

Block Plan 1:500

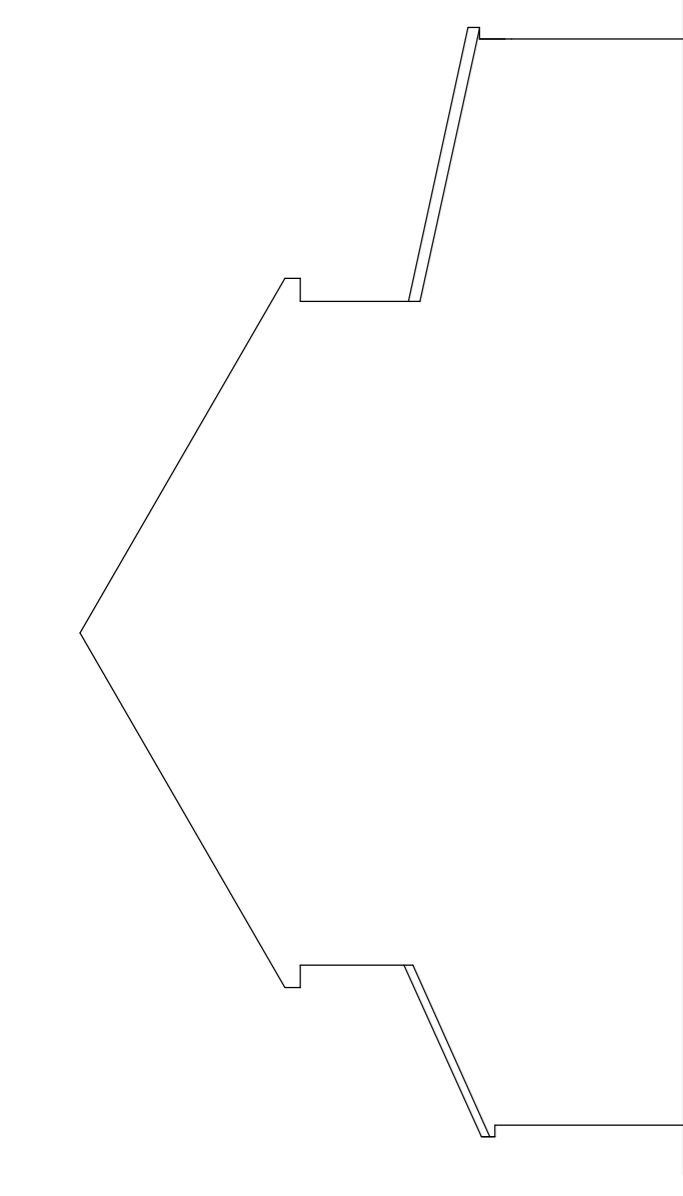
Rain water to discharge via a B.I.G to soakways constructed of hollow honeycomb & to be sited a minimum of 5M from the building/boundaries. A new soakaway is to be constructed to a adequate size in accordance with BRE 362. Percolation tests are required and results formulated to provided size(s), these shall be submitted/approved prior to construction by the building contractor. If the existing main roof is connected to a soakaway this may be subject to a satisfactory percolation test. If a soakaway is not permitted the existing system is to be exposed on site and layout to be agreed with BCO on site.

ALL EXTERNAL MATERIALS I.E. ROOF & WALLS ARE TO MATCH EXISTING

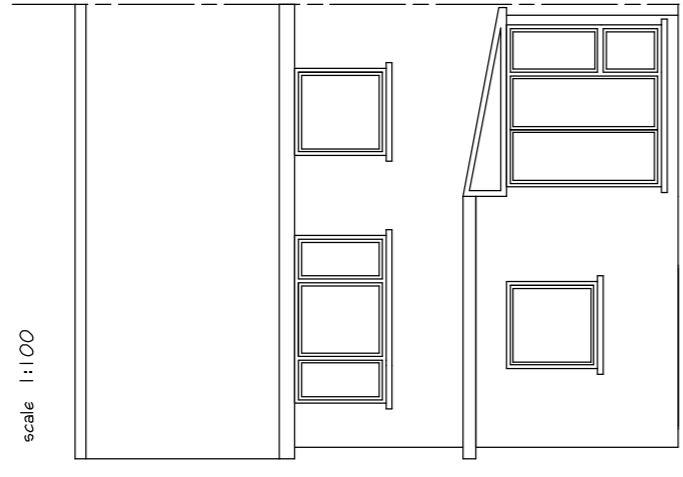


LOCATION 1/1250

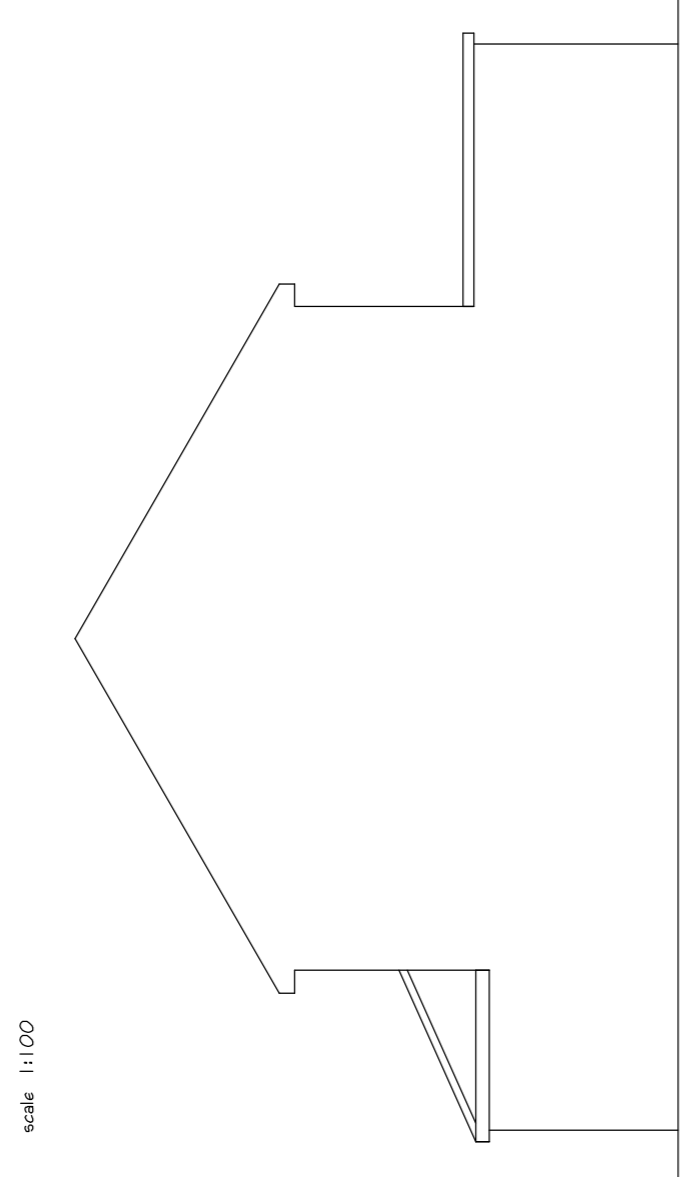
<b>Project Address:</b> <b>Proposed development at:</b> <b>10 RUSHDENE WALK</b> <b>BIGGIN HILL, TN16 3UG</b>	
<b>Drawing Title:</b> <b>Proposed front/rear extensions &amp; int. alterations proposed/existing floor layouts proposed/existing elevations</b>	
<b>Scale:</b> 1:50, 1:100 @ A1	<b>Date:</b> December 2023
<b>Drawing Number:</b> <b>P/01e</b>	
<b>Revision:</b>	
Plans by Park Ltd. 8 Ash Road, Shirley, Coventry, CV0 9HL, Telephone: 0248 777 9999, 07796 77 700 e mail: chales@cpplans.co.uk	
Drawing Status: <span style="float: right;">Date:</span>	



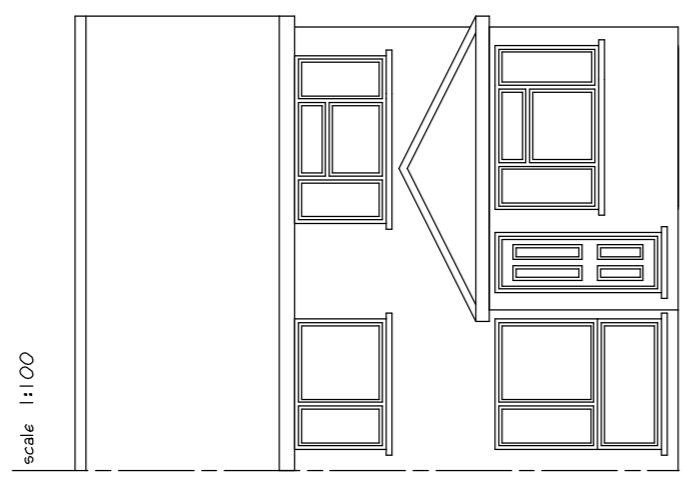
PROPOSED SIDE ELEVATION scale 1:100



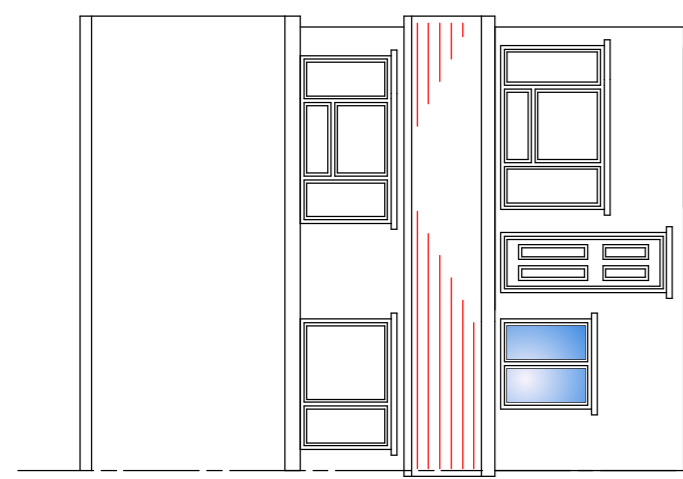
PROPOSED REAR ELEVATION scale 1:100



EXISTING SIDE ELEVATION scale 1:100

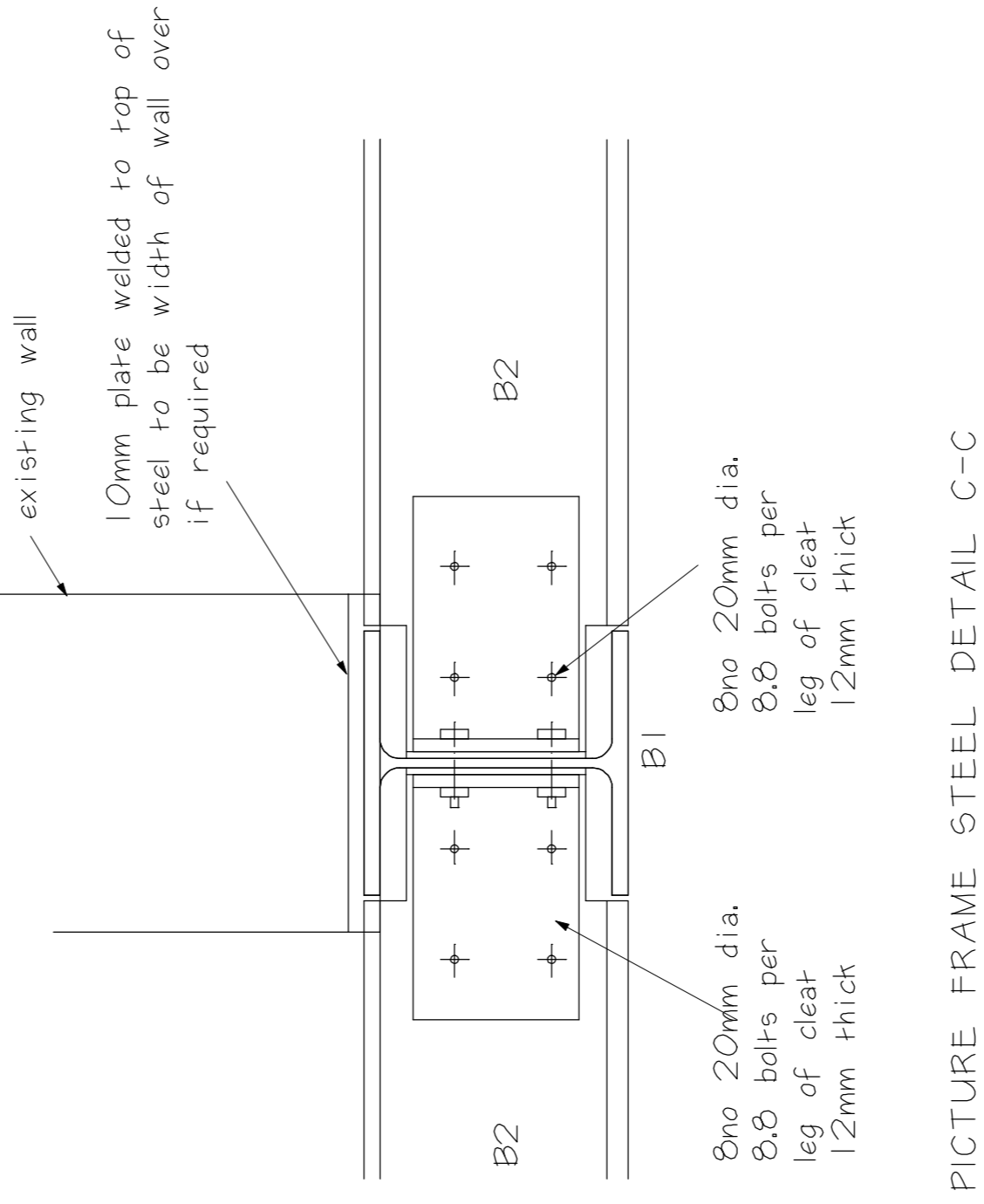


EXISTING FRONT ELEVATION scale 1:100

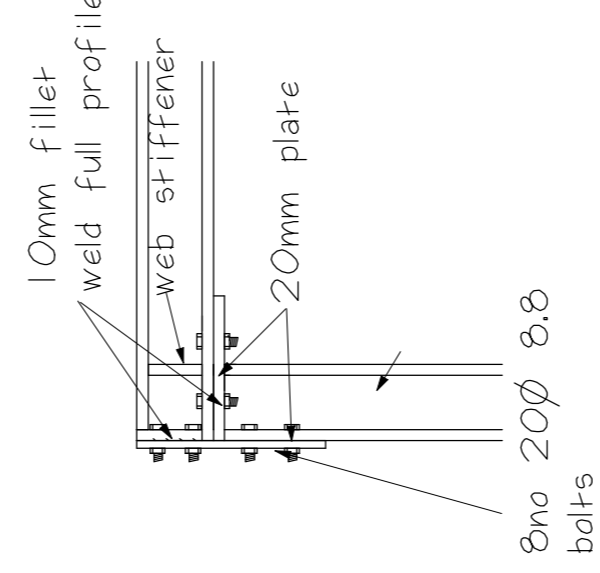


PROPOSED FRONT ELEVATION scale 1:100

CLEAT DETAIL

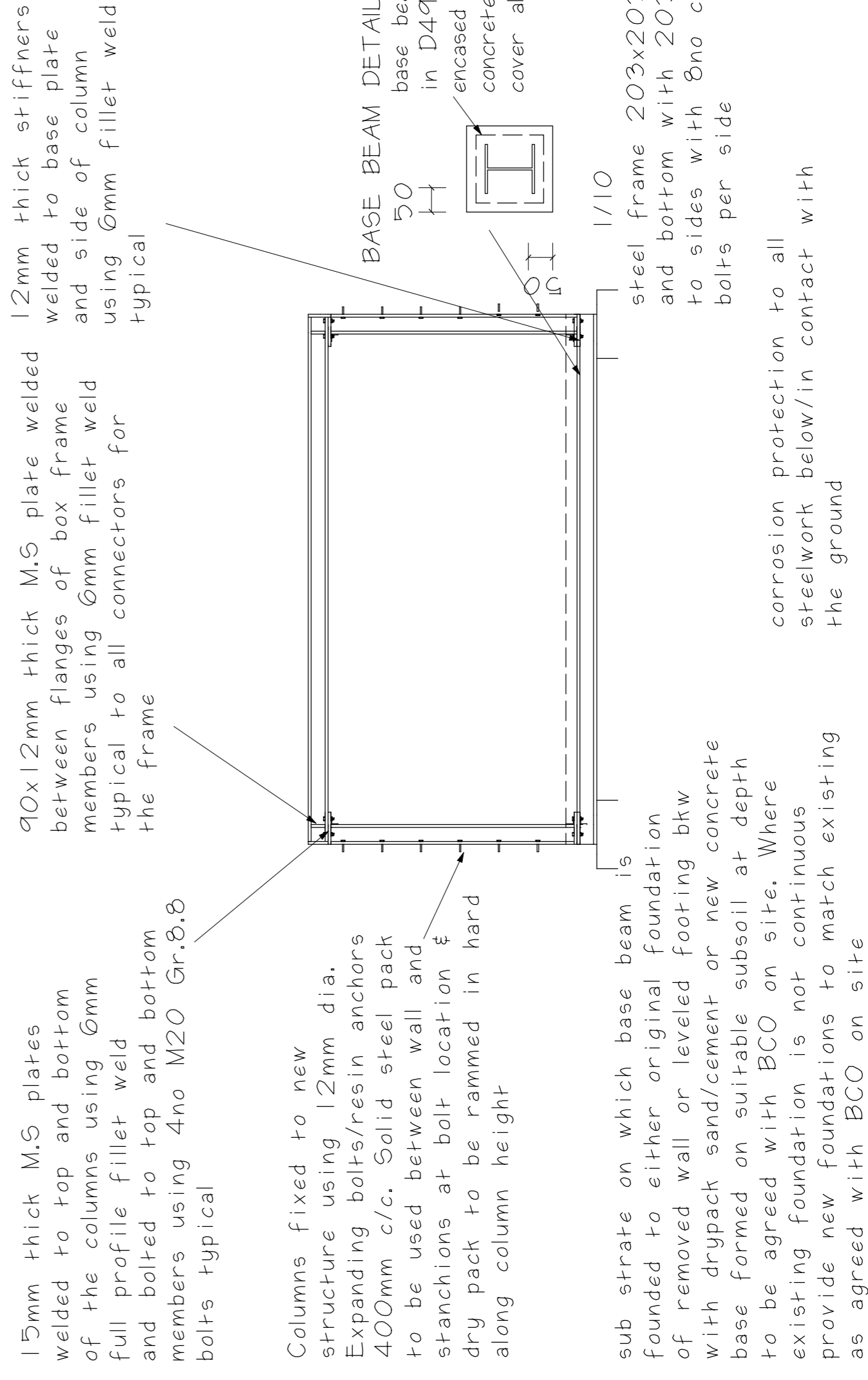


DETAILS TO ALL COURNERS



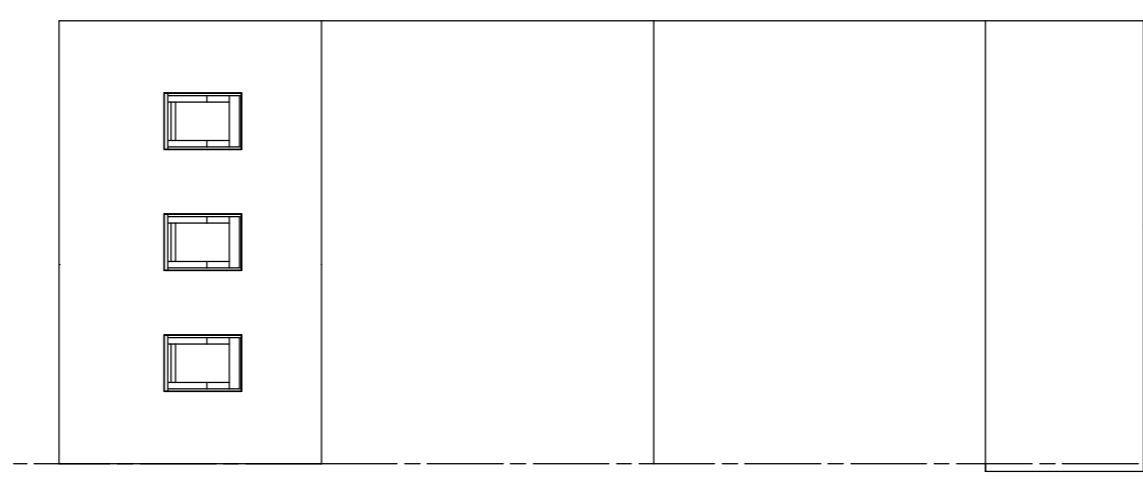
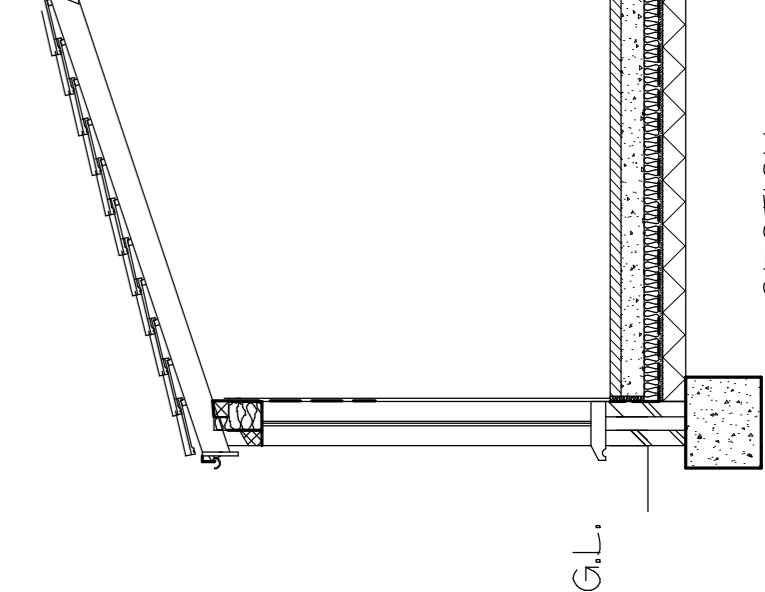
BLOCK PLAN scale 1:200

PICTURE FRAME STEEL DETAIL C-C

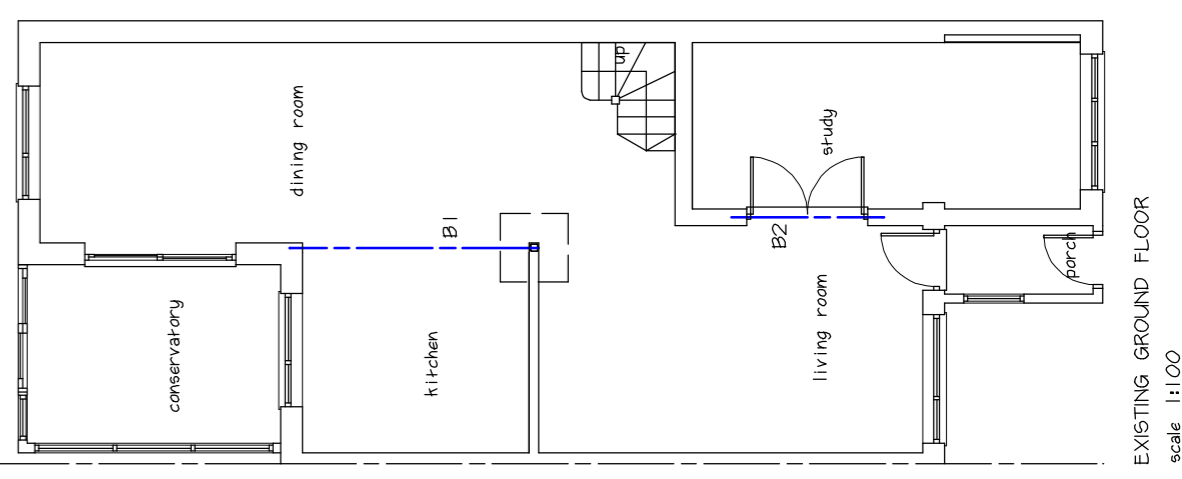


EXISTING ROOF PLAN scale 1:100

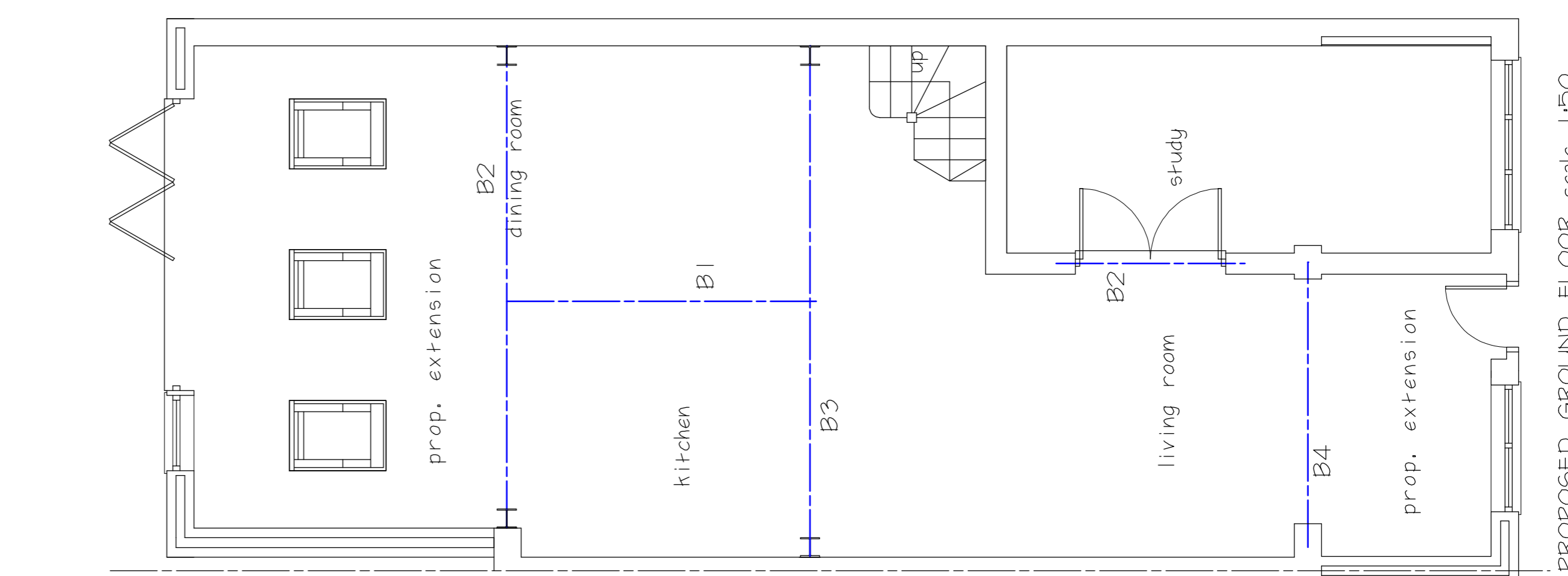
existing brickwork & concrete foundations to be exposed on site & replaced/upgraded if required by BCO



PROPOSED ROOF PLAN scale 1:100



EXISTING GROUND FLOOR scale 1:100



PROPOSED GROUND FLOOR scale 1:50