

Plan Hatching Legend	
	Existing walls to be removed
	Existing walls to remain
	Proposed New walls
	Areas with reduced headroom (less than 2.0m unless noted otherwise)
	Fill out
	Neighbouring/adjacent buildings
	Observed fence/wall (assumed legal boundary) (Draw to confirm)
	TYP The production drawing uses A3/A2/2019
	3/15/2019 submitted to AEC Approval

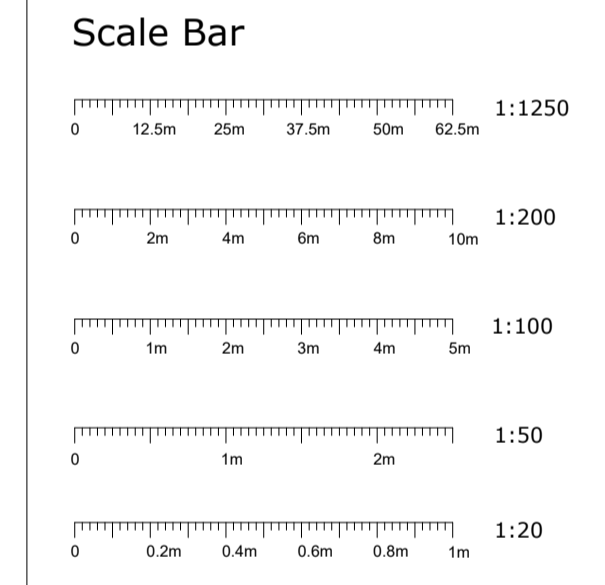
Elevation Hatching Legend	
	Tile hanging
	Ground
	Tiled Roof
	Cladding
	Blockwork
	Render
	Outline of existing

Community Infrastructure Levy (CIL)
 Projects in excess of 100m² of new construction may be deemed liable to a CIL, levy payable to the Local Authority as noted on the relevant Planning Permission Decision Notice. If CIL is applicable, the applicant can apply for an exemption on the basis of self-build (form part 1 & 2), or an annexe (form 8), or extension (form 9) to your primary residence but this must be done before commencement of construction otherwise the levy will become payable. The applicant must also submit a CIL Commencement Notice (form 10) before commencement of construction otherwise the levy will become payable without right of appeal.

General notes:
 This drawing has been produced for Planning Permission purposes only and should not be used for construction purposes or Building Regulations.

Use of Colour:
 Please note that these drawings have been produced in colour. If black and white copies have been produced some important detail may not be illustrated correctly.

Site survey & survey dimensions:
 Check all key/critical dimensions prior to making decisions which may be reliant upon them. Any significant discrepancies should be reported immediately to Heritage Architecture.



Note - All floor/slab levels to match existing unless noted otherwise.



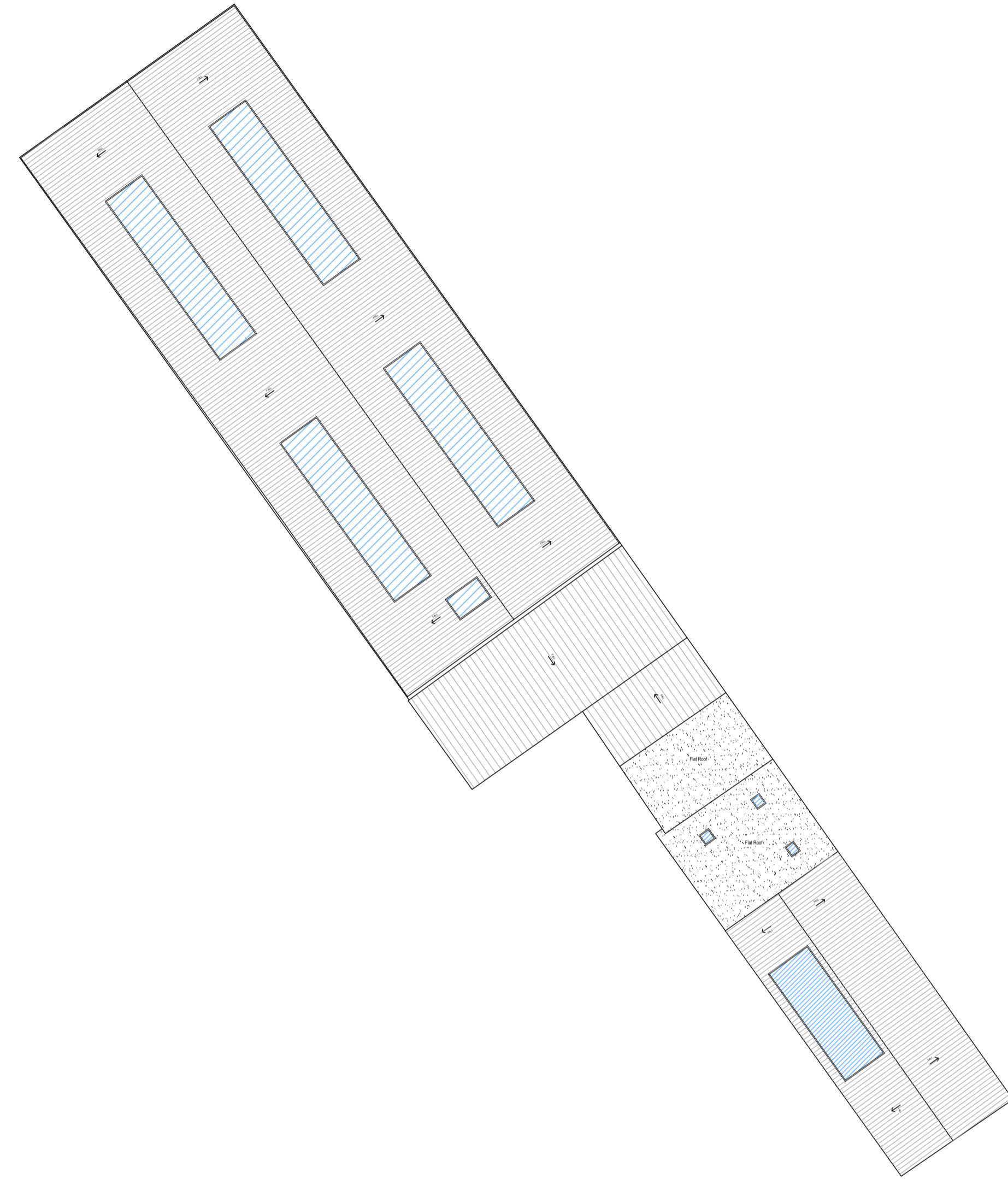
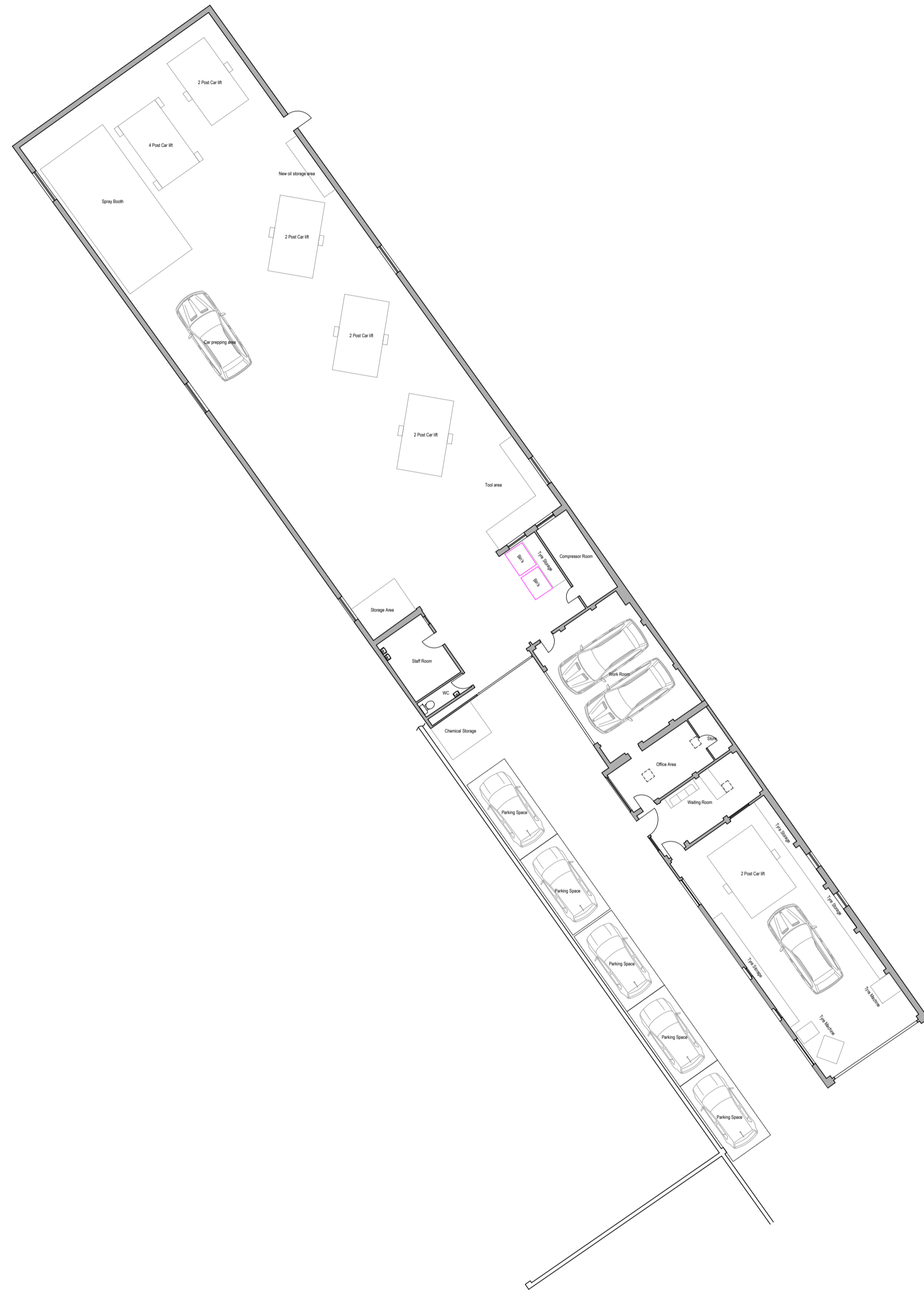
Heritage Architecture
 Lingate House, Oakcroft Road, West Byfleet
 Surrey KT14 6JH
 Telephone: 01483 821046
 E-mail: enquiries@heritage-architecture.co.uk
 website: www.heritage-architecture.co.uk
 (C) Copyright 2023 Heritage Architecture, all rights reserved.

Client Project I & D Autoservices
 Clarification of use at
 104-105 Maybury Road, Woking
 Surrey GU21 5JL

Date 13th December 2023
Dwg No. HA / 2340 / P / 1
Status Planning
Revision 1
Drawn DH
Checked MT
Scale(s) 1:100 @ A1

Elevations
 Existing

PRELIMINARY DRAWINGS
 Awaiting approval



Plan Hatching Legend

- Existing walls to be removed
- Existing walls to remain
- Proposed New walls
- Areas with reduced headroom (less than 2.0m unless noted otherwise)
- Flat roof
- Neighbouring/adjacent buildings (Drawn to outline)
- Observed/assumed ground level (Drawn to outline)
- TYP (The publication listing see A3/MS/2/1/1)
- B105 highways to AEC Approval

Elevation Hatching Legend

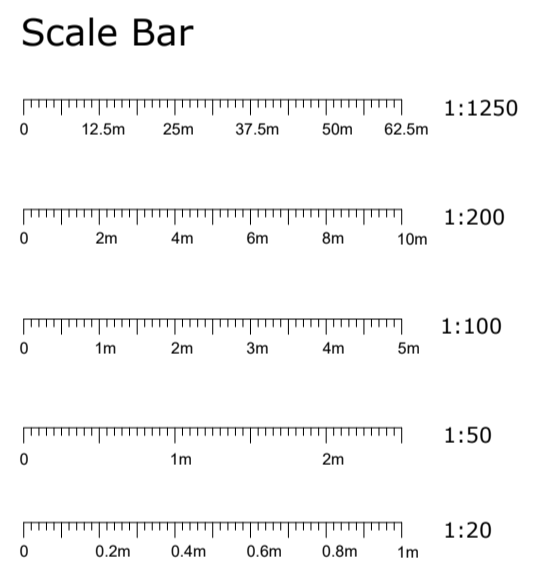
- Tile hanging
- Tiled Roof
- Brickwork
- Outline of existing
- Ground
- Glazing
- Render
- Cladding

Community Infrastructure Levy (CIL)
 Projects in excess of 100m² of new construction may be deemed liable to a CIL levy payable to the Local Authority as noted on the relevant Planning Permission Decision Notice. If CIL is applicable, the applicant can apply for an exemption on the basis of self-build (form 1 & 2), or an annexe (form 8), or extension (form 9) to your primary residence but this must be done before commencement of construction otherwise the levy will become payable. The applicant must also submit a CIL Commencement Notice (form 6) before commencement of construction otherwise the levy will become payable without right of appeal.

General notes:
 This drawing has been produced for Planning Permission purposes only and should not be used for construction purposes or Building Regulations.

Use of Colour:
 Please note that these drawings have been produced in colour. If black and white copies have been produced some important detail may not be illustrated correctly.

Site survey & survey dimensions:
 Check all key/critical dimensions prior to making decisions which may be reliant upon them. Any significant discrepancies should be reported immediately to Heritage Architecture.



Note - All floor/slab levels to match existing unless noted otherwise.

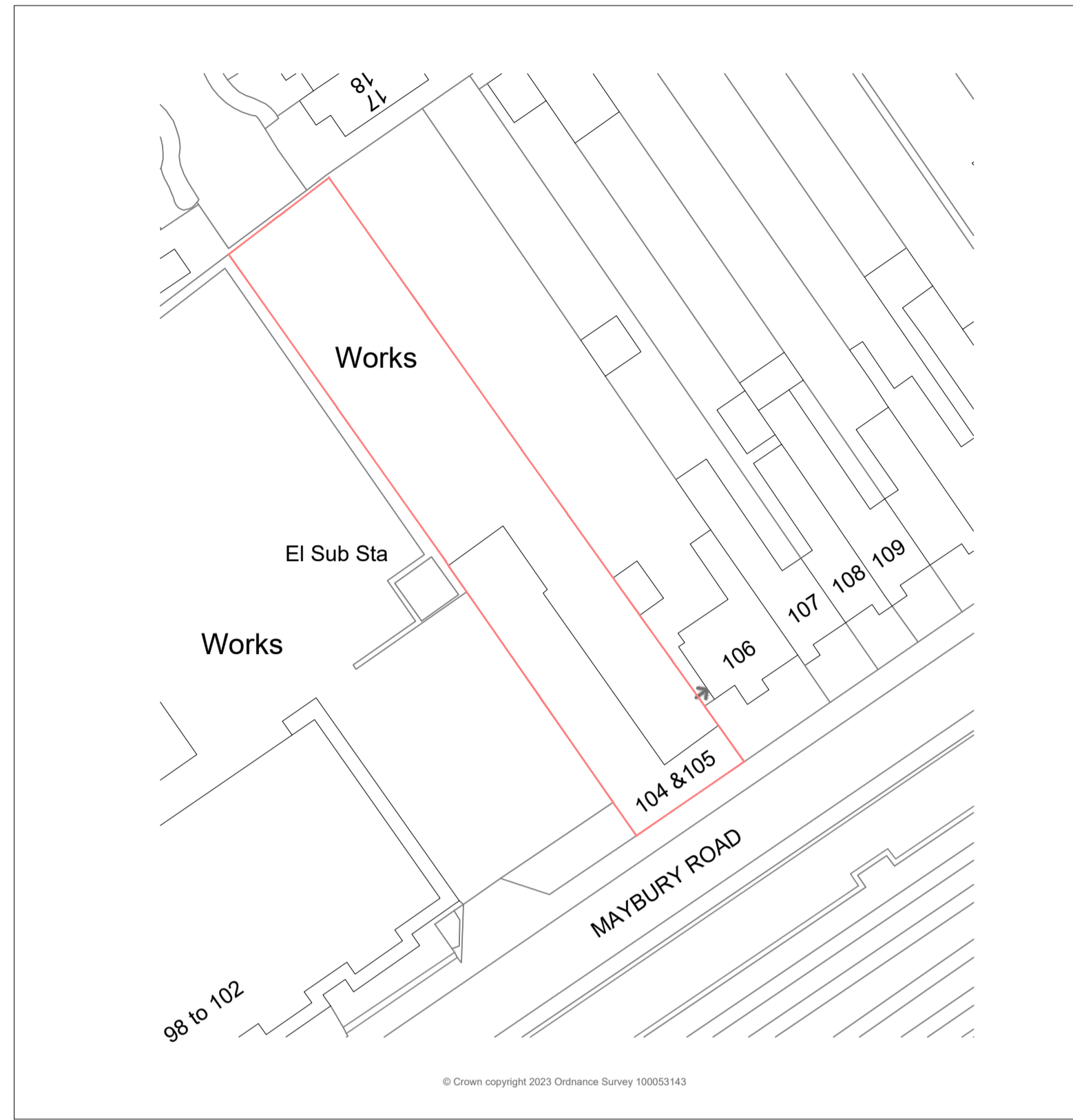


Heritage Architecture
 Lingate House, Oakcroft Road, West Byfleet
 Surrey KT14 6JH
 Telephone: 01483 821046
 E-mail: enquiries@heritage-architecture.co.uk
 website: www.heritage-architecture.co.uk
 (C) Copyright 2023 Heritage Architecture, all rights reserved.

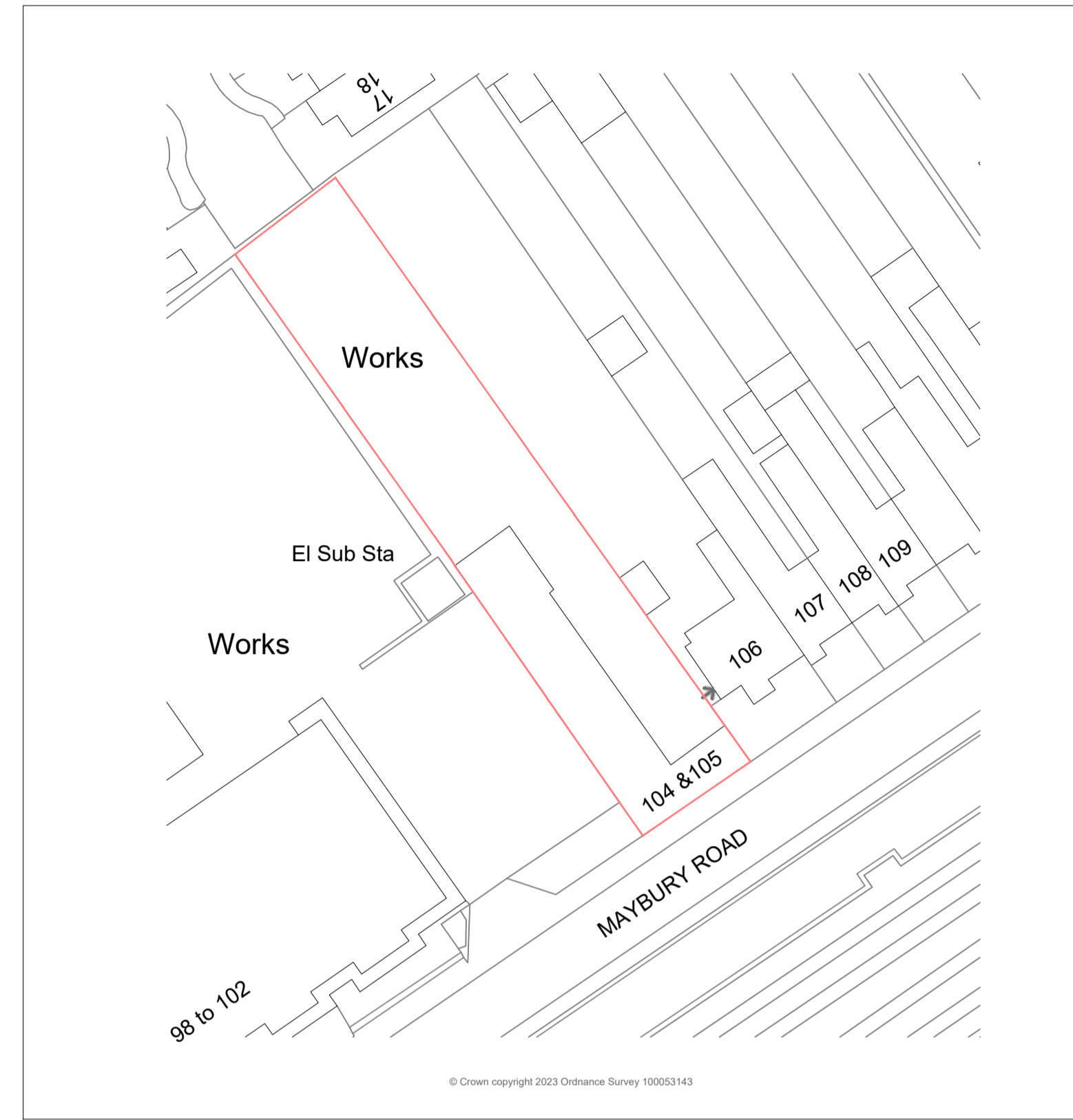
Client Project	I & D Autoservices Clarification of use at 104-105 Maybury Road, Woking Surrey GU21 5JL
Date	13th December 2023
Dwg No.	HA / 2340 / P / 2
Status	Planning
Revision	1
Drawn	DH
Checked	MT
Scale(s)	1:200 @ A1
Plans Existing	

PRELIMINARY DRAWINGS
 Awaiting approval

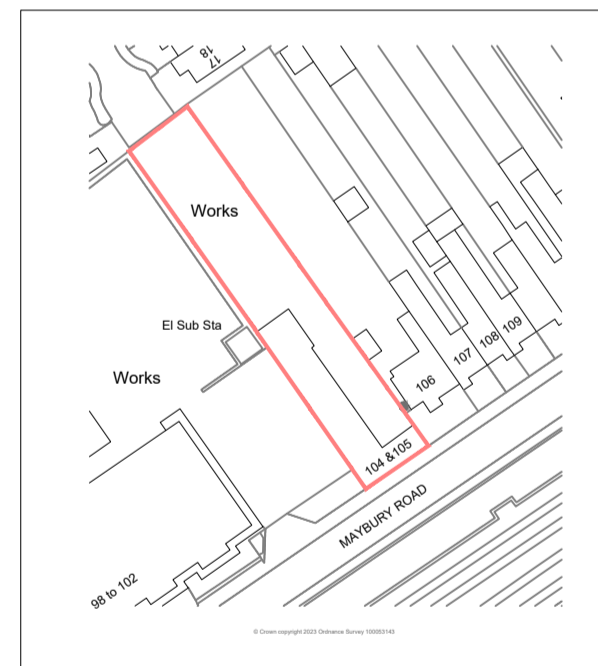
PRELIMINARY DRAWINGS
 Awaiting approval



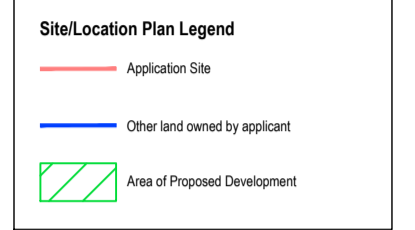
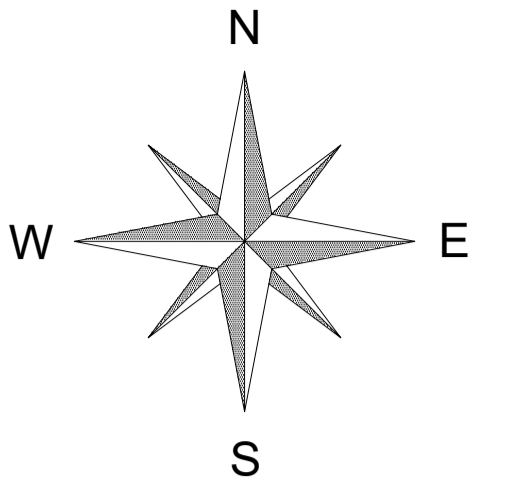
Existing Site Plan
Scale 1:500 @ A1



Proposed Site Plan
Scale 1:500 @ A1



Location Plan
Scale 1:1250 @ A1



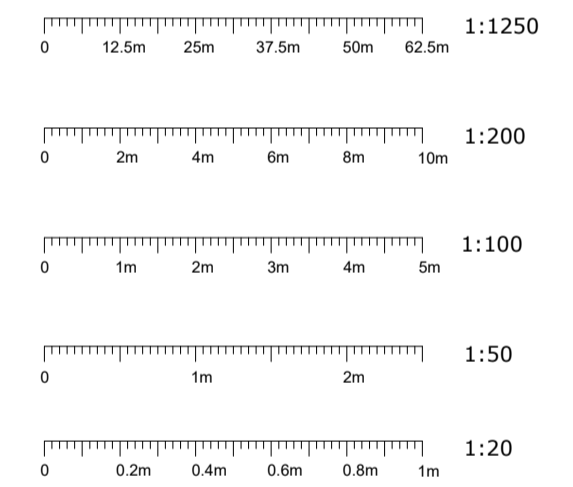
Community Infrastructure Levy (CIL)
Projects in excess of 100m² of new construction may be deemed liable to a CIL, levy payable to the Local Authority as noted on the relevant Planning Permission Decision Notice. If CIL is applicable, the applicant can apply for an exemption on the basis of self-build (form 7 part 1 & 2), or an annexe (form 8), or extension (form 9) to your primary residence but this must be done before commencement of construction otherwise the levy will become payable. The applicant must also submit a CIL Commencement Notice (form 6) before commencement of construction otherwise the levy will become payable without right of appeal.

General notes:
This drawing has been produced for Planning Permission purposes only and should not be used for construction purposes or Building Regulations.

Use of Colour
Please note that these drawings have been produced in colour. If black and white copies have been produced some important detail may not be illustrated correctly.

Site survey & survey dimensions
Check all key/critical dimensions prior to making decisions which may be reliant upon them. Any significant discrepancies should be reported immediately to Heritage Architecture.

Scale Bar



Note - All floor/slab levels to match existing unless noted otherwise.

Heritage Architecture

Heritage Architecture
Lingate House, Oakcroft Road, West Byfleet
Surrey KT14 6JH
Telephone: 01483 821046
E-mail: enquiries@heritage-architecture.co.uk
website: www.heritage-architecture.co.uk
(c) Copyright 2023 Heritage Architecture, all rights reserved.

Client: I & D Autoservices
Project: Clarification of use at 104-105 Maybury Road, Woking Surrey GU21 5JL
Date: 13th December 2023
Dwg No: HA / 2340 / P / 3
Status: Planning
Revision: 1
Drawn: DH
Checked: MT
Scale(s): 1:500 & 1250 @ A1
Block & Site Plans
Existing & Proposed

PRELIMINARY DRAWINGS
Awaiting approval