

A handwritten signature in black ink, consisting of several overlapping, fluid strokes that form a stylized representation of the name 'Ian Pick'.

December 2023