



**Dream. Plan. Begin.**

LAND AT REAR OF 19  
COLLEGE AVENUE, FORMBY

DESIGN AND ACCESS STATEMENT

EVERGREEN DEVELOPMENTS LTD.

1719-RA-XX-XX-PP-A-9050

DECEMBER 2023

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## 1.0 INTRODUCTION

This Design and Access Statement has been prepared by Revival Architecture Ltd.

This application seeks permission for the construction of 1no. High quality 4 bed detached house (Use Class C3)

This Design and Access statement has been prepared to provide an overview of the proposals and how its design has been informed by the site context and constrains.

This document should be read in conjunction with the following supporting drawings and reports.

- 1719-RA-XX-XX-DR-A-0000 – Location Plan
- 1917-RA-XX-XX-DR-A-0001 – Construction and Environmental Management Plan (CEMP)
- 1719-RA-XX-XX-DR-A-0002 – Proposed Site Access
- 1719-RA-XX-XX-DR-A-0100 – Existing and Proposed Site Plans
- 1719-RA-XX-XX-DR-A-0110 – Proposed Plans
- 1719-RA-XX-XX-DR-A-0200 – Proposed Elevations

## 1.1 PLANNING HISTORY

**98/0222/N** - The application site has had a previous Planning Consent, which was submitted and granted in 1998 reference 98/0222/N. This was for the “Erection of 1 detached two-storey dwellinghouse to form part of the former Holmwood School residential development site at Barkfield Lane”.

We have obtained the approved Planning drawing which shows a sizeable detached house. The previous house occupied around 30-40% of the building plot. The approved scheme was for a large traditional style house with pitched roofs. The new scheme looks to position the building in a similar position on the plot.

The permission was due to expire on 4<sup>th</sup> June 2003 so a Building Regulations Application was submitted and foundation poured to secure the Planning Consent in perpetuity. The land owner has also supplied photographic evidence that the foundation to the north east corner was both excavated and concrete poured.

**DC/2022/01189** - Erection of a detached two storey (plus attic floor) dwellinghouse. Approved with conditions.



**PHOTO OF EXCAVATED FOUNDATION**



**PHOTO OF CONCRETE POUR TO FOUNDATION**



## 2.0 SITE CONTEXT

### 2.1 LOCATION

The site is located in Formby and is approximately 1 mile north west of the town centre. This gives the site access to an abundance of local amenities such as restaurants, shops, cafes, bars and restaurants. As well as other commercial buildings you would expect on a main high street like banks, post office and a pharmacy.

The site sits within a primary residential area with a mix of housing styles and ages, however most are detached dwellings. Within the wider local context there are larger educational buildings, as well as religious, community, and care facilities close to the site, which you would expect in a suburban setting.

The site sits centrally between the train stations of Freshfield and Formby, which are both about half a mile away. The stations are on the same train line which give access to Southport to the north and Liverpool to the south.

The area of the site is approximately 1070sqm. The Site was formerly the rear garden to 19 College Avenue, but like other houses on College Avenue this was separated to form a new plot of land for residential development.

The Site is located to the south of 41 The Evergreens, of which it shares its northern boundary. The site also has shared boundaries with properties on College Avenue to the East and South; as well as Holmwood Close to the West.

The site is accessed through The Evergreens and then onto a shared access road, at the end of the cul-de-sac adjacent to numbers 39 and 41.



--- PROPOSED DEVELOPMENT SITE



## 2.0 SITE CONTEXT

### 2.2 SITE PHOTOGRAPHS



**View towards the South East Corner of the site**



**View towards the North West Corner of the Site (Entrance)**



**View toward the South West Corner of the site**



**View of Shared Drive from The Evergreens**



## 2.0 SITE CONTEXT

### 2.3 EXISTING SITE PLAN

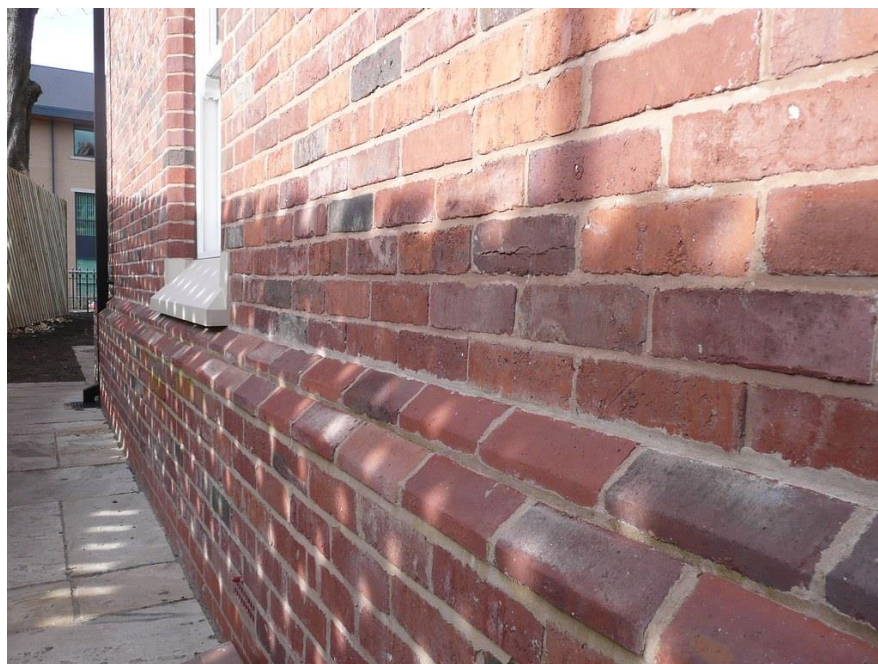


EXISTING SITE PLAN



### 3.0 DESIGN PROPOSALS

### 3.1 DESIGN PRECEDENTS





## 3.0 DESIGN PROPOSALS

### 3.2 DESIGN DEVELOPMENT

The brief was to create development that would achieve the following;

- To deliver high specification but functional house
- Ensure the house sits well within the context in its appearance and scale/mass
- Not to have any adverse affect on the surrounding existing properties

#### DESIGN APPROACH

The design of the proposed dwelling has been developed in consultation with the client to meet their needs for a functional family home.

The layout of the proposal has been designed around the existing constraints. The house is positioned towards in the centre of the site, to respect the interface distances of both the existing front and rear properties. The garage has been located closest to site entrance to ensure efficient and convenient use.

Positioning the building in the middle of the site means the scheme will have a generous driveway to the front. This also gives a good size rear garden with functional terrace areas and lawn.

The house will have 3+ external parking spaces and 1 additional space within the garage.

#### USE

The proposal is for the construction of 1no high quality 4+ bed detached houses (Use Class C3).



**PROPOSED SITE PLAN**



### 3.0 DESIGN PROPOSALS

#### 3.3 LAYOUT & SCALE

##### LAYOUT

The house is traditional in its internal layout with central stair core and hall/ landing with various rooms arranged around this over 3 floors. The Ground Floor contains a large Lounge, Kitchen and a second Kitchen area, which will be a functional room for cooking and utility uses. There is also leisure rooms consisting of a Gym and Swimming Pool to Ground Floor. The rear rooms all have large windows with direct access onto the garden.

The First Floor consists of a large Master Bedroom with en-suite and a Games/ Cinema Room, with toilet. There will also be a Laundry Room to this level. The Second Floor contains 2 further Bedrooms with en-suites.

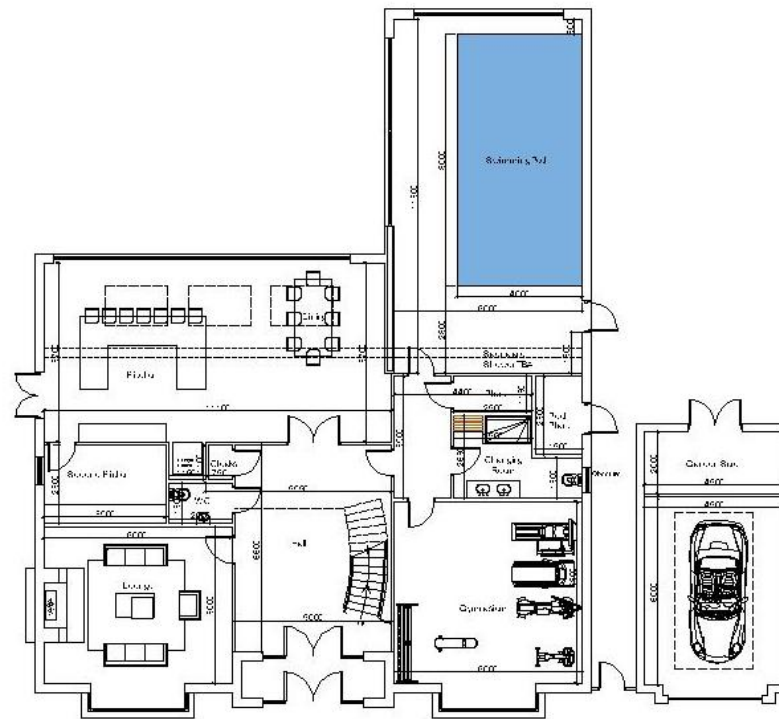
There will be a separate Garage to the side of the house which will have a Garden Store built on the rear.

##### SCALE

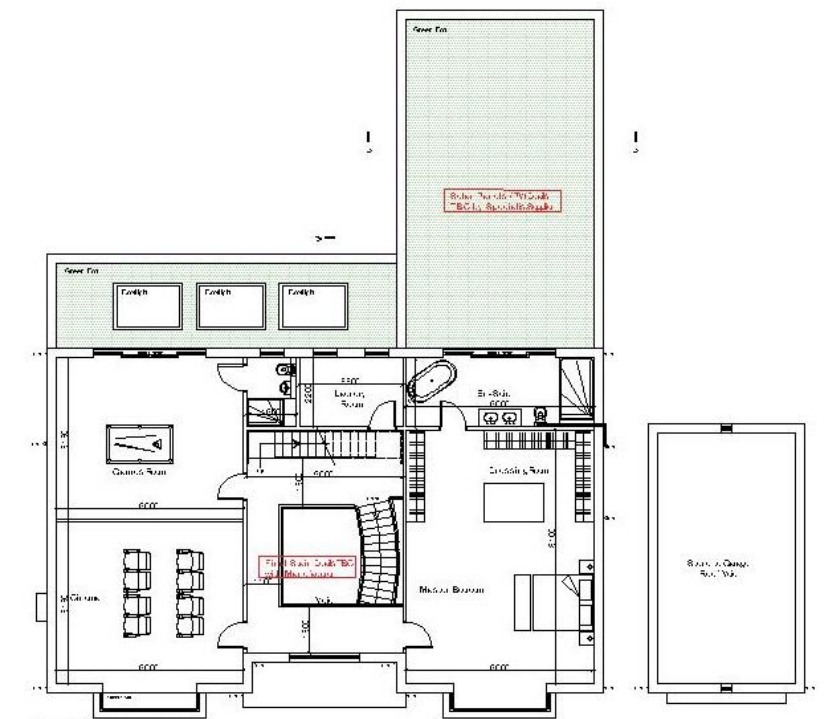
The proposed house is 2.5 storeys with the top storey being in the roof space, to create a more sympathetic scale to the surrounding buildings. The footprint of the new dwelling and garage are a combined 370m<sup>2</sup> and sit within a 1070m<sup>2</sup> site. Therefore, the buildings footprint is less than 35% of the whole site area making the proposal sit well within the plot.

To further this the First and Second Floor are reduced in footprint and the Ground Floor flat roof areas will have green roofs, to lessen the impact of the built form on the site and surroundings. The gross internal floor areas for the house are as follows:

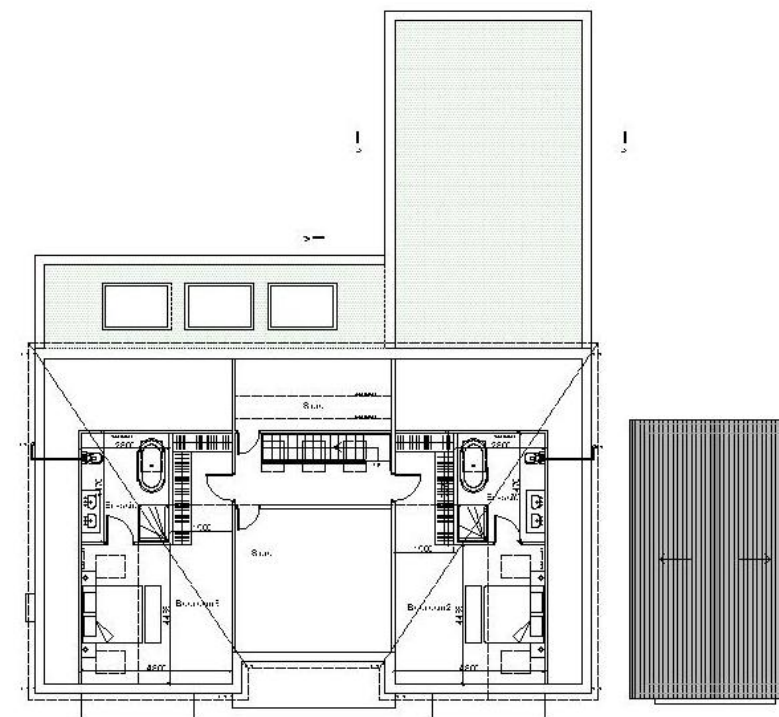
- Ground Floor = 300m<sup>2</sup>
- First Floor = 160m<sup>2</sup>
- Second Floor = 140m<sup>2</sup>



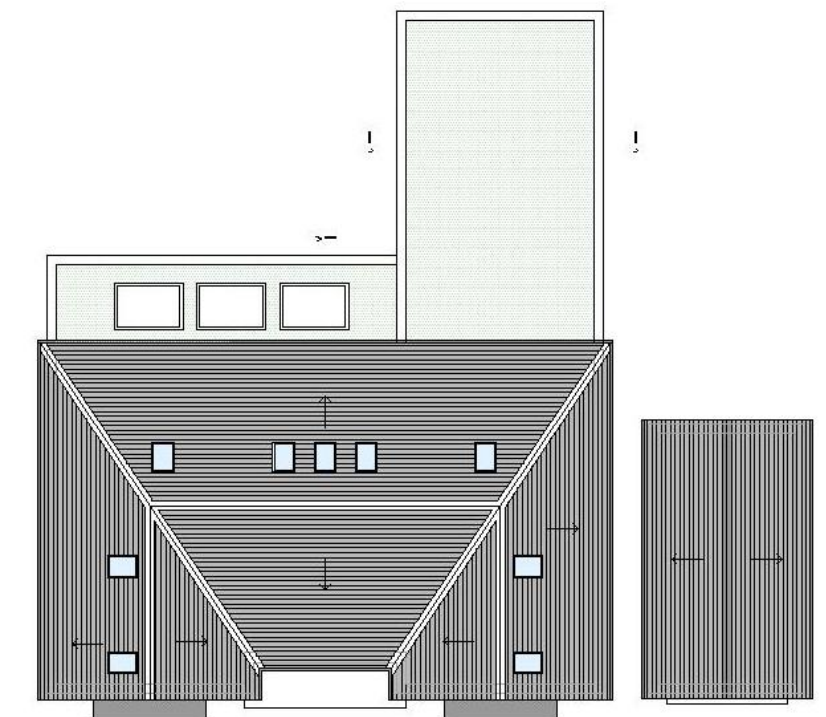
**PROPOSED GROUND FLOOR PLAN**



**PROPOSED FIRST FLOOR PLAN**



**PROPOSED SECOND FLOOR PLAN**



**PROPOSED ROOF PLAN**



### 3.0 DESIGN PROPOSALS

### 3.4 APPEARANCE & MATERIALS

#### APPEARANCE

The proposed dwelling has a traditional design which is complemented with some contemporary design features of large glazed areas, to both the front and rear elevations. The 'double fronted' arrangement to the front is traditional of a large detached property with bay windows adding interest. The central glazed 2.5 storey feature provides a focal point for the main entrance and also gives natural light within the house's main circulation and stair core.

The rear elevation also has high levels of glazing, but just to the Ground Floor to provide views of the garden areas and high levels of natural light to the rear rooms.

The house has traditional pitched roofs, with gutters and soffits and the chimney stack provides an attractive feature for the house. The rear elevation has more modern single storey parts with flat roofs, which will have a 'green' sedum roof. The garage will again be traditional in appearance but will have a feature frame to the door match the feature of the main house.

#### MATERIALS

The main material for the house will be a quality hand-made brick which will reflect the properties within the local context. Within the brickwork there will be a plinth to the bottom of the house; a band course detail around the middle portion, with corbelled brickwork to the eaves levels and detailing to the chimney stack. The single storey rear elements will be in render to act as a modern contrast to the brickwork.

The main feature boxes to the house and garage will be in an aluminium or stone material. The windows will be contemporary in grey; with eaves, soffits and downpipes also in a similar dark grey colour to provide a simple colour pallet. The bay windows will have stone cills and heads.





## 4.0 ACCESS STRATEGY

### 4.1 ACCESS STATEMENT

#### VEHICULAR ACCESS

Vehicles and pedestrians will access the site via The Evergreens. A new purpose-built entrance with electronic timber gate will be installed with brick piers either side. The gate will open on a remote fob and access for visitor will be via an intercom system that will connect to the main house.

#### INCLUSIVE ACCESS

The applicant recognises the requirements of the Equality Act and the Council's own standards to ensure that all new developments are accessible by all sectors of the community, irrespective of any disability.

External surfaces within the curtilage will be legible and clear to best enable inclusive access. The new proposal has been designed according with British Standards and Building Regulations approved document M.

This will be to ensure level thresholds and accessible home environments.

All doors within the building will have a clear opening of at least 800mm wide. (Measured from face of door stop to face of door in 90-degree position).





## 5.0 LANDSCAPING

The development's landscaping scheme will be appropriate to the scale, function and character of the development.

There will be a mix of hard and soft landscaped areas. The proposal will have large planted areas along the front boundary towards 41 The Evergreens. This area will be a mixture of low level shrubs and small trees to provide a natural screen to the shared boundary. The front driveway will be tarmac or resin gravel to provide a smooth parking surface to accommodate 3-4 cars, whilst there is also a garage for further parking. There will be planting to the front bay windows to break up the hardstanding area.

The rear garden will have a large east facing patio area which will have raised planters for a Kitchen Garden. This will also be the main seating area to provide morning sun and afternoon shade.

There will be a traditional garden lawn to the rear, which will be surrounded by shrubs and to the eastern part of the site will be a children's play area.

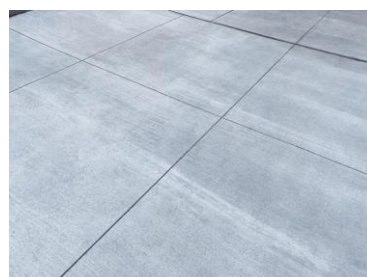
The main vehicle and pedestrian entrance for the site will be a solid timber sliding gate, with brick piers, in matching brickwork to the house. The other boundaries around the site will be close boarded timber fence in keeping with the existing shared boundaries.



**PROPOSED SITE PLAN**



**LAWN**



**CONCRETE PAVING  
SLABS**



**TARMAC DRIVEWAY**



**BORDER PLANTING**



**ENTRANCE GATE**



**TIMBER FENCE**



## 10.0 DRAWING INDEX

### **DRAWINGS SUBMITTED AS PART OF THIS APPLICATION:**

1521-RA-XX-XX-PP-9050 - Design and Access Statement

1719-RA-XX-XX-DR-A-0000 – Location Plan

1719-RA-XX-XX-DR-A-0001 – Construction and Environmental Management  
Plan (CEMP)

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