

22007 – Hallgarth Manor Accommodation Sustainable Design



1.0 Introduction

CDP Policy 29 states that development proposals will be required to achieve well designed buildings and places having regard to supplementary planning documents and other local guidance documents where relevant and;

- a. contribute positively to an area's character, identity, heritage significance, townscape and landscape features, helping to create and reinforce locally distinctive and sustainable communities;
- b. create buildings and spaces that are adaptable to changing social, technological, economic and environmental conditions and include appropriate and proportionate measures to reduce vulnerability, increase resilience and ensure public safety and security;
- c. minimise greenhouse gas emissions, by seeking to achieve zero carbon buildings and providing renewable and low carbon energy generation, and include connections to an existing or approved district energy scheme where viable opportunities exist. Where connection to the gas network is not viable, development should utilise renewable and low carbon technologies as the main heating source;
- d. minimise the use of non-renewable and unsustainable resources, including energy, water and materials, during both construction and use by encouraging waste reduction and appropriate reuse and recycling of materials, including appropriate storage space and segregation facilities for recyclable and non-recyclable waste and prioritising the use of local materials
- e. provide high standards of amenity and privacy, and minimise the impact of development upon the occupants of existing adjacent and nearby properties; and
- f. contribute towards healthy neighbourhoods and consider the health impacts of development and the needs of existing and future users, including those with dementia and other sensory or mobility impairments.

Landscape proposals should:

- g. respond creatively to topography and to existing features of landscape or heritage interest and wildlife habitats;
- h. respect and where appropriate take opportunities to create attractive views of and from the site;
- i. reflect in the detailed design any features characteristic of the locality such as boundaries, paving materials and plant species;
- j. create opportunities for wildlife including though the use of locally native species;
- k. make appropriate provision for maintenance and long term management; and
- l. in the case of edge of settlement development, provide for an appropriate level of structural landscaping to screen or assimilate the development into its surroundings and provide an attractive new settlement boundary.

The proposals at Hallgarth broad fall into 3 areas of Development

- The Glamping Area
- The Function Room Conversion
- The Outbuilding Conversion

2.0 The Glamping Pods



This area of development has been carefully considered in relation to the character of the area and its heritage significance. The details design of the pods has led to redefining the original access to Hallgarth manor and responds by arriving at the hall through a new driveway which frames the front façade of the building and returns a sense of grandeur to your arrival at the Manor.

The pods are carefully screened both from this approach and the return view from the hall along this access to ensure they have a minimal impact on the heritage asset and through extensive planting, green roofs and sustainable materials contribute positively to the Manor and biodiversity of the site.

The pods shell will be constructed using highly insulated curved SIP panels that perform well beyond the current building regulation standards and provides a superior airtightness over traditional construction methods. The green roof construction whilst providing a sustainable drainage solution also offers a thermal mass to the building ensuring heat generation is retained within the structure.

The pods are proposed to be heated using renewable technology through the installation of ground source heat pumps to power the underfloor heating system which operates at low surface temperatures than traditional heating and the embodied energy retained within the floor screed.

The pods provide ample amenity space for short visits and have external amenity space which is partly covered by the pods roof structure.

In order to provide further privacy to the pods the site boundaries are to be upgraded and fully hedged which minimises the impact of the proposals to the surrounding neighbours but also increases the landscaping to the Manor.

The location of the pods has been derived in close consultation with the Arborist and Ecologist to ensure a biodiversity net gain can be achieved on the site but also that the siting of the pods did not place an adverse effect on any existing tree roots.

The new road will be constructed in high quality stonework to reflect the importance and prevalence of the Manor and areas of the pod are constructed in timber decking to reflect the woodland environment in which they are sited.

By increasing the biodiversity of the site it also affords existing and new wildlife habitats to flourish and blend in with the new development whilst respecting and maintaining the existing topography of the site.

2.1 The Function Room Conversion



The existing function room has long been an element of contention with the local residents over noise issues relating to its use for private parties and wedding receptions alike. The proposals for this area look to convert the existing structure into 9 no. Ensuite bedrooms for the hotel.

The external alterations are minimal in such that alterations to the façade include new windows and doors, but it was noted in the pre-planning application that this is the least sensitive fabric of the building.

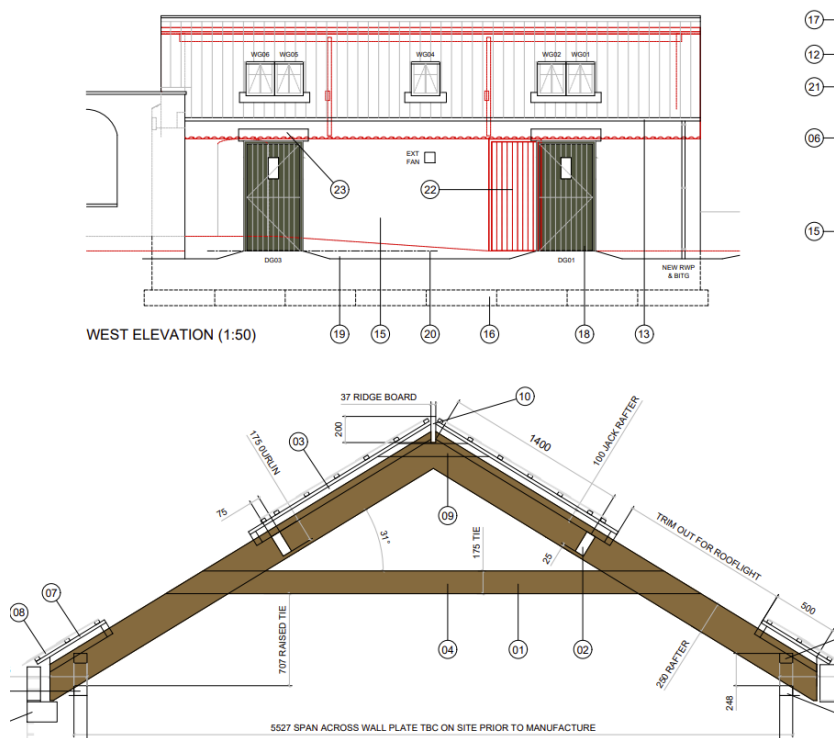
All new doors and windows will be provided in painted hardwood and in keeping with the current appearance and aesthetic of the hotel, thus retaining the character of the property.

The re-configuration of this area of the hotel will not only eliminate the current environmental issues regarding the reduction of noise from this part of the hotel but it will also provide much needed ground floor hotel rooms (of which there are currently none). The addition of ground floor rooms, especially given the current hotel does not have an elevator facility, will provide accessible rooms for guest who previously would not have been able to be catered for in the existing hotel arrangements.

Whilst this is a conversion there is also the opportunity to improve the energy efficiency of the hotel by carrying out thermal upgrades to the existing walls and roof of function area.

External access is also provided to all of the suites giving private access to the hotel ground and amenities whilst also being only a short walk from the orchard building, which as part of the overall works of the hotel is being converted to a Spa and Treatment Facility.

2.3 The Outbuilding Conversion



The existing outbuilding is currently in a greatly dilapidated state and constructed with an asbestos roof, which needs to be replaced as a matter of safety.

