



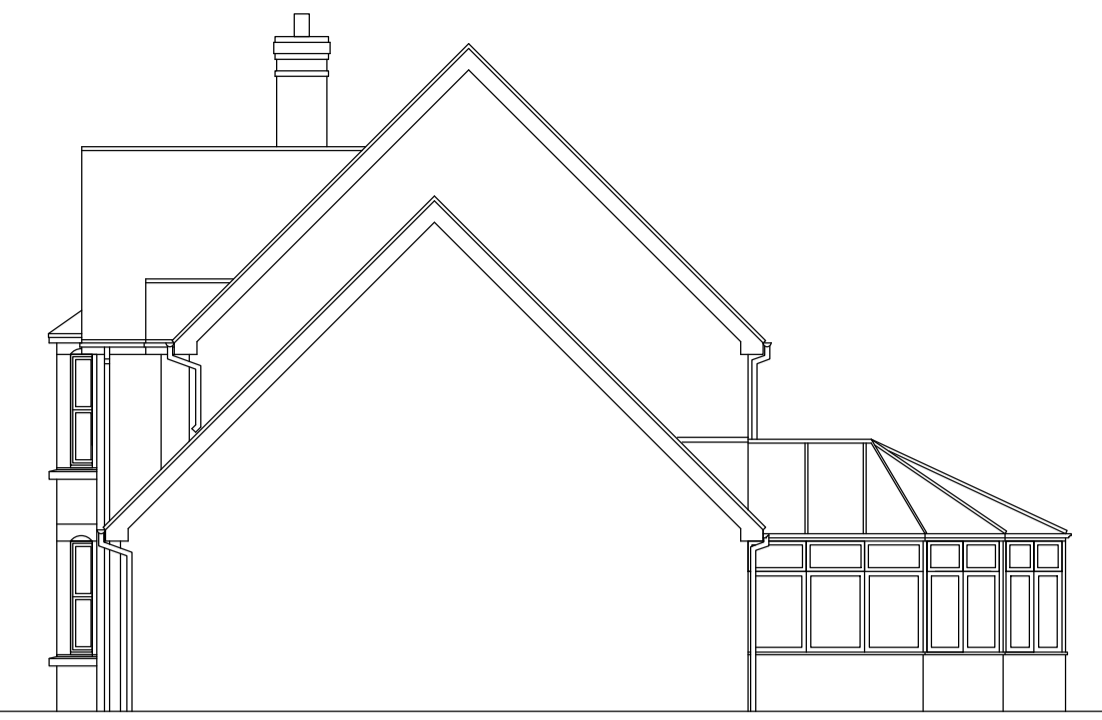
Existing N.E. Elevation



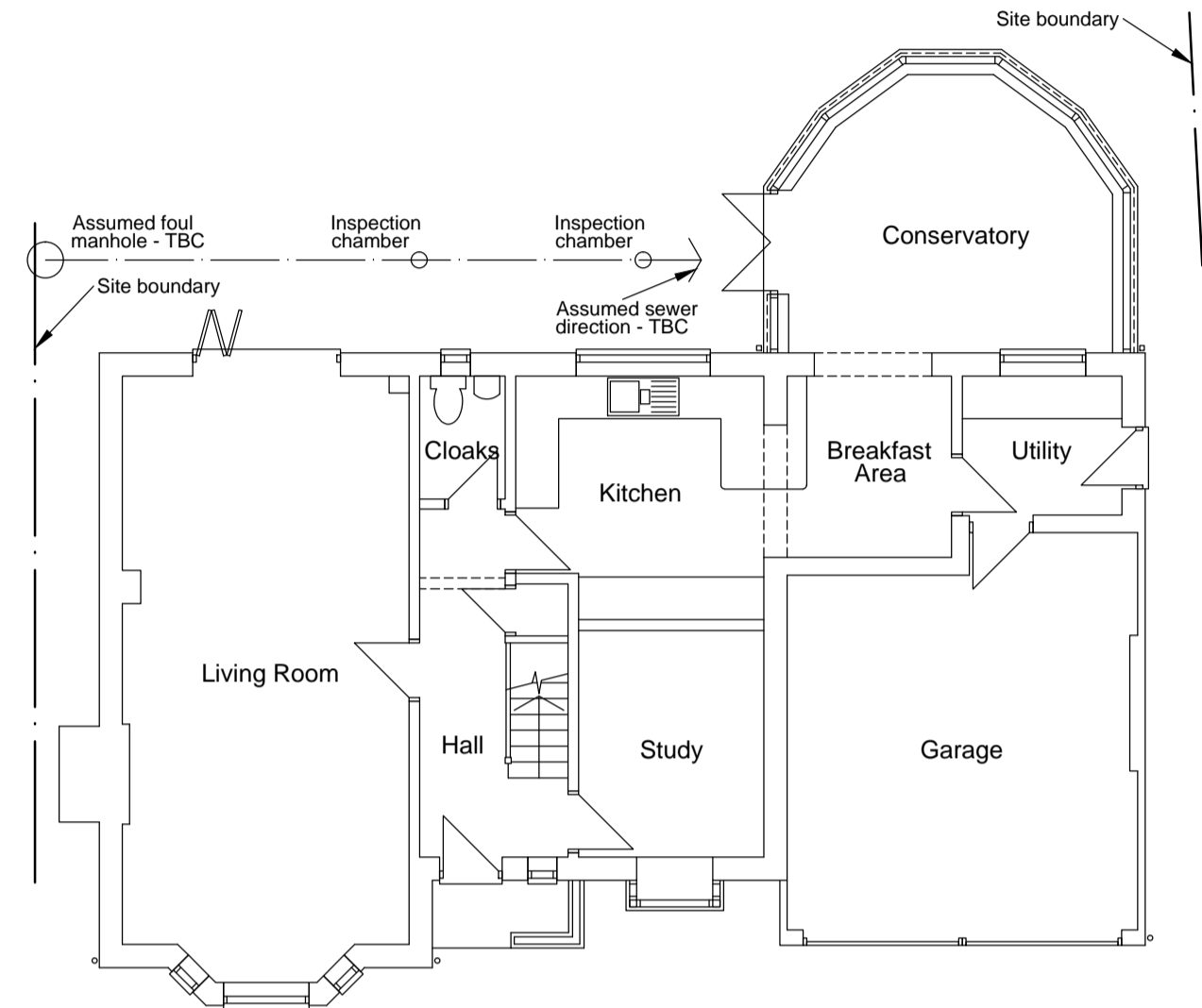
Existing S.E. Elevation



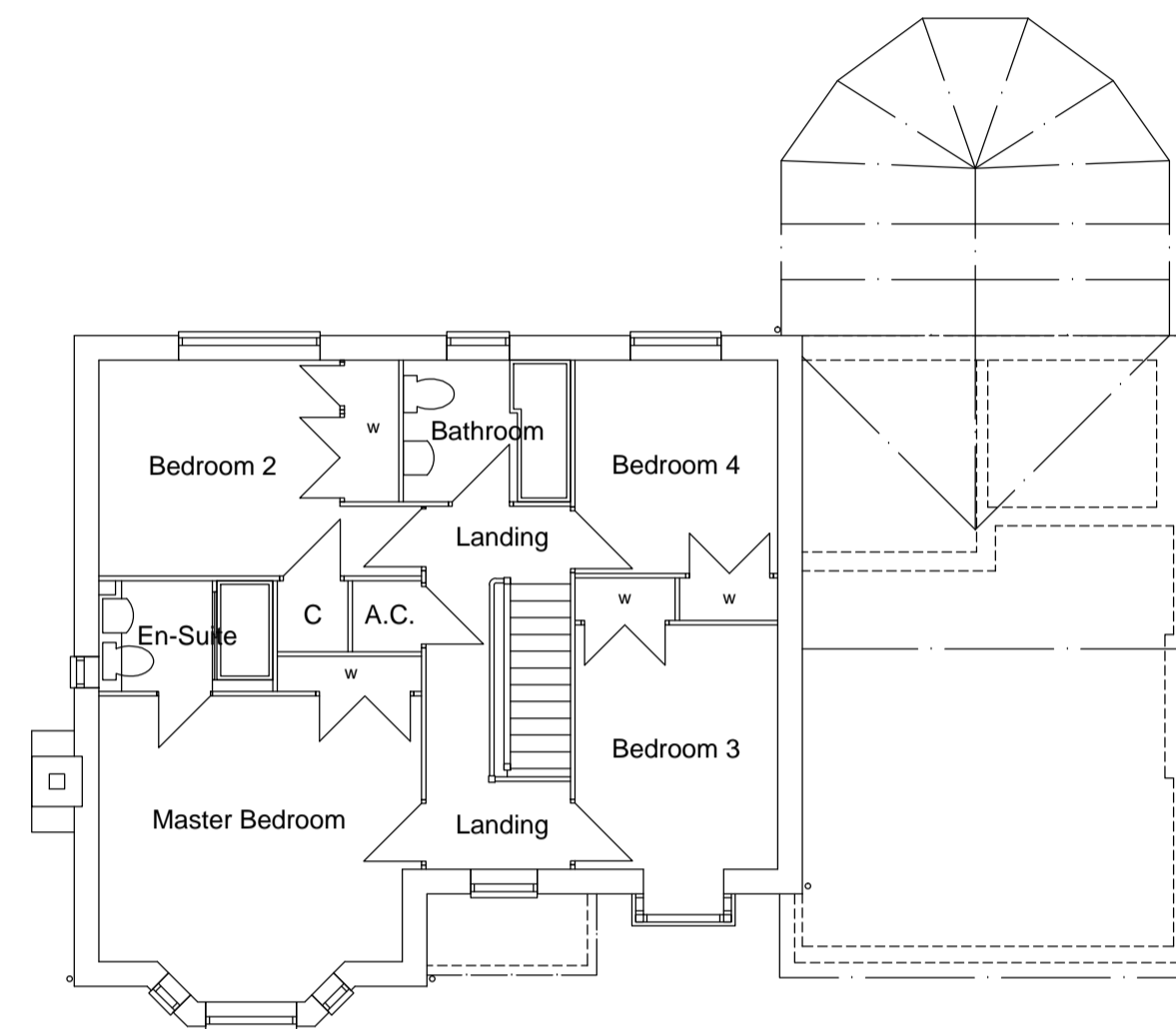
Existing S.W. Elevation



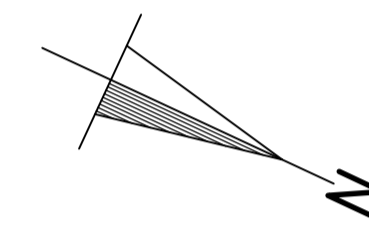
Existing N.W. Elevation



Existing Ground Floor Plan



Existing First Floor Plan



PROPOSED MATERIALS:-
 Walls - Facing brickwork to match the existing.
 Replicate cill and head details to match existing.
 Roof - Concrete profiled tile to match existing main roof.
 GRP or EPDM finish to flat roof.
 Windows - White UPVC to match existing.
 Doors - White UPVC to match existing.



Proposed N.E. Elevation



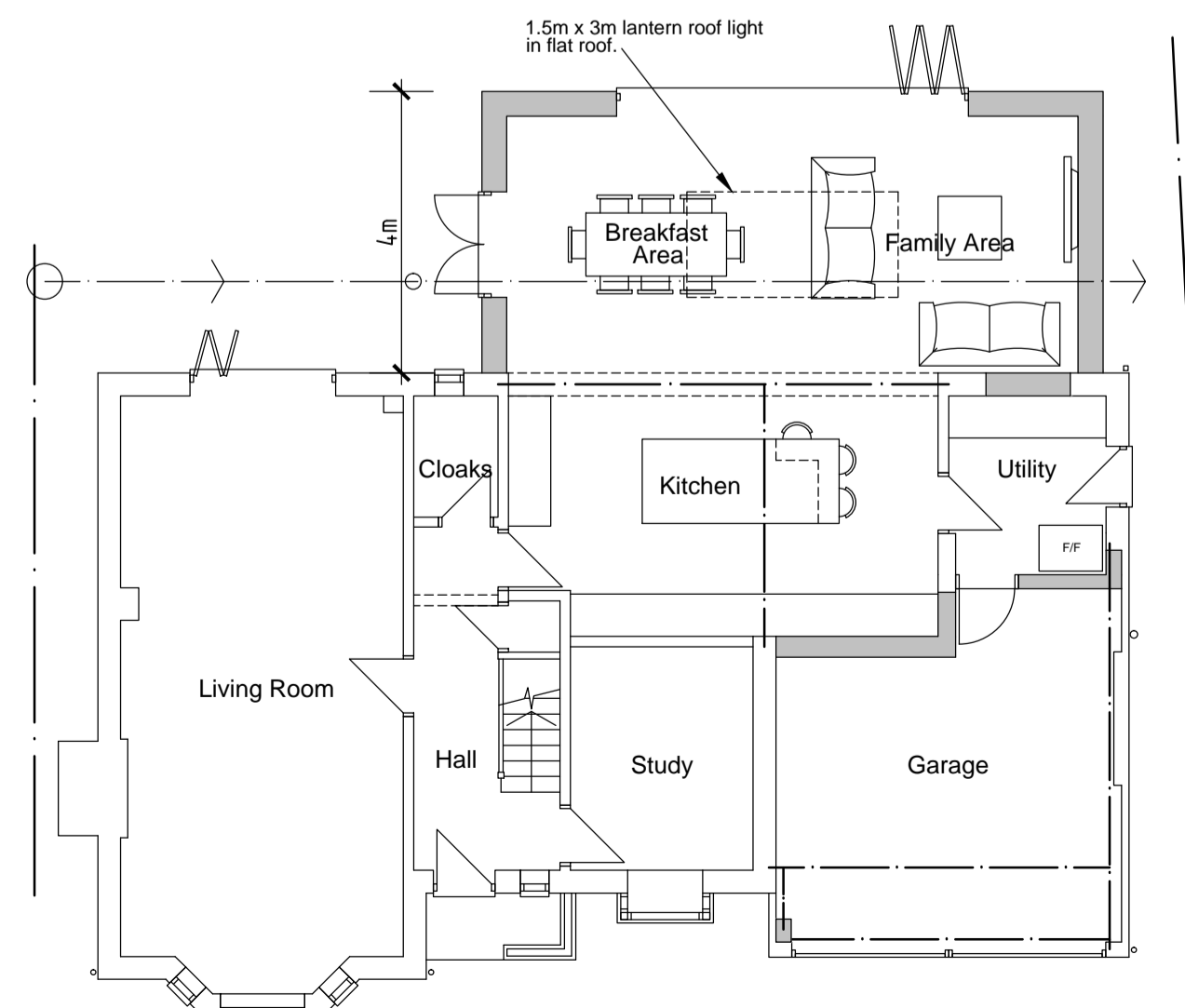
Proposed S.E. Elevation



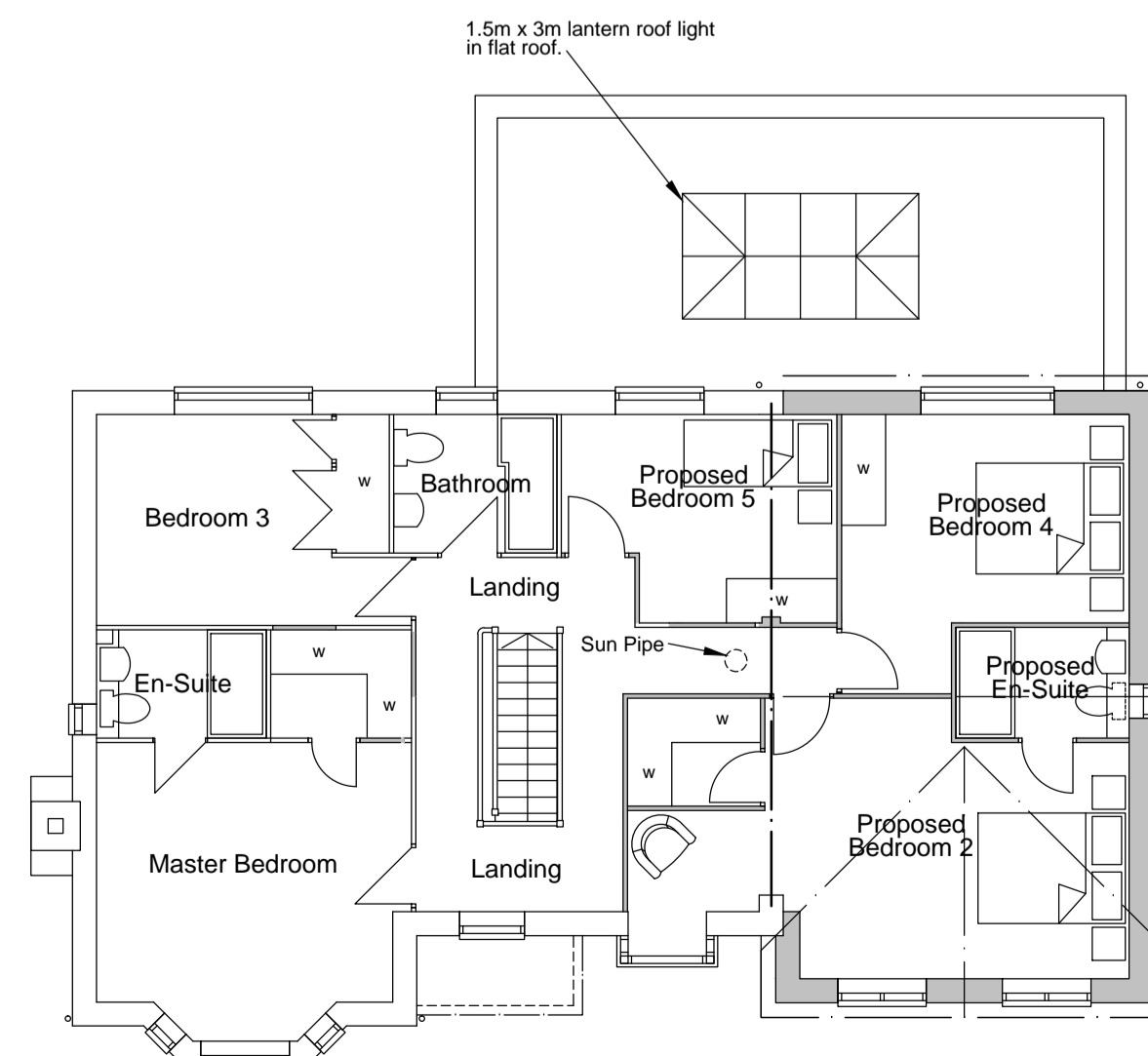
Proposed S.W. Elevation



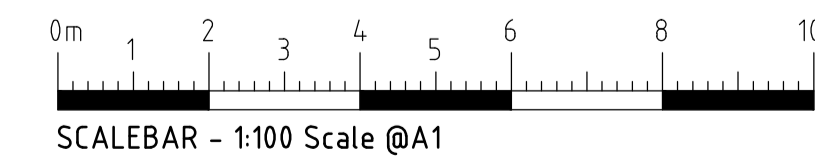
Proposed N.W. Elevation



Proposed Ground Floor Plan



Proposed First Floor Plan



SCALEBAR - 1:100 Scale @A1

NOTE: CONSTRUCTION DESIGN MANAGEMENT REGULATIONS (CDM).
 Martin Butler Partnership Limited does not undertake the role of lead consultant as defined by the CDM Regulations 2015 unless specifically appointed to do so. It is assumed that the Client or lead Contractor will undertake this role or alternatively a competent and qualified person is appointed to fulfil these duties.

Proposed First Floor Side Extension Over Existing Garage, Single Storey Rear Extension and Internal Alterations at 31 Blamire Drive, Binfield

Client: **Mr and Mrs McClelland**
 Description: **Proposed Floor Plans and Elevations**
 31 Blamire Drive
 Binfield
 Berkshire
 RG42 4UN

All dimensions to be checked on site. Any discrepancy between this drawing and other information is to be referred to the Planning Consultant. This drawing is copyright.

MARTIN BUTLER PARTNERSHIP LIMITED

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