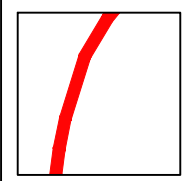
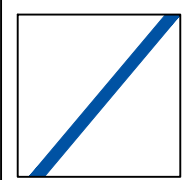
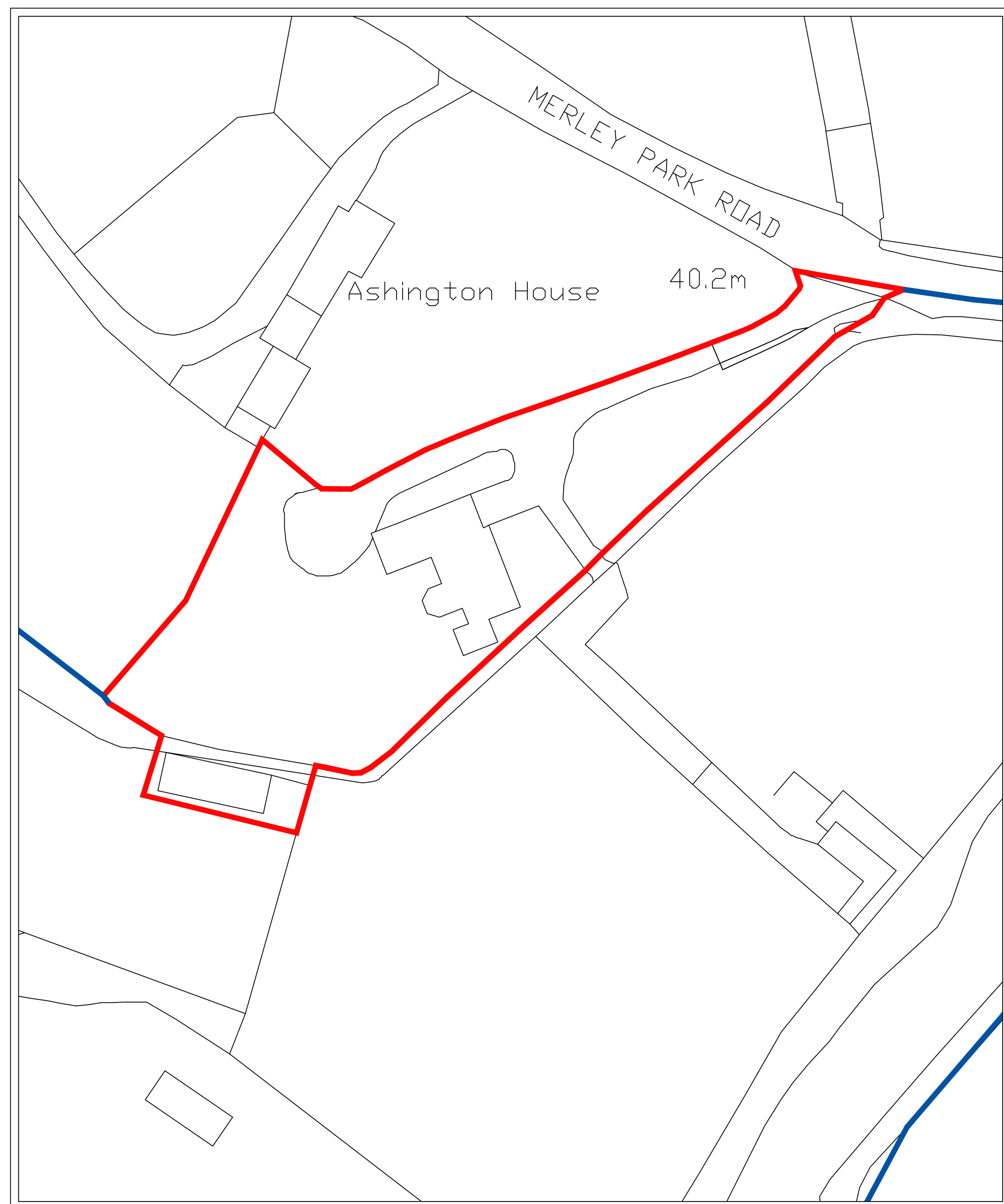
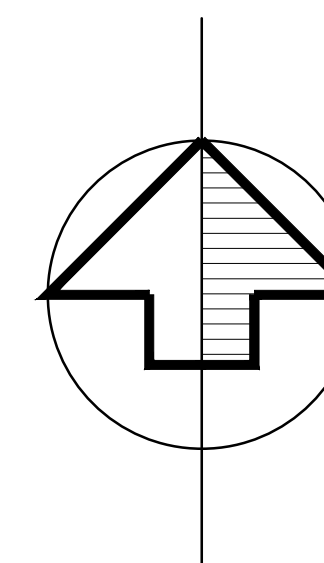


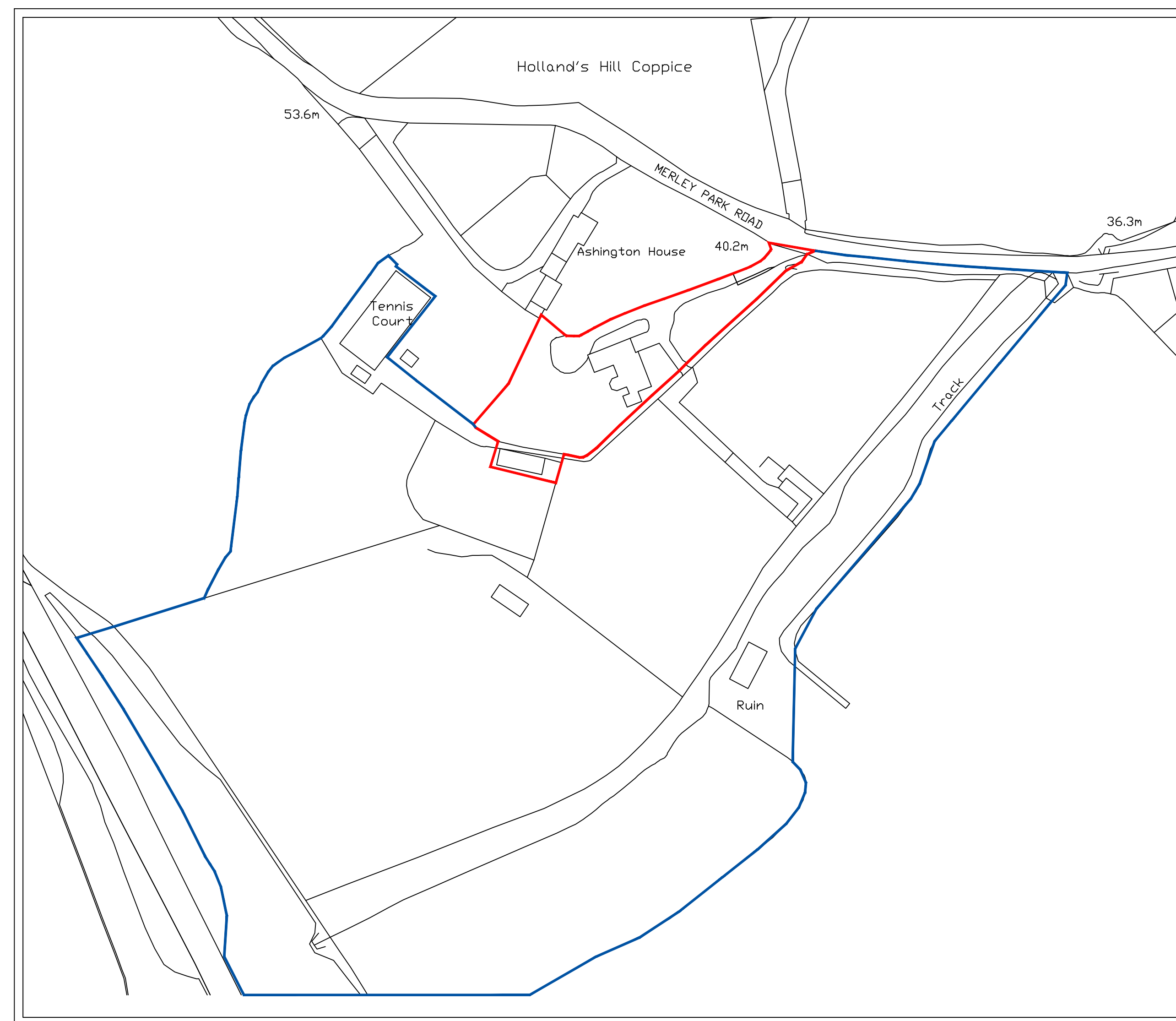
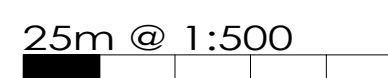
- The contents of this drawing are copyright.
- Planning drawings are only to be used for planning purposes & no reliance on compliance with building regulations should be assumed.
- Do not scale. Figured dimensions only to be used.
- Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
- All flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
- Site design to be independently checked by third fabricator for reg. compliance and sizing, prior to construction ordering. Dimensions to be checked before fabrication.
- Mechanical waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail of basement waterproofing design - ARC carry no responsibility or PI cover for basement designs in terms of waterproofing or structure in any way.
- A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
- We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control for planning purposes.
- We do not take responsibility for meeting minimum space as set out in Government Technical housing standards - nationally described space standards document.
- All Cladding & building attachments externally to be at A1 fire rated.
- We do NOT take any responsibility and do not carry any PI cover in relation to any matters relating to fire safety Part 8 building regulations, BS 9993 for fire or Part 10 and drawings in no way form a fire strategy/ report. All design/ details relating to fire safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.
- EWS1: an independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EWS1 on buildings outside of the EWS1 standard criteria.
- Part 8 & Fire Safety: An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part 8 & Fire safety. Please note that subject to a fire consultants confirmation/audit the following points may be required in some or all areas of the building: 1) Sprinkler systems (Domestic, or commercial) 2) Mechanical smoke extraction. 3) Fixed shut fire safety glass 4) some sprinkler systems require large holding tanks 5) plan changes in relation to fire safety could result in loss of usable floor area and potential requirement for additional planning applications. (this list is not exhaustive)

LEGEND

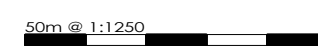
-  SITE BOUNDARY
-  ADDITIONAL LAND IN APPLICANTS OWNERSHIP



EXISTING BLOCK PLAN  
SCALE 1:500  
BASED ON ORDNANCE SURVEY EXTRACT  
(OS LICENCE NUMBER: 100007080)



EXISTING LOCATION PLAN  
SCALE 1:1250  
BASED ON ORDNANCE SURVEY EXTRACT  
(OS LICENCE NUMBER: 100007080)



SITE AREA @ 0.359 HEC / 0.887 ACRES

No.	Revision.	date	by

THE WHITE HOUSE  
MERLEY PARK ROAD  
ASHINGTON, WIMBORNE  
POOLE  
DORSET  
BH21 3DB

BLOCK, LOCATION PLAN & DRA

scale	AS SHOWN @ A1	checked	
date	APRIL 2023	drawn	BC/KU
9672 / 501			

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E-mail: enquiries@andersrobertscheer.co.uk  
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DESIGNERS RISK ASSESSMENT

Building Products and Construction Execution Hazards

The design team have highlighted unusual and significant risks only that may not be obvious to a competent contractor. They are to assist with risk reduction only and are not necessarily comprehensive. It is assumed that all works will be carried out by a competent contractor following good site management, site practice procedures, to an approved method statement (where appropriate) and in accordance with HSE guidance.

The proposed works are designed on a well established method of construction which can be carried out by a competent contractor. However, should the contractor find any area of concern he must inform the designer in order that appropriate action can be taken.

For significant hazards specific to this project see the following:

GENERAL NOTES:

Principal Contractor to provide method statements for the safe working practice for: demolition, excavations, cutting of materials, support of adjacent structures, protecting personnel, neighbours & the public, working at height including crash bags & fall restraint systems.

Principal Contractor to ensure Temporary Works Designer and Coordinator appointed for all propping works for structural alterations of existing building, including temporary guardrail and edge protection around voids and stairwells.

This Designers Risk Assessment should be passed on to the Appointed Principal Designers and/or Principal Contractor carrying out the next phase of works on this site.

INFORMATION

CDM - PRE-CONSTRUCTION INFO FROM CLIENT

CDM Information requested from client:  
1) Topographical Survey

Outstanding CDM information remains as residual risk, please request ARC appendix C for full list requested.

DESIGN INFORMATION

Further design info to be provided at subsequent stages of design / building regulations process

CONSTRUCTION RISKS

- WORKING AT HEIGHT
- CONSTRUCTION ACCESS
- LARGE / HEAVY GLAZING UNITS

PLACEMENT OF SUDS

When positioning heavy machinery - The layout of the proposed SUDS plan should be considered by the Principal Contractor during the construction phase plan

PLACEMENT OF ROOF FEATURES (SOLAR PANELS / AOV'S / PLANT ETC)

Positioning of roof features to be as remote from edge of building as possible

FLAT ROOF ACCESS

Roof access for construction to be undertaken by specialist using specialist equipment. e.g. scaffolding, appropriately designed and installed man safe system by specialist designer.

GLAZING IN CLOSE PROXIMITY TO BOUNDARY

Self cleaning glass to be specified where possible

TIMBER FRAME - FIRE RISK

Construction to be reviewed by appointed fire consultant to ensure compliance with fire safety regulations during construction and in use. (Fire consultant to be qualified and insured to produce EWS1 approval.)

SOLAR PANELS

Solar panels to be positioned as far from edges of flat roof as feasibility possible.

CLOSE PROXIMITY TO TREES

Any required remedial work to trees for example - low hanging branches or rotting and unstable branches, to be evaluated and undertaken prior to construction commencing

MAINTENANCE RISKS

CLEANING WINDOWS

Windows and balcony glass above ground floor level to be cleaned from ground level by specialist using specialist equipment. e.g. long reach and clean systems.

CLEANING GUTTERS

Gutters to be cleaned from ground level by specialist using specialist equipment. e.g. long reach and clean systems where possible. Parapets and valleys to be accessed when required via scaffolding - to be assembled by a specialist.

FLAT ROOF ACCESS

Plant or apparatus on the roof to be kept to a minimum and positioned away from edges/ potential falls.

IN - USE RISKS

FLOOD RISK

SUDS plan to be designed at building regulations phase to provide excess surface water drainage

ROOF TERRACE

Mains Fire alarm system to have siren at roof terrace level to alert persons of potential fire in the building below.

DEMOLITION RISKS

REFURBISHMENT AND DEMOLITION SURVEY

Hazardous material survey to undertaken prior to any on site works commencing - including stripping out.

EXISTING BUILDINGS TO BE CONVERTED OR RETAINED

Structural report to be undertaken by structural engineer prior to any on site works commencing - including stripping out.

TREE REMOVAL

Tree removal/ trimming works to undertaken prior to any on building works commencing by approved arboricultural surgeon. Waste to be removed from site responsibly.

EXISTING WALLS OR PARTS OF BUILDINGS TO BE DEMOLISHED OR CONVERTED

Structural engineer to produce calculations and final design solution and consider with Principal contractor methods of temporary support / shoring up during construction- prior to any on site works commencing - including stripping out.