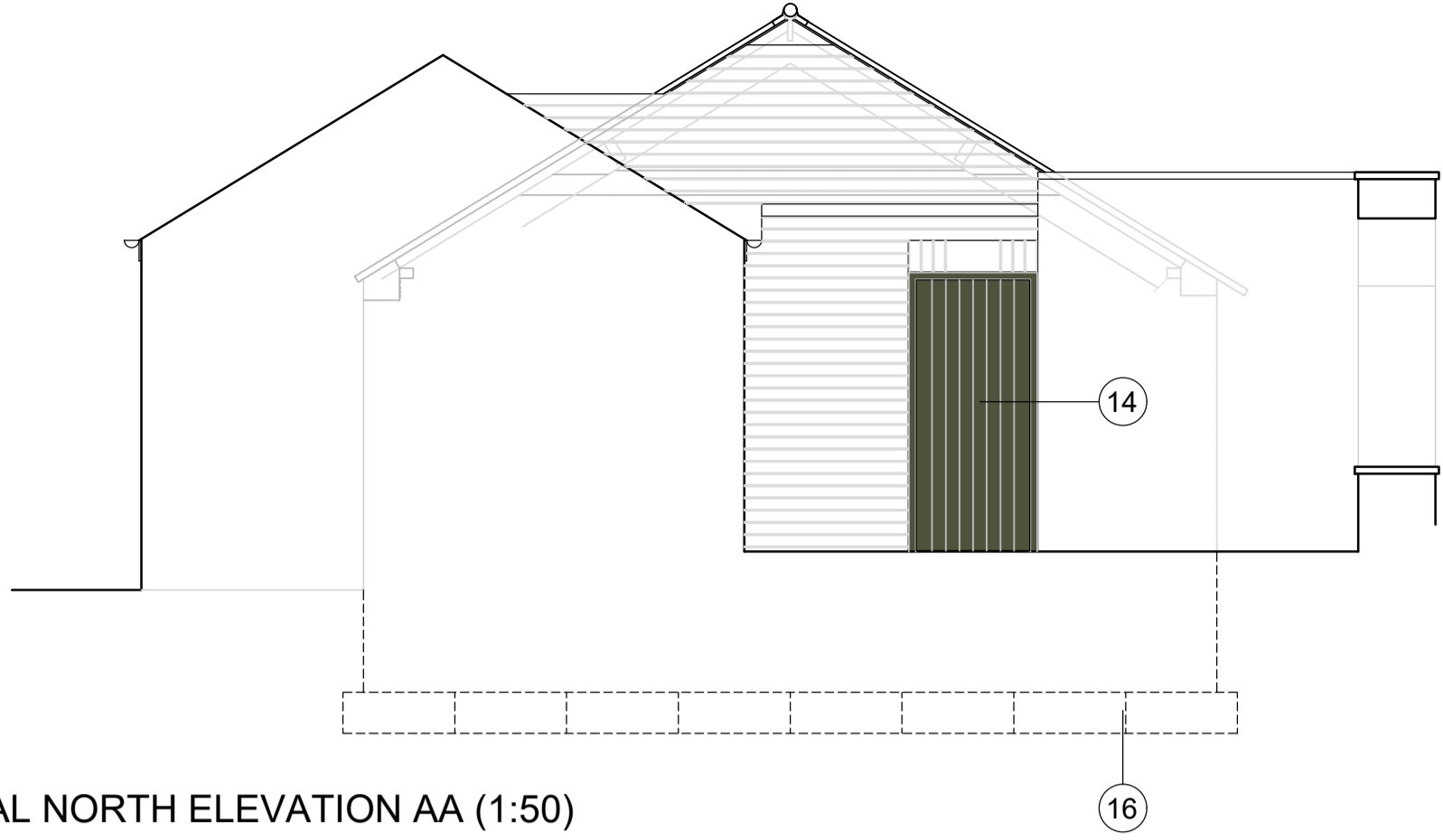
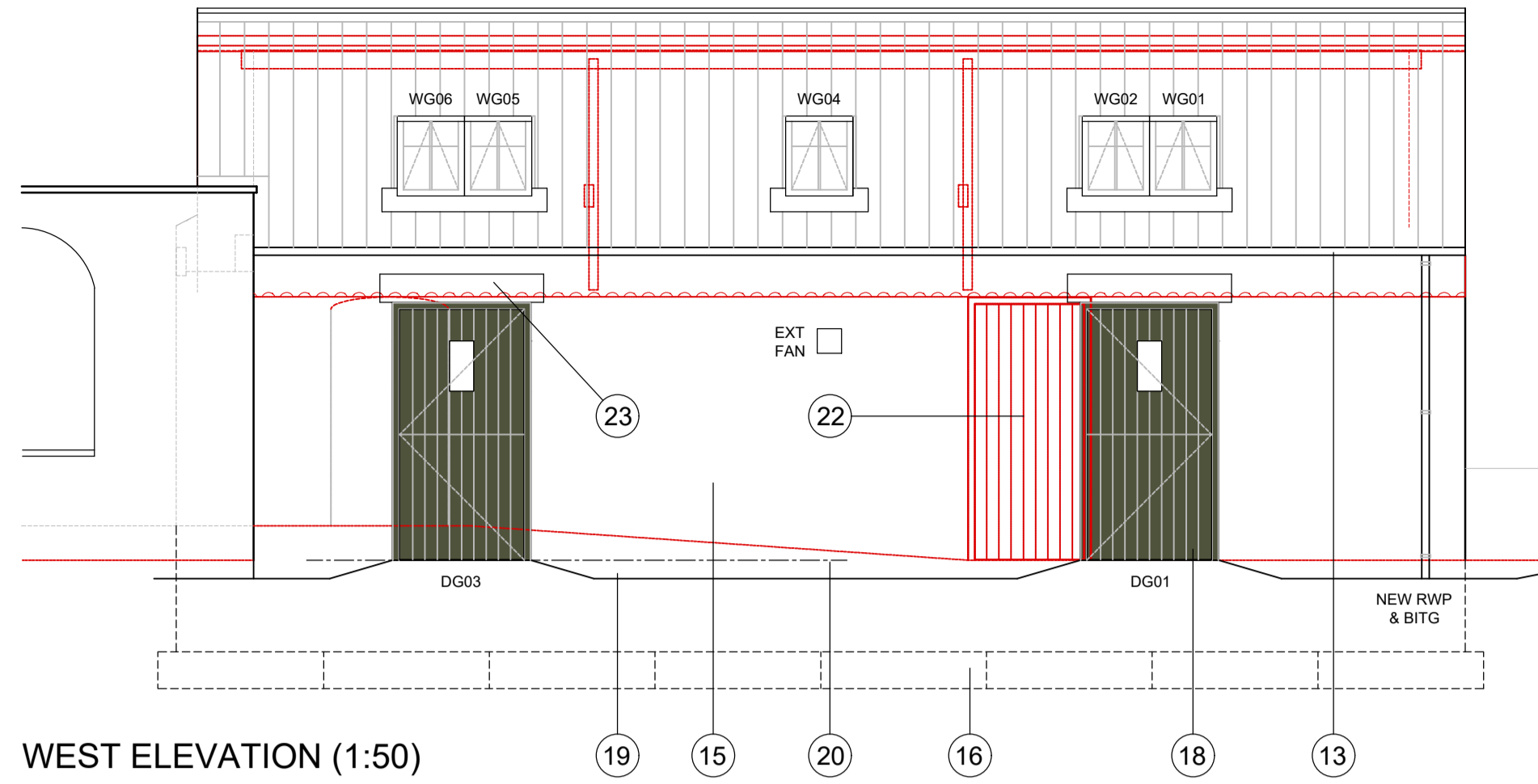


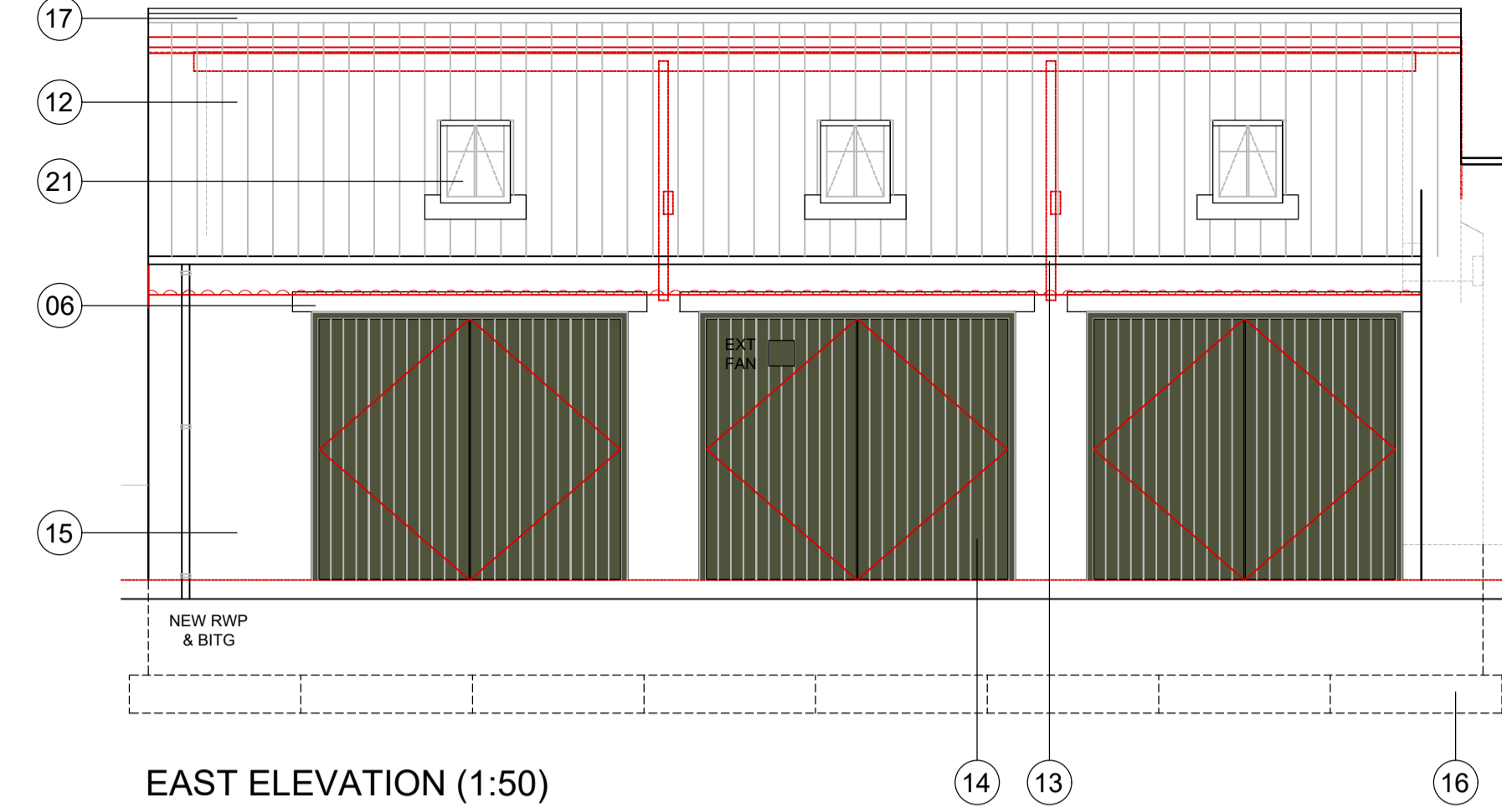
ALL DIMENSIONS ARE BETWEEN STRUCTURAL ELEMENTS UNLESS NOTED OTHERWISE.



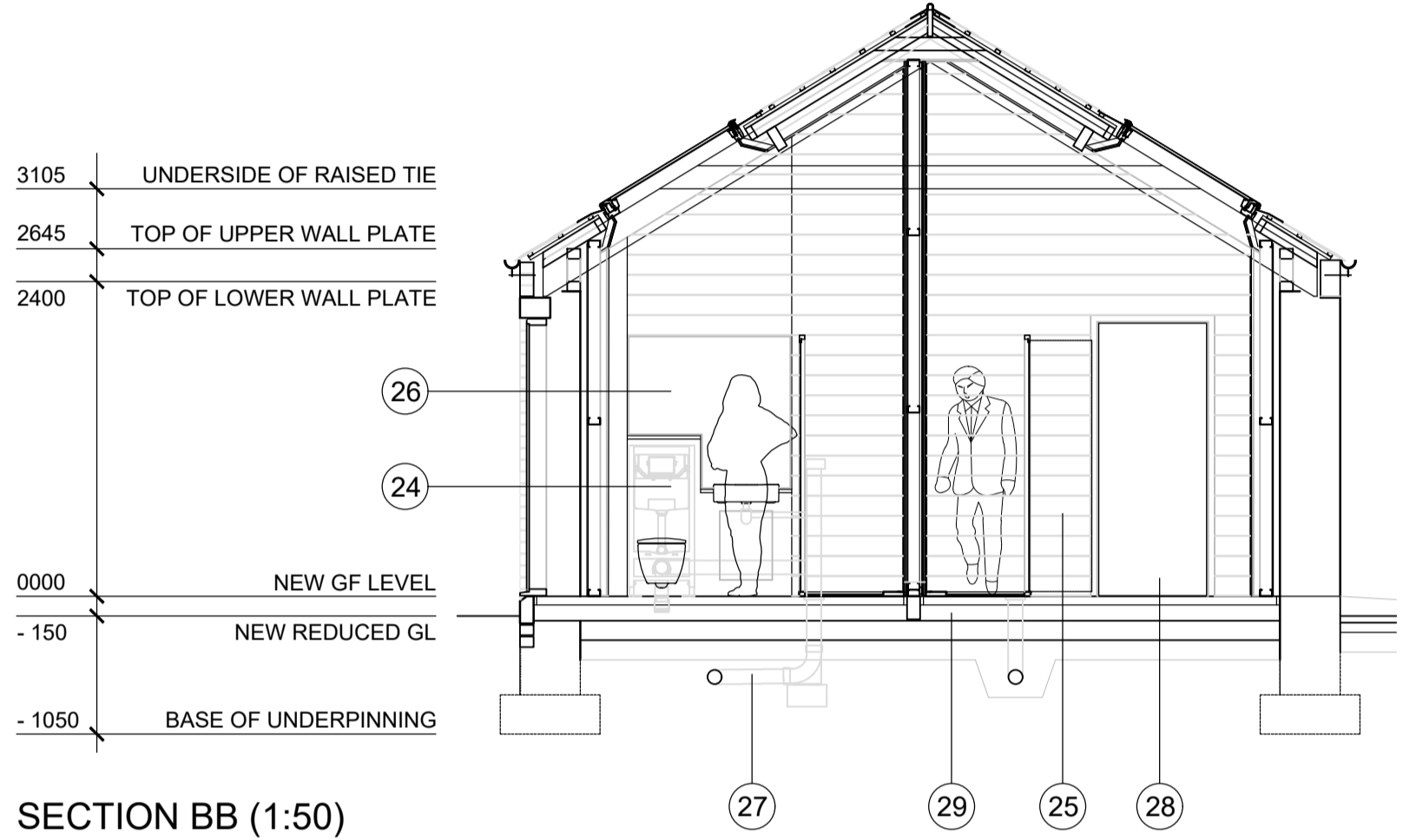
SECTIONAL NORTH ELEVATION AA (1:50)



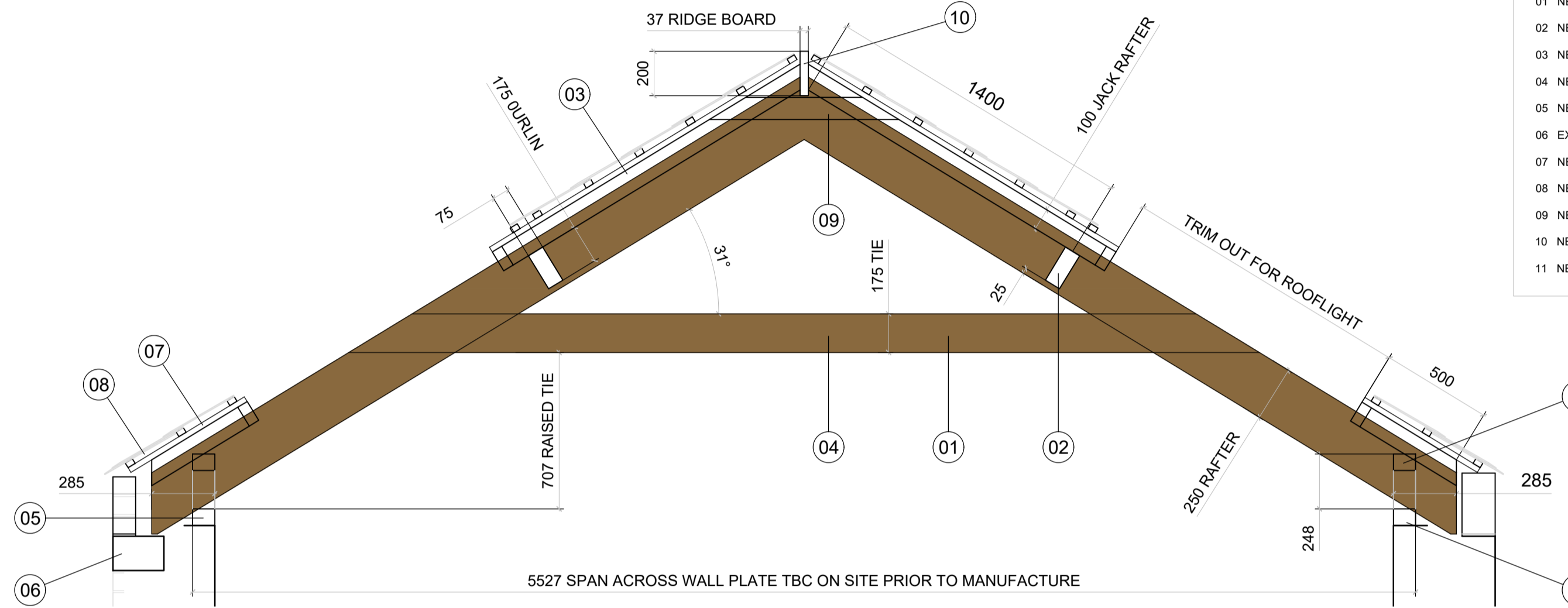
WEST ELEVATION (1:50)



EAST ELEVATION (1:50)



SECTION BB (1:50)



EXPOSED OAK ROOF STRUCTURE DETAIL (1:20)

BUILDING REGULATION NOTES

DEMOLITIONS:
REMOVE PART EXISTING STONE WALL FOR NEW OPENINGS AND MAKE GOOD REVEALS. REMOVE ENTIRE ROOF STRUCTURE AND ASBESTOS COVERING FOR COMPLETE REPLACEMENT. REMOVE ALL TIMBER GATES AND DOORS AND FRAMES NO LONGER REQUIRED. REMOVE EXISTING VEGETATION FROM EXISTING WALLS AND REMOVE LOOSE AND DEFECTIVE MASONRY. SCRAPE EXISTING SITE TO THE BUILDING PERIMETER TO MINIMUM 150 BELOW NEW FLOOR LEVELS AND REMOVE ALL TOPSOIL AND SPOIL TO SUIT THE NEW LEVELS. REMOVE ALL TREE ROOTS ROCKS ETC ENCOUNTERED AND BACKFILL WITH DOT TYPE 01 HARDCORE IN COMPACTED LAYERS NO THICKER THAN 150MM.

FOUNDATIONS:
NEW REINFORCED CONCRETE FOUNDATIONS UNDERPINNING AS DETERMINED BY STRUCTURAL ENGINEER TO SPECIALIST DESIGN TO LOAD-BEARING STRATA. NOTE EXISTING TREES. 50 THICK CLAYMASTER TO PERIMETER OF NEW FOUNDATIONS AS REQUIRED TO ENGINEERS DETAILS FOR PROTECTION FROM NEARBY EXISTING TREES.

WALLS:
EXTERNAL (TO ACHIEVE U-VALUE OF 0.13W/m².k)
EXISTING RANDOM STONE AND BRICKWORK WALLING RETAINED AS INDICATED. STONE WALLING ADAPTED TO SUIT NEW OPENINGS. ANCON ST1 350 LONG (OR SIMILAR) WALL TIES AT 450c VERTICALLY AND 900c HORIZONTALLY AND AT 225c TO STRUCTURAL OPENING JAMBS COMPLETE WITH VERTICAL DRIP NEW BIRTLEY (OR SIMILAR) INSULATED LINTELS TO EXTERNAL OPENINGS TO ENGINEERS SPECIFICATION. THERMABATE INSULATED CAVITY CLOSER TO SUIT 100 CAVITY WIDTH TO STRUCTURAL JAMBS.
EXISTING MASONRY EXTERNAL STRUCTURE REPAIRED, STITCHED AND RE-POINTED TO ENGINEERS DETAILS AND RECOMMENDATIONS.

NEW 50 CAVITY FROM EXISTING INNER WALL LINE MAINTAINED. NEW TYVEK (OR SIMILAR) NL VENT MEMBRANE ON NEW 9 THICK OSB LINING SHEETING ON BRITISH GYPSUM 92 METAL STUDS AT NOMINAL 600 CENTRES COMPLETE WITH HEAD AND SOLE PLATES. ALLOW FOR 25 DEFLECTION DETAIL TO HEAD OF NEW WALL. NEW INNER WALL LINING OF 62.5 THICK KINGSPAN K118 WITH 3 SKIM FINISH. NEW COMPRESSED 100 KINGSPAN K112 INSULATION BETWEEN STUDS.

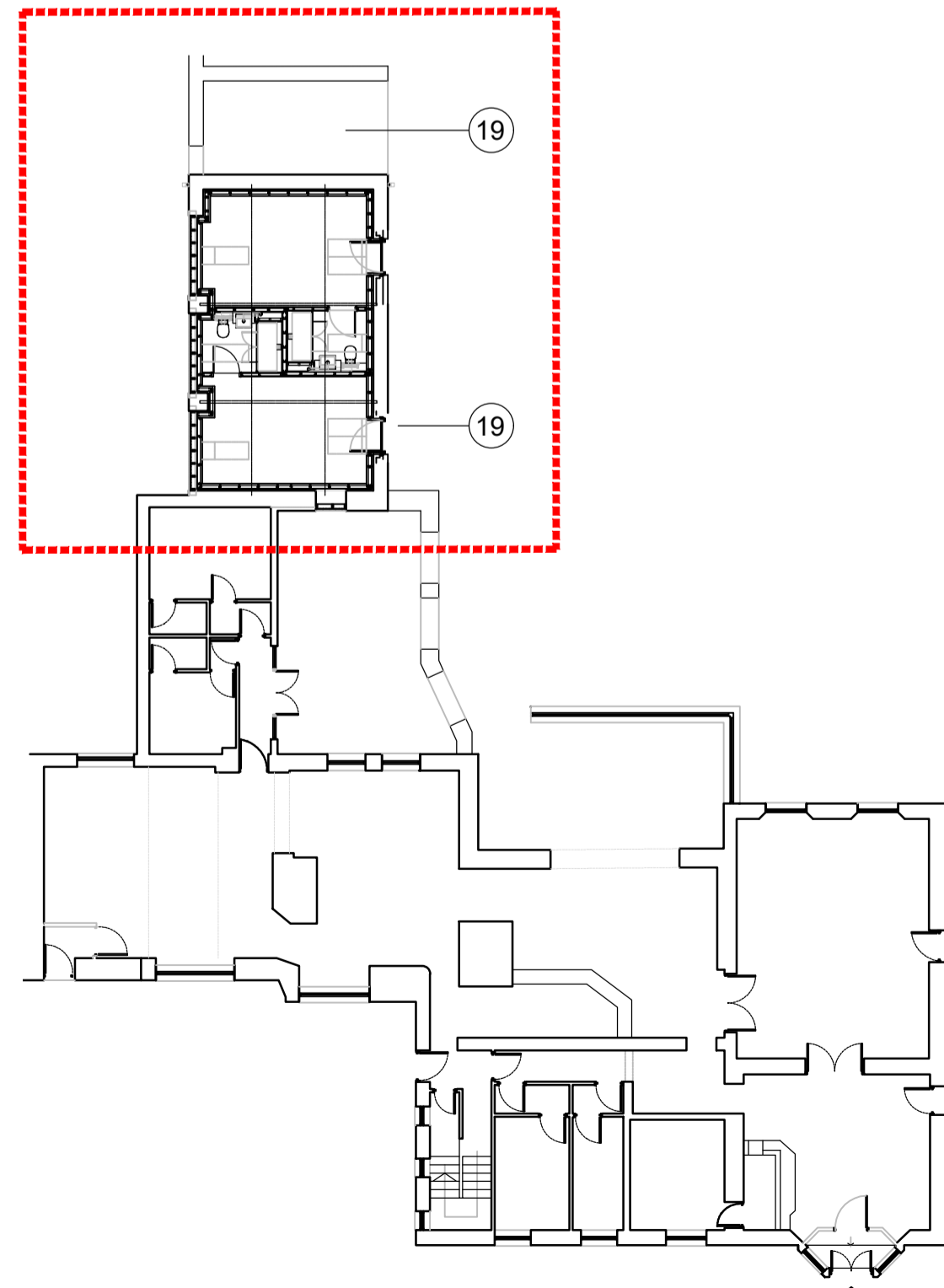
INTERNAL WALLS
GROUND FLOOR PARTY WALL CONSTRUCTION -
NEW BRITISH GYPSUM 92 METAL STUDS AT NOMINAL 600 CENTRES COMPLETE WITH HEAD AND SOLE PLATES. ALLOW FOR 25 DEFLECTION DETAIL TO HEAD OF NEW WALL. NEW RESILIENT BARS (RB1) TO STUDS TO ONE SIDE TO ACCOMMODATE 2 LAYERS 15 SOUNDLOC F MR PLASTERBOARD WITH TAPED STAGGERED JOINTS WITH 3 SKIM FINISH. 50 THICK GYPROC ISOROLL SUSPENDED WITHIN CAVITY. REMAINING SIDE TO HAVE 2 LAYERS 15 SOUNDLOC F MR PLASTERBOARD WITH TAPED STAGGERED JOINTS AND 3 SKIM FINISH. 90 MINUTES INTEGRITY AND INSULATION AND ACOUSTIC PERFORMANCE OF 64DB.

FLOORS:
GROUND FLOOR CONSTRUCTION (TO ACHIEVE U-VALUE OF 0.13W/m².k)
NEW 65 SAND CEMENT SLORED ON SEPARATION LAYER ON 120 THICK KINGSPAN KOOL THERM K103 ON 150 THICK 1:2:4 200KG/M³ REINFORCED CONCRETE SLAB TO ENGINEERS DESIGN ON VISQUEEN 200 DPM (LAPPED WITH WALL DPC) ON MINIMUM 150 THICK DOT TYPE 1 COMPACTED HARDCORE. 25 THICK PERIMETER INSULATION TO FLOOR EDGE. NEW FLOOR LEVEL TO MATCH EXISTING.

ROOF:
(TO ACHIEVE U-VALUE OF 0.12W/m².k)
NEW 6 THICK WELSH BLUE SECOND HAND SLATE ROOF FINISH TO MATCH MAIN HOTEL ROOF ON 25 X 38 TAN SW BATTENS TO GAUGE ON 38 X 38 TAN SW COUNTER BATTENS ON KINGSPAN MILVANT ROOFING MEMBRANE. NEW 100 X 50 C16 TAN SW RAFTERS AT 400 CENTRES. RAFTERS SUPPORTED ON EXPOSED FEATURE OAK TRUSSES, PURLINS AND RIDGE TO DETAIL TO MATCH EXISTING ROOF REPLACED. NEW 50 THICK KINGSPAN K107 PITCH ROOF BOARD BETWEEN RAFTERS WITH 92.5 THICK INSULATED PLASTERBOARD BELOW. RAFTERS WITH 3 SKIM FINISH. TRIM OUT FOR NEW ROOF LIGHTS AS INDICATED.

NEW 110 STEEL HALF-ROUND GUTTERS ON DRIVEN ADJUSTABLE BRACKETS WITH 62 DIA STEEL DOWN-CORNERS TO NEW BITG LOCATIONS AS INDICATED SECURELY CLIPPED TO WALLS

STORE CONVERSION
GIFA 50.335M²



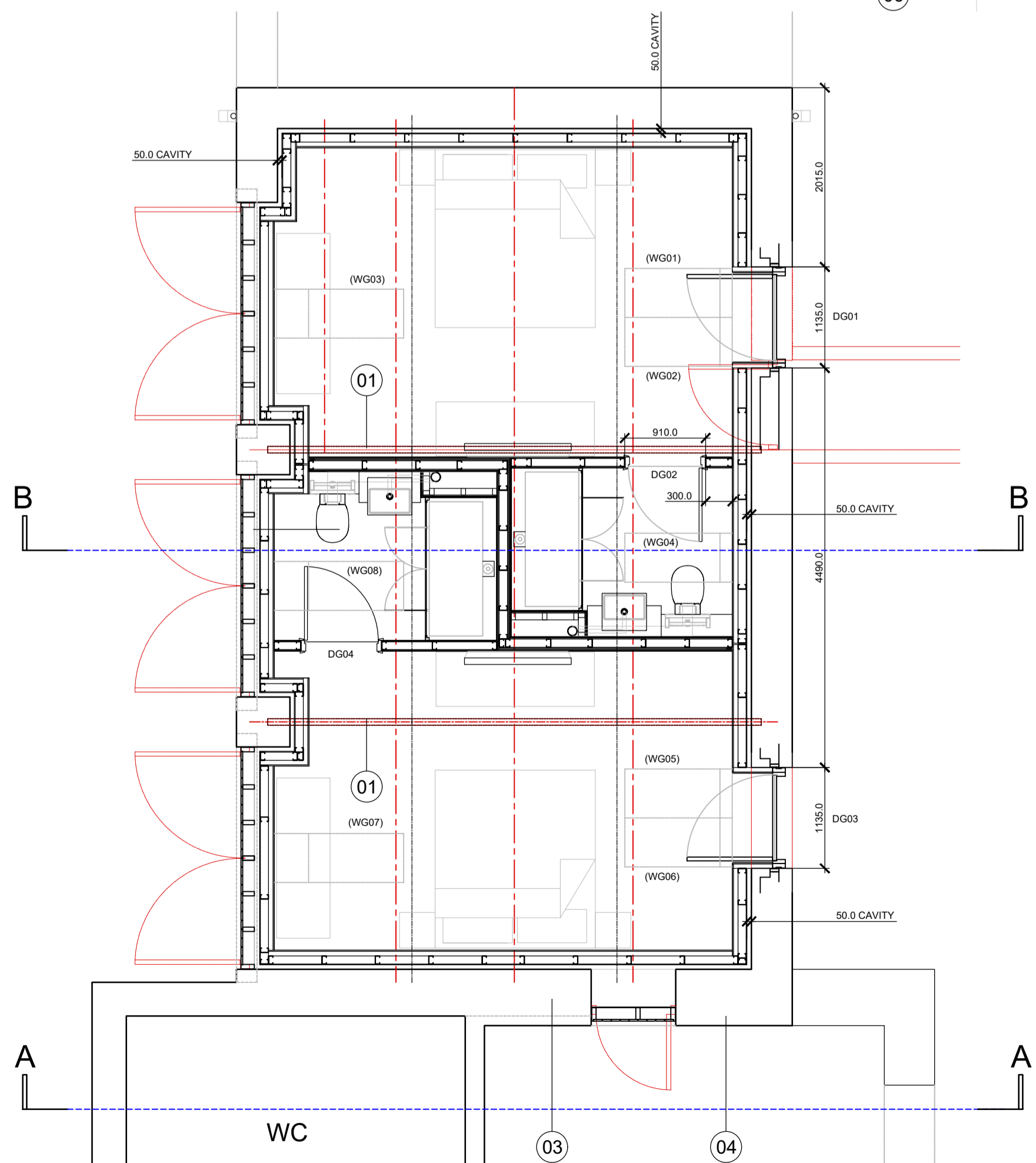
PART KEY GROUND FLOOR PLAN (1:200)

- DETAIL NOTES**
- 01 NEW EXPOSED OAK TRUSS TO MATCH EXISTING
 - 02 NEW 175 X 75 PURLINS TO MATCH EXISTING
 - 03 NEW 100 X 50 TAN SW RAFTERS 400 CENTRES C16
 - 04 NEW 175 X 75 RAISED TIE BEAM TO MATCH EXISTING
 - 05 NEW 100 X 75 TAN SW WALL PLATE STRAPPED TO WALL
 - 06 EXISTING CONCRETE LINTEL RETAINED
 - 07 NEW 25 X 38 COUNTER BATTENS
 - 08 NEW 25 X 38 ROOFING BATTENS TO GAUGE FOR SLATE ROOF
 - 09 NEW 100 X 50 TAN SW RAFTER TIE 400 CENTRES C16
 - 10 NEW 200 X 37 RIDGE BOARD
 - 11 NEW 100 X 75 TAN SW WALL RAISED PLATE FRAMING

NOTES
Do not scale from this drawing. Only figured dimensions are to be taken from this drawing.
Contractor must verify all dimensions on site before commencing any work or shop drawings.
Report any discrepancies before commencing work to GW Architectural. If this drawing exceeds the quantities taken in any way the practice should be informed before the work is initiated.
Work within the Construction (Design & Management) Regulations 2015 is not to start until a Construction Phase Plan has been produced. All work is to be carried out in accordance with good building practice and any relevant legislation, British Standards, Codes of Practice, etc, in force at the time of the execution of the works.
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Drawing Status/Type Key:
F - Feasibility stage drawing
T - Tender stage drawing
AB - As Built Status
SK - Sketch drawing
L - Landscape Drawing
OS - Ordnance Survey drawing
P - Planning stage drawing
C - Construction stage
TNT - Tenant drawing
M - Marketing drawing
S - Survey drawing

Rev.	Description	Drawn	Date	Ch'ked	Date



GROUND FLOOR PLAN (1:50)

- DRAINAGE:**
ABOVE GROUND DRAINAGE IN NEW 110 DIA UPVC SWP AND STUB STACKS AND WC WASTES. NEW 92 DIA UPVC WHB AND SHOWER WASTES TO FALLS TO NEW STACK LOCATIONS COMPLETE WITH 75 DEEP SEAL BOTTLE TRAP AND RODDING POINTS. BELOW GROUND DRAINAGE IN 110 DIAMETER UPVC DRAINAGE CONNECTED TO EXISTING SYSTEM AND OUTFALL. NEW 450 DIAMETER INSPECTION CHAMBERS.
- MECHANICAL INSTALLATION:**
NEW ELECTRIC HEATING SYSTEM EXTENDED FROM MAIN HOTEL TO SUIT NEW ARRANGEMENT INSTALLED BY SPECIALISTS.
NEW EXTRACT FROM BATHROOMS (WALL MOUNTED) AT 30L TO EXTERNAL AIR WITH 15 MINS RUN-ON AND WORKED FROM THE LIGHT SWITCH.
- ELECTRICAL INSTALLATION:**
NEW ELECTRICAL SUPPLY EXTENDED FROM MAIN HOTEL.
NEW SYSTEM TO SUIT NEW DESIGN TO COVER NEW AREAS TO PART P OF BUILDING REGULATIONS.
SOCKETS TO BE LOCATED AT 450 ABOVE FLOOR LEVEL WITH LIGHT SWITCHES AT 1100 ABOVE FLOOR LEVEL.
SMOKE DETECTORS (SD) LOCATED ON PLAN TO BE MAINS POWERED AND INTERLINKED WITH BATTERY BACK-UP AS INDICATED.
- WINDOWS, ROOF WINDOWS AND DOORS AND TIMBER SCREENS:**
(TO ACHIEVE U-VALUE OF 1.20W/m².k)
NEW COMPOSITE ENTRANCE DOORS WITH 3 POINT LOCKING SYSTEM PAS 24 RATED. DOOR STYLE TO SUIT STABLE DOOR APPEARANCE WITH OBSCURED GLAZING. NEW ROOF-LIGHTS CENTRE PIVOT TO CLIENTS CHOICE.
NEW BLACK VELUX CONSERVATION ROOF LIGHTS AS INDICATED REF: CC06 (550 X 1180) COMPLETE WITH CENTRE BAR AND TOP HUNG OPENING. ELECTRONIC AUTOMATIC OPENING ON HUMIDITY STAT. PROPRIETARY FLASHINGS TO SUIT ROOF FINISH.
EXTERNAL TIMBER SCREENS:
EXTERNAL TIMBER DOORS AND FRAMES REMOVED ENTIRELY. NEW HARDWOOD T AND G TIMBER SCREENS WITHIN EXISTING OPENINGS TO MATCH EXISTING DOORS COMPLETE WITH BLACK MOCK HINGES (NOT OPERABLE). HARDWOOD FRAME SECTIONS 150 X 75 ON DPC. ALL PAINTED TO CLIENTS CHOICE (NOTE 14).
- 12 NEW WELSH SLATE ROOF COVERING
 - 13 NEW BLACK STEEL GUTTERING ON DRIVEN BRACKETS
 - 14 NEW TIMBER DETAILING TO MATCH EXISTING WITH MOCK BLACK HINGES
 - 15 NEW REPAIRS TO EXISTING EXTERNAL BRICK AND STONE MASONRY
 - 16 LINE OF NEW UNDERPINNING TO ENGINEERS REQUIREMENTS
 - 17 NEW CODE 6 LEAD RIDGE ROLL DETAIL WITH CLOAK DETAILS
 - 18 NEW COMPOSITE STABLE DOOR ENTRANCE WITH LEVEL ACCESS
 - 19 NEW REDUCED LEVELS MINIMUM 150 BELOW NEW FLOOR LEVEL
 - 20 NEW DPC INJECTION BY SPECIALISTS
 - 21 NEW CONSERVATION ROOF LIGHTS AND FLASHINGS BY SPECIALISTS
 - 22 EXISTING OPENING RELOCATED
 - 23 NEW 230 HIGH STONE LINTEL WITH 102.5 BEARING
 - 24 NEW BATHROOM FITTINGS TO CLIENTS CHOICE WITH LOW LEVEL SHOWER TRAY
 - 25 NEW FULL HEIGHT TILED WALLS
 - 26 NEW MIRROR WITH STICKY PAD FIXINGS
 - 27 NEW DRAINAGE CONNECTED TO EXISTING SYSTEM AND OUTFALL
 - 28 NEW INTERNAL DOORS TO MATCH MAIN HOTEL TO CLIENTS CHOICE
 - 29 NEW INSULATED CONCRETE FLOOR

DRAWING SIZE A1

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PROJECT
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HIGH PITTINGTON
COUNTY DURHAM DH6 1AB**

DRAWING TITLE
**PROP. STORE CONVERSION
GROUND FLOOR PLAN AND
ELEVATIONS & SECTIONS**

Scale 1:50	Drawn By NG	Date Drawn Nov 23	Checked By GW	Date Checked Nov 23
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Drawing No. **22007.C11** Revision

Drawing Status
(C) CONSTRUCTION