



Supporting Planning Statement

Outline planning application (including access) for a B2 (Industrial) building with the surrounding land retained for associated outdoor vehicle storage and parking.

At land opposite and associated with 5 St James Road, St. James Industrial Estate, Corby, NN18 8AL.

December 2023

KA49455



APPLICANT

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ISSUED BY

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PROJECT

Outline planning application (including access) for a B2 (Industrial) building with the surrounding land retained for associated outdoor vehicle storage and parking.

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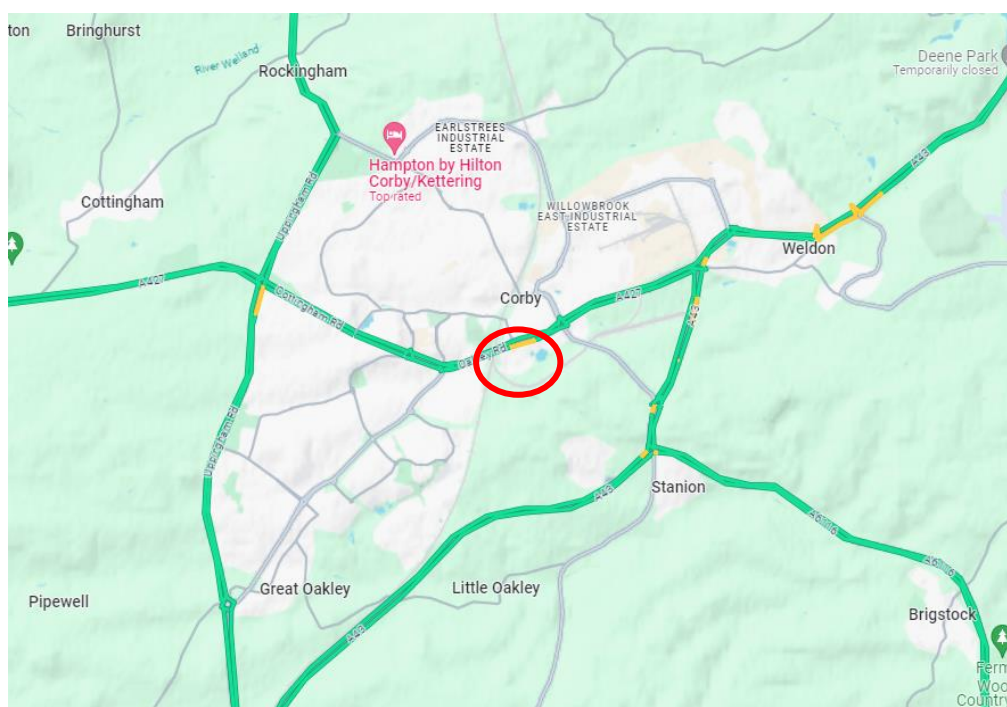
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1. Introduction

- 1.1 This application seeks outline planning permission for the erection of a B2 car garage/ workshop to be utilised by an existing business at Unit 5, St James Road, St James Industrial Estate, Corby, NN18 8AL. The remainder of the site will continue as an open storage area for vehicles and the existing access will remain. Access is a matter to be agreed with all other matters reserved.
- 1.2 This report provides key site considerations and explains the basis of the proposal.
- 1.3 This statement is provided to assist North Northamptonshire Council as the Local Planning Authority (LPA) in its determination of this planning application and should be read in conjunction with the plans provided, specifically:
- Planning application form
 - Supporting Planning Statement – KA49455
 - Site Location Plan – KA49455-BRY-ST-PL-A-01-A
 - Existing Site Plan – KA49455-BRY-ST-PL-A-02-A
 - Proposed Site Plan – KA49455-BRY-ST-PL-A-03-A
- 1.4 This statement will illustrate that the proposed application is an appropriate scheme in terms of planning policy and other relevant material considerations.

2. Site Location

- 2.1 This application is located within an established industrial estate known as St James Industrial Estate to the Southern boundary of Corby town.



Map showing location of application site.

- 2.2 The application site is in a highly accessible location due to its proximity to A427 and A43 to the East.
- 2.3 There is a bus stop located adjacent to the site, which serves the X4 bus route between Northampton - Corby - Peterborough, which is an hourly bus service that connects the industrial estate to the wider area of Corby and beyond.
- 2.4 The application site is within St James Industrial Estate, which has several commercial businesses operating from the Estate including Euro Trace Ltd,

Motor Parts Direct, Emmitt Plant Ltd and Spirit Hyundai, with the latter being the applicants existing business site.

- 2.5 St James Industrial Site is designated in the Part 2 Local Plan for Corby as an existing employment site for the buildings of Use Classes E(g), B2 and B8.



Visibility onto St James Road from the existing site access

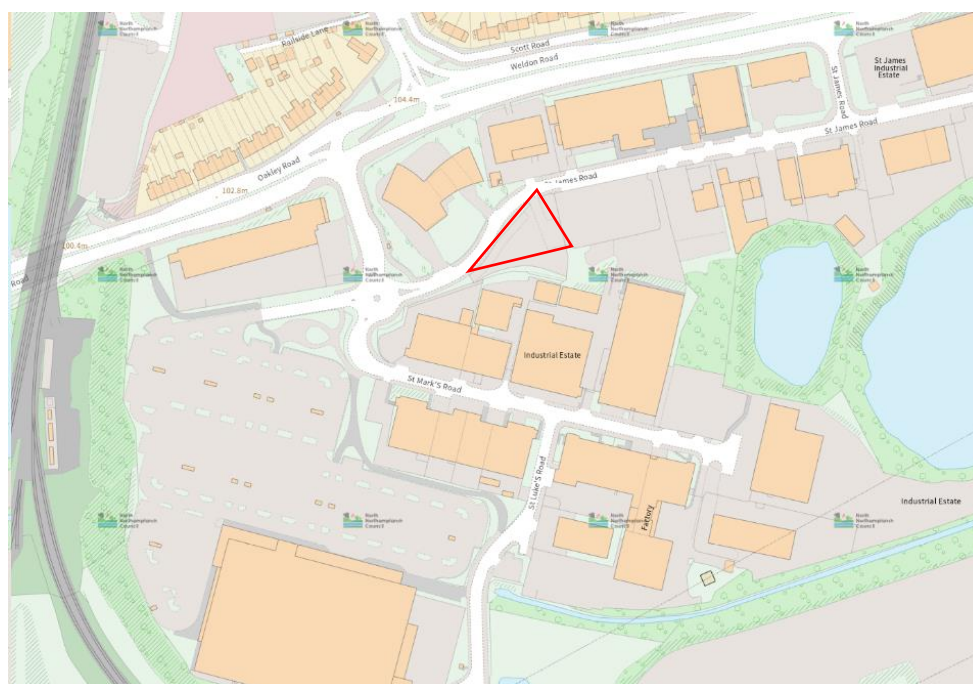
- 2.6 There is an existing wide vehicle access onto St James Road which provides good visibility in both directions that will be utilised in conjunction with the proposal.
- 2.7 This application relates to Unit 5, a site within St James Industrial Estate which is owned and operated by Spirit Hyundai who is the applicant for this application.

Address: Land opposite and associated with 5 St James Road, St James Industrial Estate, Corby, NN18 8AL.
Berrys Reference: KA49455



Site and boundary

- 2.8 There are no existing buildings on the site, however most surrounding sites consist of at least one building for industrial, commercial or storage purposes.
- 2.9 As shown by the satellite imagery above, the site is currently used for the storage of cars associated with the existing car sales site opposite



Site and surrounding units

- 2.10 The site is surrounded by storage and business units of varying scale, which will allow for the proposed small scale building to integrate easily into the street scene of the area.
- 2.11 The application site is located solely within a flood risk Zone 1 and therefore has the lowest risk of flooding.
- 2.12 The site is located within the boundary for the Nene Valley Nature Improvement Area; however, this is not considered to be a constraint to the proposed development.
- 2.13 The application site is not located within a Conservation Area nor is it located within a Special Landscape Area. The closest Conservation area is the Corby Old Village Conservation Area located 200m to the Northeast, there is no intervisibility between the application site and the Conservation Area due to the A427 and the mature vegetation and buildings located either side of the dual carriageway.
- 2.14 There are no listed buildings within close to the site.

Planning History:

- 2.15 A summary of the planning history on site is summarised below:
- Change of use of existing vacant B8 building/site to new motor dealership including open land on south side of road - Ref. No: 14/00355/DPA - Status: Application Permitted
 - Discharge of conditions 4, 7, 8, 9, 10 and 11 of planning permission 14/00355/DPA - Ref. No: 15/00046/CON - Status: Pending Consideration
 - Signage for dealership - Ref. No: 15/00059/ADV - Status: Application Permitted

3 The Proposal

- 3.1. The proposal seeks outline planning permission (including access) for the construction of a new small scale car garage/ workshop (Use Class B2) to support an existing business at Unit 5, St James Road, St James Industrial Estate, Corby.
- 3.2. The proposed building will be located abutting the Eastern boundary of the site, set back from St James Road to allow for visibility at the access to remain unobstructed. The rest of the site will remain as an open storage area for vehicles and associated parking.



Proposed site plan, not to scale.

- 3.3. The proposed building will be small scale, with a proposed overall footprint of 222sqm.

- 3.4. The building will replace an existing area of parking on the site, with landscaping provided to the retained parking area surrounding the building.
- 3.5. The building will be accessed via the existing egress to the northern edge of the site, with the entrances to the bays located on the Western elevation for easy access from the carpark.
- 3.6. The proposal will provide a small scale B2 unit on this site to be used in conjunction with and support the economic prosperity of the associated established business.
- 3.7. The proposed development will not result in any additional highway movements onto the highway St James Road. It is the intention for all the business's workshop needs to be met within the Unit 5 proposal, which will therefore reduce the number of vehicle movements within the wider highway network.

Design and Access

- 3.8. **Use:** The proposed new building will be utilised for garage/ workshop purposes (B2 general industrial) to support the established business.
- 3.9. **Amount and Scale:** The proposed building will have a footprint of 222sqm (25.8m x 8.6m).
- 3.10. **Layout:** The proposed new building will be located within the Eastern area of the application site. The building will be located within an area surrounded by existing storage and distribution units; therefore, it will not have a detrimental visual impact of the existing area and surrounding street scene.
- 3.11. **Landscaping:** The proposed development will not impact upon the existing soft landscaping which surrounds the application site which will help to screen the building from view. The applicant would be happy to agree to providing additional soft landscaping if the Council believe this is necessary.

- 3.12. **Access:** The proposed building will be accessed utilising the existing access onto St James Road which provides good visibility in both directions. The proposed development would not result in any additional vehicle movements onto the local highway network. Visibility splays have been provided on the plans submitted with this application.

4 Policy and Assessment

4.1 The Development Plan for the area is covered by policies within the following documents:

- North Northamptonshire Joint Core Strategy (2016)
- Part 2 Local Plan for Corby (2021)

4.2 In compliance with Section 38(6) of the Planning and Compulsory Purchase Act 2004, planning applications should be determined in accordance with the policies of the Development Plan unless other material considerations indicate otherwise.

North Northamptonshire Joint Core Strategy

4.3 In July 2016 the North Northamptonshire Joint Core Strategy (JCS) was adopted by the Joint Committee representing the District Councils of Corby, East Northamptonshire, Kettering, and Wellingborough, as well as Northamptonshire County Council.

4.4 The North Northamptonshire Joint Core Strategy covers the whole West Northamptonshire area as a strategic document its policies are of an overarching nature.

4.5 Policy 1 (Presumption in Favour of Sustainable Development) discusses objectives such as securing infrastructure and services to support prosperous, more self-reliant communities. When evaluating development suggestions, the Local Planning Authority will adopt a constructive stance aligned with the prevailing preference for sustainable development outlined in the National Planning Policy Framework. This proactive approach aims to facilitate development that enhances the economic, social, and environmental conditions of the area.

- 4.6 Policy 6, 'Development on Brownfield Land and Land Affected By Contamination', discusses how when designating land for development and evaluating planning applications, local planning authorities will strive to optimise development delivery by repurposing appropriate previously developed land and buildings within urban areas.
- 4.7 Policy 8 'North Northamptonshire Place Shaping Principles' considers how developments ought to acknowledge the local character by adapting to the site's immediate and broader context, creating new streets, spaces, and buildings that incorporate the best aspects of the local character while encouraging innovation. As well as this, development should address the local topography, overall form, character, and landscape setting of the area.
- 4.8 Policy 11, 'The Network of Urban and Rural Areas', discusses how infrastructure investment and the provision of higher-order facilities to support significant employment, housing, retail, and leisure development will be concentrated in the Growth Towns, of which Corby is categorised.
- 4.9 Policy 22 titled 'Delivering Economic Prosperity' discusses how current employment sites contribute significantly to the supply of employment land. Older, established, employment areas present possibilities for regeneration, enhancing the structure of settlements, and maintaining mixed-use areas within towns. This policy emphasises the pursuit of a stronger economy through developments that prioritise the improvement of existing employment sites and the regeneration of previously developed land.

Part 2 Local Plan for Corby

- 4.10 Policy 8 of the Part 2 Local Plan for Corby, Employment Land Provision, discusses how development should align with the designated employment purposes. St James Industrial Estate is recognised within this policy as a non-strategic site. To meet the overall development needs of the borough, these locations will typically be safeguarded against alternative development forms.
- 4.11 Policy 9 of the Part 2 Local Plan for Corby (Employment Uses in Established Industrial Estates) discusses how within the designated industrial estates, of which St James Industrial Estate is listed, proposals for employment use

(Under Use Classes E(g); B2 and B8), as well as initiatives aimed at modernising and improving the physical environment and infrastructure, will receive support.

National Planning Policy Framework

4.12 Paragraph 8 discusses how there are three over-arching objectives to sustainable planning: economic, social, and environmental. These objectives are independent and need to be pursued in a mutually supportive way. The planning system should help to build a strong and competitive economy, support strong, vibrant, and healthy communities, and protect and enhance the natural, built, and historic environment.

4.13 In paragraph 11 regarding decision taking the presumption in favour of sustainable development means approving development proposals that accord with an up-to-date development plan without delay.

4.14 Paragraph 81 of the NPPF requires that planning policies and decisions help to create conditions in which businesses can invest, expand, and adapt.

4.15 Paragraph 83 discusses how planning policies and decisions should recognise and address the specific locational requirements of different sectors. This includes making provision for storage and distribution operations at a variety of scales and in suitably accessible locations.

Planning Assessment - Key Matters:

'Principle Of Development'

- 4.16 The principle of the proposed development affirmed in both the North Northamptonshire Joint Core Strategy and the Part 2 Local Plan (LP) for Corby. Policies 1 and 22 of the NNC JCS specifically endorse the principle of development within existing settlements, emphasising the aim to support the local economy through such initiatives. The proposal is located within the Town Boundary.
- 4.17 The proposal is located with a designated Established Industrial Estate with Policy 9 of the LP supporting employment uses within the designated area.
- 4.18 As such the proposal adheres to these policies that underscore the importance of ensuring that development is strategically located within settlements and on existing/ allocated sites to secure a sustainable pattern of development and economic prosperity.
- 4.19 The proposal site also makes use of an underutilised piece of land, which is encouraged by Policy 6 of the JCS, consistent with chapter 11 of the NPPF.
- 4.20 As such the proposal is acceptable in principle.

'Character And Appearance'

- 4.21 The proposed simple small-scale general industrial building will integrate with and respect the character and appearance of the surrounding industrial estate.
- 4.22 Consideration is given to the scale and siting of the structure to ensure harmonious coexistence with neighbouring structures on surrounding sites. The building's scale aligns with the existing industrial landscape, promoting a cohesive visual identity. It is considered that the scale and design of the building proposed is acceptable for this industrial area, especially considering the separation distance to neighbouring residential properties and public vantage points.

4.23 This conscientious approach respects the established character of the surroundings of the industrial estate consistent with Policy 8 of the JCS to secure development that respects existing character and wider context of an area. The proposal is acceptable in this regard.

'Highways Impacts'

4.24 The proposal shall utilise the existing access/ egress to the site and is a matter for consideration.

4.25 The current site access arrangement operates safely and there is no reason to suppose that the proposal would introduce a significant increase to the accesses intensity of use that would be considered harmful.

4.26 As such and together with provision of visibility splays at the access it is considered that the proposed small scale industrial building will not create detrimental highway impacts on site and to the surrounding highway network. The site is well connected to the primary road network and is within close distance to sustainable transport routes. Allowing for a workshop to be retained on site is even likely to result in the reduction of highway movements between the site and an alternative site with workshop provisions.

4.27 The proposal is consistent with Policy 8 of the JCS and does not prejudice highway safety.

'Impacts On Residential Amenity'

4.28 The placement of the proposed development ensures that it does not have a notable adverse impact on the amenity of existing or planned residential dwellings and businesses. This applies to various factors such as noise, odour intrusion, dust, traffic generation or visual impact whether considered in isolation or cumulatively. The proposal is compatible with the surrounding uses.

4.29 The design and positioning of the development have been carefully considered to mitigate potential disruptions and maintain a positive environment for both

residential and business entities in the surrounding area. The proposal aims to mitigate any potential concerns related to potential nuisances or disturbances that may arise from the development.

'Other Matters'

4.30 The site is located within Flood Zone 1. The proposal would not increase impermeable surfaces within the site and therefore existing arrangements would serve the sites drainage.

4.31 Given the built nature of the site the proposal would not harm biodiversity and would not have any BNG implications.

4.32 Any existing site contamination that may exist could be dealt with by condition by the Council if necessary.

4.33 The site is illuminated and subject to passive surveillance from surrounding land and highway users.

5 Conclusion

- 5.1 The scheme involves the construction of a new general industrial (B2) building which will support an established business at St James Industrial Estate.
- 5.2 The proposed development will support the ongoing operations by Spirit Hyundai who have operated from the site for years. The existing site access will remain, and the rest of the site will continue to be utilised for open vehicle storage and parking.
- 5.3 The proposed siting of the development was carefully considered, and it is believed that the proposed siting close to the existing boundary and access to the site will reduce the visual impact of the development and provide the best location to meet the business's needs.
- 5.4 The proposed development is within accordance with paragraphs 8, 11, 81 and 83 of the NPPF, policies such as 1, 3, 8 and 22 of the North Northamptonshire Joint Core Strategy (Part 1) and Policies 8 and 9 of the Part 2 Local Plan for Corby. Therefore, we consider that this application should be approved without delay with appropriate associated conditions.