

Heritage Statement

49-51 Church Street, Gamlingay, SG19 3JJ

December 2023



Cambridge Heritage

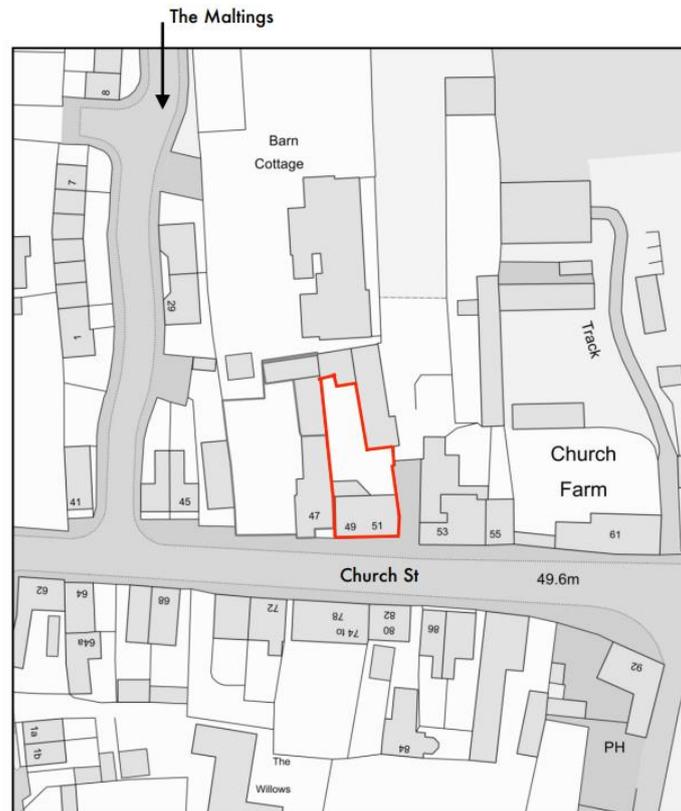


Figure 1: Site Plan (RD Designs)

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1.0 - INTRODUCTION

1. This Heritage Statement and Impact Assessment has been prepared by Cambridge Heritage on behalf of the Applicants in relation to the submission of a planning application [23/04461/HFUL] for the erection of a replacement single-storey rear extension at 49-51 Church Street, Gamlingay, (henceforth referred to as the “site”).
2. The site is a 19th century timber framed dwelling cased in brick on the north side of Church Street in Gamlingay. While not statutorily listed, the host building is assessed throughout this report as a Non-Designated Heritage Asset (NDHA).
3. The planning application is for the construction of a replacement single-storey rear extension to the host building. The proposal has been sensitively designed to take into account the local heritage value of the site, utilising a sympathetic design and palette of materials which is in keeping with the traditional, vernacular character of the host building.
4. The Local Planning Authority (LPA) and determining authority for the planning application is South Cambridgeshire District Council (SCDC).



Figure 2: Historic England Asset Mapping (© Historic England)
Please note that blue arrows denote statutorily listed buildings

Building Description

5. Previously a pair of semi-detached dwellings, today No. 49-51 Church Street functions as a single two-storey house. It is constructed of a timber frame on a brick plinth and is cased in local brick which is colour-washed in a cream tone (**Plate 1**).
6. To the front elevation, the building has two timber doors and six timber casement windows dividing the façade into three principal bays. There are two chimney stacks: at the western end there is a gable end brick chimney stack and in the centre of the composition there is another brick stack which demarcates the main inglenook fireplace inside the building. Both stacks appear to have been rebuilt above the roof ridge. At the rear, the original rectangular plan range has been extended with modern single-storey conservatories of no heritage value (**Plates 2-3**).



Plate 1: Photograph of the front elevation of 49-51 Church Street, Gamlingay

Designations

7. The application site building is not statutorily listed and therefore it is not a designated heritage asset. The building is assessed in this report as a Non-Designated Heritage Asset (NDHA).
8. There are several Listed Buildings surrounding the site (**Figure 2**). Of principal relevance to this assessment are the two adjacent Listed Buildings: Tudor House, to the west, and 53 Church Street to the east of the site. For completeness, the listing descriptions for these two assets have been reproduced below:

Tudor House

House. C16 and late C17. Timber framed plaster rendered and plain tiled roof with stack between front and rear ranges. Red brick with moulded brick capping and three diagonally set shafts, two linked. Projecting stack to west wall also of red brick has an embattled offset. Late C16 house of L-plan extended by domestic wing, C17, at the rear. Main range of one bay and two storeys with a three-light casement, C18-C19, to each storey. The west crosswing is jettied at first floor and has been underbuilt with a repaired canted bay, c.1985, at ground floor. At first floor a similar C18-C19 three-light casement. Rear wing, late C17-C18. Red brick casing to timber frame now rendered and tiled. Two storeys. Ground floor originally with three arched openings, now blocked. The rear wall of the crosswing has a C17 ovolo moulded mullion to an original casement opening. There is a stair turret in the angle between the front and rear ranges. This has been altered and incorporates reused timber. Interior: The main range and crosswing are contemporary but the main range with its inglenook was originally open to the roof. The ceiling is of C17 date with ovolo moulding to the main beam and joists laid on edge. The crosswing probably a solar wing has an earlier ceiling of joists of heavier scantling laid flat. The wall posts have jowled heads.¹

53 Church Street

Cottage. Late C18 and early C19. Timber framed cased in brick and colourwashed. Tiled mansard roof with dentil eaves cornice. Ridge stack cut down at the top. One storey and attic. Three dormers. Segmental arches to three C19 window openings under segmental arches. Late C20 windows. Two doorways. The bay at the west end was formerly a bakers shop. At the rear is an early C19 bakehouse. Brick, tiled. Two storeys with hoist openings at first floor. Interior: Timber framing almost replaced in C19 and C20 by brick and as a result of extensions. The bay at the east end is cellared. A brick with date 1815 is probably the date of construction. The initials GS may refer to the baker Sarll whose descendants were still baking here in 1922.²

9. The site is in the Gamlingay Conservation Area. The Appraisal for the Conservation Area was adopted by the LPA in 2000 and has been used to inform this assessment. **Chapter 3** of this report provides a proportionate assessment of the heritage significance of the host building, the surrounding Listed Buildings and the character and appearance of this part of the Gamlingay Conservation Area.

Planning Background

10. There is no relevant planning history relating to the property. A retrospective application (21/01621/FUL) was approved for the construction of a single dwelling on land at 53 Church Street, adjacent to the site.

¹ <https://historicengland.org.uk/listing/the-list/list-entry/1330905?section=official-list-entry>

² <https://historicengland.org.uk/listing/the-list/list-entry/1163531?section=official-list-entry>

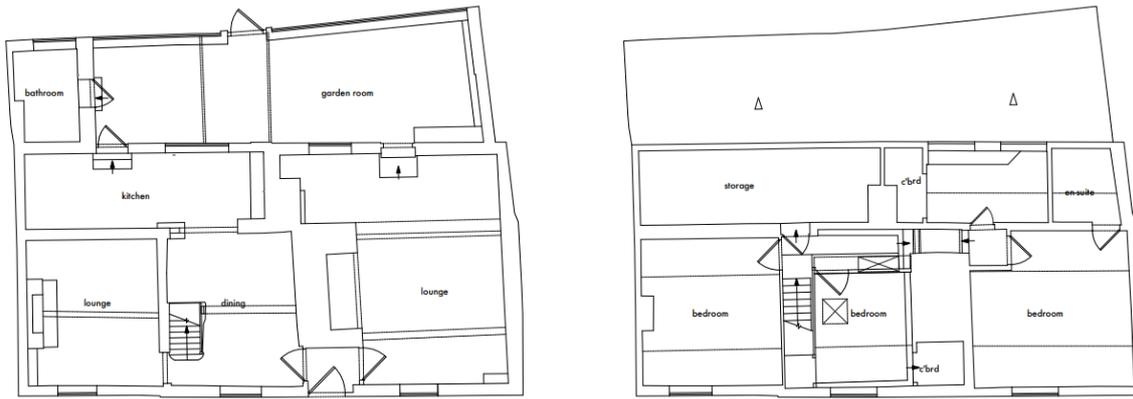


Figure 3: Existing ground (left) and first (right) floor plans

Planning Application

11. The planning application is for the erection of a single-storey rear extension to the unlisted application site building (**Figures 3-4**). Careful consideration has been given to the location, scale, and materiality of the proposed extension to ensure that it is sympathetic to the settings of the adjacent Listed Buildings and the character and appearance of the Gamlingay Conservation Area.
12. Full details of the proposed works are provided in **Chapter 4** of this report which also provides an Impact Assessment of the potential effects of the scheme on the significance of the historic environment.



Figure 4: Proposed ground (left) and first (right) floor plans

Purpose of this Report

13. The purpose of this Heritage Statement & Impact Assessment is to assist the LPA with the determination of the planning and LBC applications by providing

information on the significance of the historic environment. The report provides a proportionate assessment of the impact of the proposal for a single-storey rear extension to the host building in accordance with paragraph 194 of the National Planning Policy Framework. It has been informed by desk-based historical research carried out into the site and its historic environment. It should be read in conjunction with the full drawn submission prepared by RD Designs.



Plate 2: Photograph of the rear elevation of 49-51 Church Street



Plate 3: Photograph of the interior of the existing rear element, 49-51 Church Street

2.0 - LEGISLATION AND POLICY

Legislative Background

1. In considering whether to grant planning permission and in accordance with Section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, the decision maker must pay special regard to the desirability of preserving the building, its setting, or any features of special architectural or historic interest.
2. Section 72(1) of that Act requires the decision maker to pay special regard to the desirability of preserving the character and appearance of Conservation Areas.
3. There is a strong presumption within the legislation against the granting of permission for works or development that would harm the significance of a heritage asset, i.e. a listed building or a conservation area, though the presumption will plainly be lessened if the harm is ‘less than substantial’ within the meaning in the National Planning Policy Framework (NPPF) as is explained further below.

National Planning Policy Framework (2021 and 2023)

4. The NPPF constitutes the Government’s current national guidance and policy regarding development in the historic environment. It is a material consideration and includes a succinct policy framework for local planning authorities and decision takers. It relates to planning law by stating that applications are to be determined in accordance with the local plans unless material considerations indicate otherwise. The document was updated in July 2021 and December 2023.
5. Section 16 of the NPPF contains policies relevant to conserving and enhancing the historic environment. Paragraphs 200 to 204 of the NPPF deal with proposals affecting heritage assets, with much emphasis placed on “significance”, defined in Annex 2 as:

‘The value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting. For World Heritage Sites, the cultural value described within each site’s Statement of Outstanding Universal Value forms part of its significance.’

6. Paragraph 200 of the NPPF places a duty on the Local Planning Authority (LPA) to require an applicant to describe the significance of any heritage assets affected by a proposal, providing a proportionate level of detail. The effects of any development

on a heritage asset therefore need to be assessed against the four components of its heritage significance: its archaeological, architectural, artistic and historic interests. The setting of a heritage asset can also contribute to its significance.

7. Conservation (for heritage policy) is defined in Annex 2 of the NPPF as:

‘The process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance.’

8. The importance and relevance of this definition is that it does not suggest conservation to be the same as preservation. What sets conservation apart is the emphasis on proactively maintaining and managing change and not on a reactive approach to resisting change. In its simplest interpretation conservation could amount to a change that at least sustains the significance of a heritage asset.

9. Paragraph 203 of the NPPF states:

‘In determining applications, local planning authorities should take account of:

a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;

b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and

c) the desirability of new development making a positive contribution to local character and distinctiveness.’

10. The NPPF requires the impact on the significance of a designated heritage asset to be considered in terms of either “substantial harm” or “less than substantial harm” as described within paragraphs 205 to 208 of that document. There may also be no harm. Harm is defined by Historic England as change which erodes the significance of a heritage asset.

11. Paragraph 206 of the NPPF states that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification.

12. National Planning Policy Guidance (NPPG) makes it clear that substantial harm is a high test, and recent case law has described substantial harm in terms of an effect that would vitiate or drain away much of the significance of a heritage asset.

13. Paragraph 208 of the NPPF deals with less than substantial harm to the significance of designated heritage assets, and states:

‘Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.’

14. Paragraph 209 relates to Non-Designated Heritage Assets and states:

209. The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

15. Paragraph 213 of the NPPF acknowledges that not all elements of a conservation area ‘will necessarily contribute to its significance.’ This is also true of listed buildings or unlisted buildings: modifications and alterations may have been carried out to the building or within its setting which do not contribute to the heritage value of that asset.

Local Planning Policy

16. Applications for planning permission are decided in accordance with the Local Development Plan unless material considerations indicate otherwise. The applications will therefore be assessed against the South Cambridgeshire Local Plan.

17. Of principal relevance to this heritage assessment are Policies NH/14 Heritage Assets and NH/15: Heritage Assets and Adapting to Climate Change. Policy NH/14: Heritage Assets states that development proposals will be supported when:

a. They sustain and enhance the special character and distinctiveness of the district’s historic environment including its villages and countryside and its building traditions and details;

b. They create new high-quality environments with a strong sense of place by responding to local heritage character including in innovative ways.

18. Part 2 of the policy states that development proposals will be supported when they sustain and enhance the significance of heritage assets, including their settings, as appropriate to their significance and in accordance with the National Planning Policy Framework, particularly:

c. Designated heritage assets, i.e. listed buildings, conservation areas, scheduled monuments, registered parks and gardens;

- d. *Non-designated heritage assets including those identified in conservation area appraisals, through the development process and through further supplementary planning documents;*
- e. *The wider historic landscape of South Cambridgeshire including landscape and settlement patterns;*
- f. *Designed and other landscapes including historic parks and gardens, churchyards, village greens and public parks;*
- g. *Historic places;*
- h. *Archaeological remains of all periods from the earliest human habitation to modern times.*
19. Polic NH/15 states in (1) that the retention and re-use of historic buildings and other heritage assets will be encouraged and supported as a sustainable resource. Part 2 of this policy states that proposals for energy efficient and renewable energy measures for historic buildings which adequately safeguard their heritage significance will be permitted.

Historic England: GPA 3

20. Historic England's "The Setting of Heritage Assets Historic Environment Good Practice Advice in Planning: 3 (2nd Edition) notes that the NPPF makes it clear that the setting of a heritage asset is the surroundings in which it is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve.
21. Elements of a setting may make a positive or negative contribution to the significance of an asset, affect the ability to appreciate that significance, or may be neutral. The guidance adds that:
- 'Setting is not a heritage asset, nor a heritage designation, though land within a setting may itself be designated. Its importance lies in what it contributes to the significance of the heritage asset. This depends on a wide range of physical elements within, as well as perceptual and associational attributes pertaining to, the heritage asset's surroundings.'*
22. An assessment of the potential effects on the significance of the identified heritage assets resulting from the proposed development should be considered using the following staged approach:
- Step 1: Identify which heritage assets and their settings are affected;

- Step 2: Assess the degree to which these settings and views make a contribution to the significance of the heritage asset(s) or allow significance to be appreciated;
 - Step 3: Assess the effects of the proposed development, whether beneficial or harmful, on that significance or on the ability to appreciate it;
 - Step 4: Explore ways to maximise enhancement and avoid or minimise harm;
 - Step 5: Make and document the decision and monitor outcomes.
23. This guidance has been considered when assessing the contribution that setting makes to the significance of the heritage assets likely to see change as a result of this application (in this case the Grade II Listed Buildings known as Tudor House and 51 Church Street Gamlingay).

3.0 - ASSESSMENT OF HERITAGE SIGNIFICANCE

1. It is to be recognised that not all parts of a heritage asset will necessarily be of equal significance. In some cases, certain aspects or elements could accommodate change without affecting the Government's objective, which includes the conservation of assets, and which seeks to ensure that decisions are based on the nature, extent and level of significance of assets.
2. Change is only considered to be harmful if it erodes the significance of a heritage asset. Understanding the significance of any heritage asset affected (paragraph 194 of the NPPF) is therefore fundamental to understanding the scope for and acceptability of change.
3. An assessment of the significance of the host building (NDHA) and the two adjacent Grade II Listed Buildings is provided below. The character and appearance of this part of the Gamlingay Conservation Area is also described. The descriptions are proportionate to the heritage value of the assets involved and sufficient to understand the nature that the change resulting from the proposal would have on that heritage value.



Figure 5: Gamlingay tithe map 1849

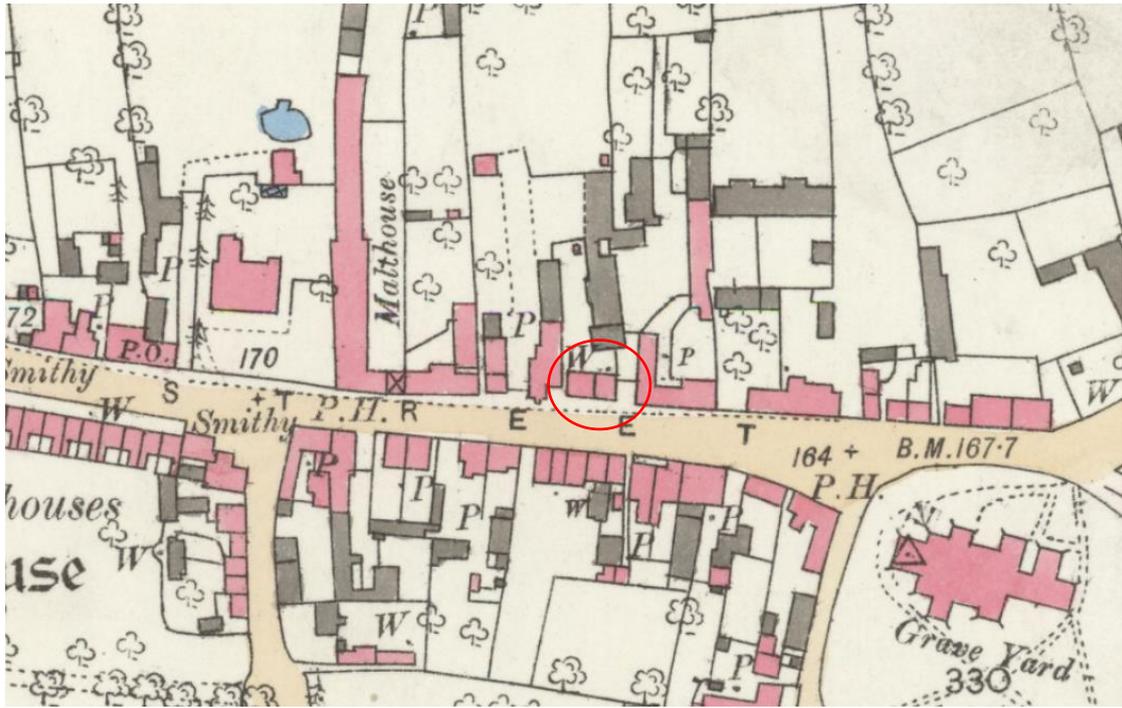


Figure 6: Huntingdonshire OS map; revised 1886

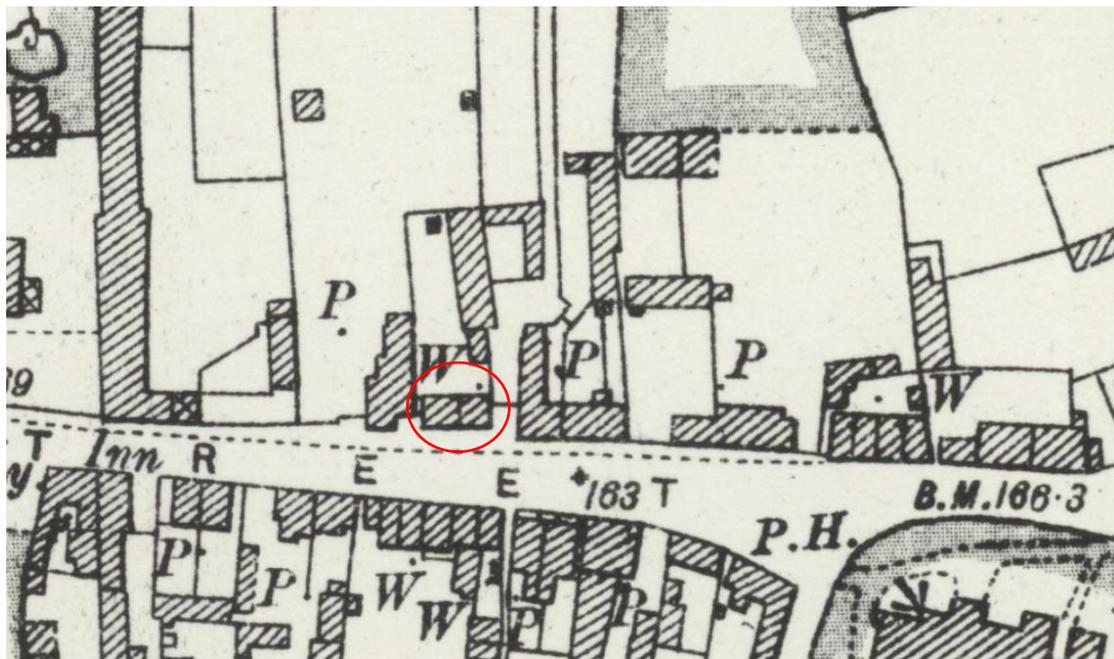


Figure 7: Huntingdonshire OS map; revised 1900

49-51 Church Street, Gamlingay (NDHA)

Heritage Value

4. The host building is assessed as being a Non-Designated Heritage Asset of local heritage value. While not statutorily listed, the pair of semi-detached dwellings contribute positively to the character and appearance of the Gamlingay Conservation Area and reinforce the special characteristics of the area.
5. Map evidence from the 19th century appears to show that the building was constructed (or rebuilt) after 1849. On the tithe map (**Figure 5**) the building drawn in the location of the site does not correspond to the existing structure and appears to show a much smaller 'L' shaped building in its place.
6. The first cartographic evidence of 49-51 Church Street is the 1886 OS map (**Figure 6**) which shows the two semi-detached building on a rectangular shaped plan. It is notable from this map that at this point in time the building did not have extensions at the rear. Very little change appears to have occurred by 1900 (**Figure 7**).
7. Local heritage value is derived from the traditional and vernacular form of the application site building. Despite not being statutorily listed in its own right, 49-51 Church Street reinforces the special characteristics of the Conservation Area and stands as a historic pair of dwellings which relate well to the architecture and history of the area.
8. It is assessed that the existing rear elements do not form part of the local heritage value of the building. They were evidently added in the late 20th century and are not shown on any of the historic maps (**Figures 5-7**).



Figure 8: Historic photograph of Tudor House and 49-51 Church Street, 1920s

Tudor House (Grade II)

Heritage Significance

9. First Grade II listed in November 1967, Tudor House (LEN: 1330905) is a multi-phase timber framed building first constructed in the 16th century, with other phases of working dating to the subsequent centuries. In this section of the report an assessment of the heritage significance of the Listed Building is made with reference to the four key components of significance as detailed in the NPPF:

- **Architectural interest:** The asset has a high degree architectural interest deriving from its built fabric and development from the Tudor period onwards. Elements of the building which contribute to this interest include the timber frame, the rendered elevations and the plain tiled roof coverings.
- **Architectural interest:** The building is of architectural interest as a 16th century house on an 'L' shaped plan extended with a domestic 17th century wing. The principal range is two-storeys, with the west cross-wing having a jetty underbuilt with a repaired canted bay window.
- **Architectural interest:** The fenestration arrangement is of architectural interest, with the building featuring many historic casement windows. In particular, the 18th and 19th century three-light casements provide interest to the elevations.
- **Architectural interest:** Internally, it is notable from the listing description that the main range and cross wing are contemporary but the main range with its inglenook fireplace was originally open to the roof. There is also a 17th century ceiling which dates to the 17th century containing ovolo moulding to the main beam and joists laid on edge.
- **Architectural interest:** The building is of architectural interest as one of the few surviving early post-medieval building in Gamlingay. It is notable that many of the other Tudor buildings in the area were lost during the 'Great Fire of Gamlingay' which occurred in the year 1600.
- **Historical interest:** Tudor House is of historical interest as a physical reminder of the past, providing an insight into the development of Gamlingay from the 16th century onwards. The asset also provides evidence of the architectural

fashions and building practices which were popular from the Tudor period. Historical value is also derived from the relationship of the building to the nearby historic architecture, in particular the adjacent traditional buildings which front Church Street.

- **Artistic interest:** There is no particular artistic value associated with the building asides from the artistic merit and craftsmanship which is inherent to its architecture.
- **Archaeological interest:** An assessment of the potential archaeological value of Tudor House is beyond the scope of this assessment. Given that the building was first constructed approximately 500 years ago it has a high potential for archaeological interest.



Figure 9: Historic photograph of Church Street, 1950s

53 Church Street, Gamlingay (Grade II)

Heritage Significance

10. First Grade II listed in July 1984, No. 53 Church Street to the east of the site (LEN: 1163531) is a late 18th and early 19th century cottage constructed with a timber frame and cased in brick. In this section of the report an assessment of the heritage significance of the Listed Building is made with reference to the four key components of significance as detailed in the NPPF:

- **Architectural interest:** The asset is of architectural value as a vernacular late 18th and early 19th century cottage. The traditional and vernacular character and appearance of the building is of architectural value, despite the cottage having been built without a formal architect.
- **Architectural interest:** Elements of the building which contribute to the architectural interest of the asset include the traditional timber frame, the brick casing, the tiled mansard roof with dentilled eaves, and the ridge stack.
- **Architectural interest:** The fenestration arrangement of the building contributes to its architectural interest. Three of the window openings which date to the 19th century have segmental arches, albeit the windows are evidently 20th century in date.
- **Historical interest:** Historical interest is derived from the fact that the site was formerly in use as a bakers shop. At the rear of the site is an early 19th century bakehouse, which is constructed of brick and a tiled roof.
- **Historical interest:** No. 53 Church Street is of historical interest as a vernacular cottage formerly in use as a bakers shop. There is a brick with a date of 1815 with the initials 'GS'; this likely references the baker 'Sarll' whose descendants are noted as still baking at this site by the early 20th century.
- **Artistic interest:** There is no particular artistic value associated with the building asides from the artistic merit and craftsmanship which is inherent to its architecture.
- **Archaeological interest:** Having first been constructed in the late 18th century the site of the Listed Building has a relatively low capacity for archaeological remains.

Gamlingay Conservation Area

Character and Appearance

11. The first written record of Gamlingay is noted as coming from around the year 975 AD. From the middle of the 13th century onwards there is a wealth of evidence regarding the village and its inhabitants. A key event in the history of the village was a disastrous fire in the year 1600. This destroyed a great many of the medieval and

Tudor buildings in the village, with only a handful of those early buildings surviving today.

12. Gamlingay is a substantial village which probably developed from a number of hamlets. Evidence of these hamlets is discernible at Dutter End, Green End, Dennis Green and also possibly at the central cross-roads. It is likely that the amalgamation of these hamlets noted above occurred not simply through expansion but by the laying out of a regular planned village.
13. Gamlingay has the character of a small town in spite of losing its market after a fire in 1600, and today still has traditional shops which have long since disappeared from surrounding villages.
14. The fine church, the large number of substantial houses and the relatively large number of public houses add to this atmosphere of urbanity, and result in a Conservation Area of unusually high quality.
15. Church Street is a thoroughfare of exceptional visual quality with a high proportion of listed buildings. At the junction with Mill Street and Church Street, known as 'The Cross', there is an important open space of an almost square like quality created by the gravelled area in front of 'The Hardwicke Arms', no. 3, and no. 5 Church Street, three buildings which also form a group. No. 2 Church Street is also visually linked to this space and additionally is a very strong punctuation to this corner. It is unfortunate that the architecture of the western side of 'The Cross' is not of similar quality.
16. Heading east, Church Street soon narrows and for a short section is lined on either side by C19 terraced housing in red and yellow brick with slate roofs. The houses here are very regular and sited on the back edge of the pavement, giving a "hard" appearance to this portion of the street. At this point there are views right to the far end of Church Street where 'Emplins', a house of considerable importance within the village and the church can clearly be seen beyond a large number of other listed buildings which are seen as the land drops to the east.
17. This view is of superlative quality and by it the character of the whole street can be gauged. The yew tree in the grounds of No. 39 forms part of this view and is a fundamentally important element in the visual quality of this scene.

18. There are a variety of building styles in Gamlingay, ranging from the humble vernacular cottages through to large Georgian villas. Also present are a great many 19th century brick terraces, Victorian and Edwardian villas and medieval farm houses. In addition there are present a large number of farm buildings, constructed of weatherboarded timber frame, brick, and flint.
19. Almost all of the buildings in Gamlingay are of one and a half to two storeys in height. The spans of individual elements in the buildings are generally between four and six meters.
20. With regards to materials utilised in the area, walls are generally red and yellow brickwork or feature weatherboarding, render, flint or Carstone. Roofs are generally covered with pantiles, plaintiles, slates or thatch.
21. Church Street has a very urban built up frontage, with glimpses though gaps to large rural plots behind with rustic outbuildings, formerly used for agriculture. Houses are generally sited on the back edge of the pavement. There is a wide variety of sizes of building on this street with a mixture of gabled ends and eaves creating a syncopated rhythm.
22. Features which characterise the timber framed buildings in the area include high pitched roofs which are covered with clay tiles or thatch, exposed rafters, timber casements and sash windows and traditional four and six panelled doors. Chimneys are generally sited laterally on the ridge of the roof, with some jetty-work also on display.
23. As noted within the Appraisal document, the features which characterise the Victorian development in the area, including the terraced and semi-detached houses include saw tooth dentilled courses, four or twelve pane sliding sash windows, four panelled doors, occasionally with leaded glass, and contrasting brick dressings.
24. It is also notable that the Conservation Area has a number of important open spaces. These include the churchyard, the gardens of 'Emplins', the grounds of the Baptist Chapel and the gardens of Maypole House and Slip House.

4.0 – PROPOSAL AND IMPACT ASSESSMENT

1. This Chapter of the report appraises the proposal submitted for planning permission on the significance of the historic environment, providing a proportionate assessment of the potential effects of the scheme on the heritage value of the host building, the settings of the two adjacent Grade II Listed Buildings, and on the character and appearance of the Gamlingay Conservation Area.
2. It seeks to support the LPA and provide information on the potential for the proposal to preserve and enhance the heritage value of the assets involved, in accordance with the Local Development Framework in South Cambridgeshire and Chapter 16 of the National Planning Policy Framework.

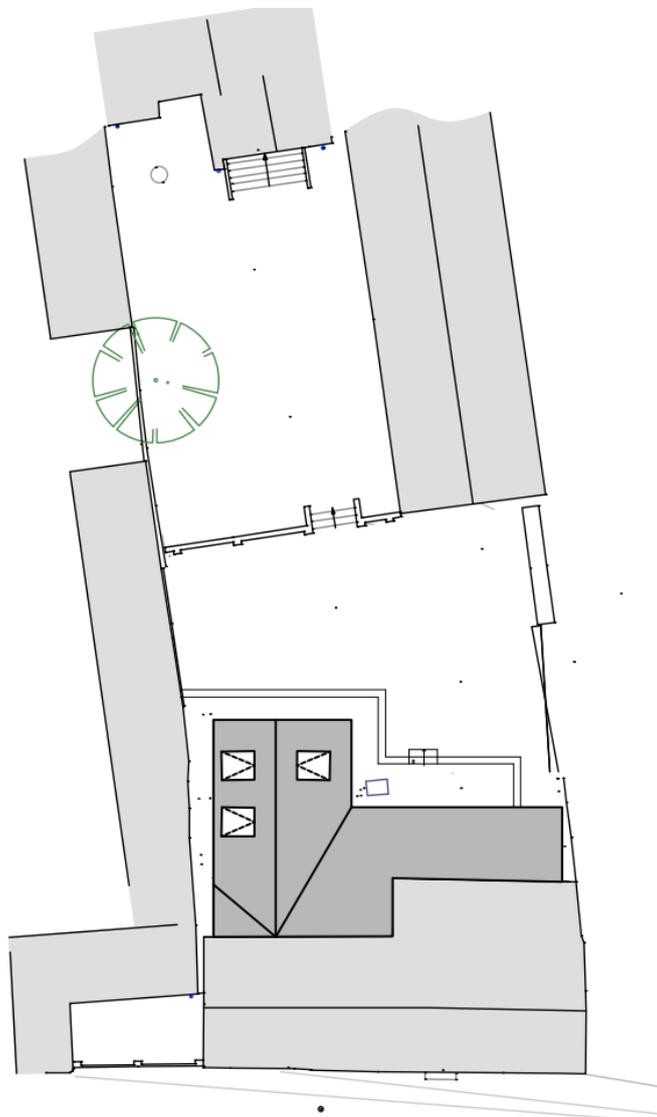


Figure 10: Proposed site plan (RD Designs)

Summary of Proposal

3. The planning application is for the erection of a modest replacement single-storey rear extension to 49-51 Church Street in Gamlingay. A high-quality design has been brought forward which will integrate the replacement extension seamlessly with the existing built form on the site.
4. As part of the scheme, it is proposed to remove the existing rear elements at the back of the site which do not contribute to the local value of the building and replace them with a new traditionally designed and detailed rear addition which is sympathetic to the form, style and detailing of the NDHA.
5. With regards to the design of the new extension, it is understood that this has been through multiple iterations prior to the submission of the planning application to ensure compatibility with the host building and its surroundings.
6. In particular, the decision to restrict the extension to a single storey will allow it to be read and appreciated as a modest, ancillary addition which responds to the vernacular and traditional character of the area. It is also important to note here that extension is not full width, meaning that it has been brought-in from the side building lines to ensure that it is subservient.
7. Visualisations of the proposal are reproduced in **Figures 11-12**. These proposed rear and side elevations clearly illustrate that the extension proposed is modest and in keeping with the traditional and vernacular architecture in the local area. The extension is subservient to the host building.



Figure 11: Proposed rear elevation (RD Designs)

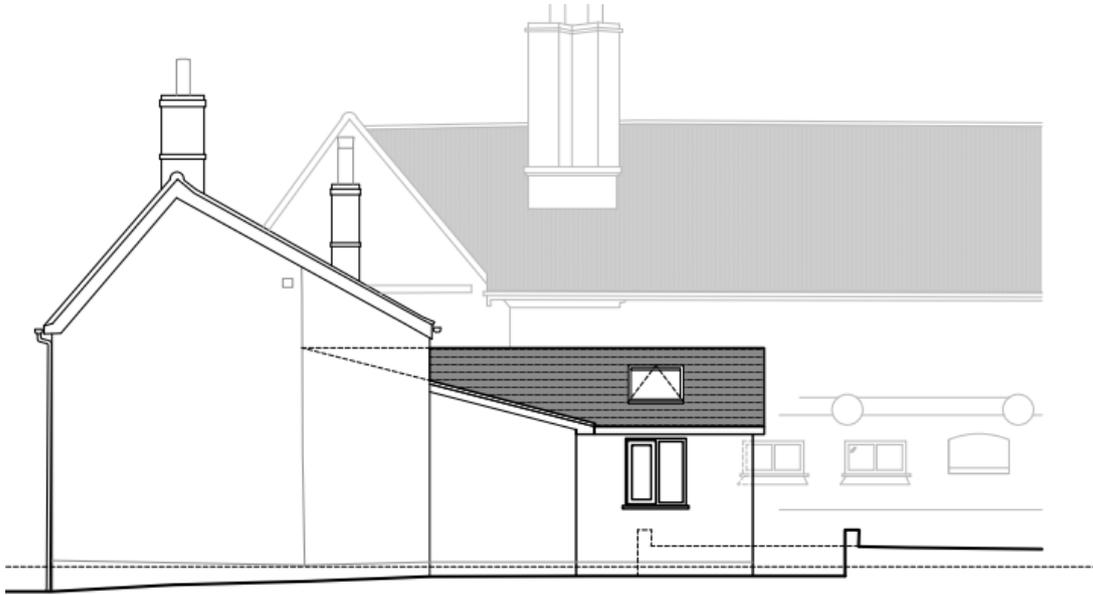


Figure 12: Proposed side elevation (RD Designs)

Impact Assessment

49-51 Church Street (NDHA)

19. The proposal for a replacement rear extension to the NDHA will preserve its local heritage value and the key elements of the building which positively contribute to the character and appearance of the Conservation Area.
20. It is notable that the replacement rear extension would not impact any of the elements which contribute to the local heritage value of the site and would be in keeping with the scale, character and historic quality of the building. There would be no change to views towards and across the building from along Church Street, with the main street facing elevation remaining unchanged.
21. At the rear of the building, the replacement extension proposed would relate well to the overall form of the semi-detached dwellings and would not result in any disproportionate change to how the building is read, appreciated or understood.
22. The extension proposed would also assist in securing a long-term sustainable use of the site in support of its long-term conservation. As such, the scheme is assessed as preserving the local heritage value of the site and would not result in any harm.
23. Paragraph 209 of the NPPF states:

209. *The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.*

24. The application would not result in any harm or loss to the local heritage value of the site and would assist in securing a long-term sustainable use, in support of its long-term conservation.

Tudor House & 53 Church Street (Grade II)

25. The following part of the assessment analyses the potential effects of the proposed rear extension on the setting and significance of the adjacent Grade II Listed Buildings, utilising the check-list of the potential attributes of a development affecting setting provided in Historic England's GPA3:

Location and siting of development

- **Proximity to asset(s):** The replacement extension is proposed to be located at the rear of the host building which is adjacent to both Tudor House and 53 Church Street. While within relatively close proximity to the adjacent Listed Buildings, there would be no physical impact on these designated heritage assets, with the replacement extension relating to the unlisted application site building in-between these two Listed Buildings.
- **Position in relation to relevant topography and watercourses:** The topography of the plot is relatively flat. No watercourses are to be impacted.
- **Position in relation to key views to, from and across:** There will be no impact on key views towards, from or across the Listed Buildings. While the proposal will result in a very limited change to secondary views across and from Tudor House and 53 Church Street, the change to these views will not be harmful, given that the extension to the host building has been designed to a high standard, utilising a sympathetic form, design and detailing.
- **Orientation:** The extension has been orientated in the most appropriate manner for the site, replacing the existing rear extensions at the back of 49-51 Church Street. The orientation of the extension will have no impact on views towards the assets from along Church Street.

- **Degree to which location will physically or visually isolate asset:** The location of the extension will in no way physically or visually isolate the assets, which will continue to be read, appreciated and understood in the same way.

Form and appearance of development

- **Prominence, dominance, or conspicuousness:** The extension will be inconspicuous from Church Street, being located at the rear of the site. Given that the addition has been designed to be single storey, it will not appear dominant or prominent from the rear garden space. It is a subservient addition to the host building.
- **Competition with or distraction from the asset:** It is assessed that the proposed replacement rear extension would not compete with or distract from the significance of the adjacent Listed Buildings. Both Tudor House and 53 Church Street will continue to be read as the predominant built form along this part of Church Street.
- **Dimensions, scale and massing:** The scale, dimensions and massing of the proposed extension are appropriate to the overall form, scale, bulk and massing of the main house and the adjacent Listed Buildings.
- **Proportions:** The proportions of the replacement extension compliment the proportions of the host building and the surrounding designated heritage assets, being in keeping with the vernacular design and proportions of the Listed Buildings.
- **Visual permeability (extent to which it can be seen through), reflectivity:** It is not intended that the extension will be visually permeable. Similarly, it will not be reflective.
- **Materials (texture, colour, reflectiveness, etc):** Local, high-quality materials have been chosen for the proposed extension which will relate well to those found at the main house and within the wider area. In particular, the use of clay tiles for the roof coverings, and rendering to the walls, in addition to timber windows will ensure that the texture, colour, and reflectiveness of the proposed built form will mirror those found locally.

- **Architectural and landscape style and/or design:** The architecture of the proposed extension is appropriate to the vernacular and traditional buildings which surround the site. The scheme is, architecturally, in keeping with the historic quality and character of the host building and the adjacent Listed Buildings.
- **Introduction of movement or activity:** Following the implementation of the proposal and the completion of building works, it is not anticipated that the scheme would lead to any change in movement or activity at the site.

Wider effects of the development

- **Change to built surroundings and spaces:** Only very minor changes to the built surroundings and spaces around the Listed Buildings are proposed which will not lead to any detrimental change to how these buildings are read or understood. There will be no change to key views along Church Street and the principal elements of the significance of the assets will remain fully intact.
- **Change to skyline, silhouette:** Given the modest scale of the extension at the rear of the site which is to be single-storey, the application will not change the skyline around the Listed Buildings.
- **Noise, odour, vibration, dust, etc:** These factors are unlikely to change as a result of the proposed scheme.
- **Lighting effects and 'light spill':** The application is unlikely to lead to any adverse effects with regards to lighting or light spill.
- **Change to general character (eg urbanising or industrialising):** The proposal will not lead to any change to the general character of the adjacent Listed Buildings, which will remain residential. The buildings will be read, appreciated, and understood in the same way. The application would not lead to any unacceptable level of urbanisation or industrialisation of the plot or the surrounding townscape.
- **Changes to public access, use or amenity:** There will be no changes to public access, use or amenity resulting from the proposal.

- **Changes to land use, land cover, tree cover:** The scheme will not result in any detrimental changes to land use, land cover or tree cover. There will be a very minor increase in the built land coverage but this will be minimal. The addition is proportionate to the size of the house and the overall plot. The scale of the addition to the footprint of the house is not out-of-kilter with the size of the existing house and the land use of the property will remain residential. There will be no change to tree cover.
- **Changes to communications/accessibility/ permeability, including traffic, road junctions and car-parking, etc:** Not applicable.
- **Changes to ownership arrangements (fragmentation/permitted development/etc):** There will be no changes to ownership arrangements resulting from the applications.
- **Economic viability:** An assessment of the economic viability of the proposal is beyond the scope of this assessment.

Permanence of the development

- **Anticipated lifetime/temporariness:** It is anticipated that the extension would have the lifetime of a 21st century building and it is not proposed to be temporary.
- **Recurrence:** Following completion of the project, no recurrence of further building works should be necessary should regular maintenance be undertaken.
- **Reversibility:** While the proposal is not aimed at being reversible, in theory, the extension could be removed and is therefore reversible.

26. Overall, the proposal for a modest, traditionally designed and detailed replacement rear extension to 49-51 Church Street would not lead to any adverse effects on the setting of the adjacent Listed Buildings.

27. The scheme is therefore assessed as both preserving and enhancing the significance of these assets, meaning that there is preservation for the purposes of the decision maker's duty under Section 66(1) of the Act.

Gamlingay Conservation Area

28. The works will preserve the character and appearance of this part of the Conservation Area and will not lead to any adverse effects on the way in which the history and significance of the area is read, appreciated or understood.
29. The extension to the Non-Designated Heritage Asset is appropriate for the location of the building within the Conservation Area and as such the building will continue to contribute positively to the heritage value, character and appearance of the designated heritage asset.
30. As such, there is preservation for the purposes of the decision maker's duty under Section 72(1) of the Act.

Policy Compliance

31. The proposal is fully compliant with all national and local heritage planning policy, including the relevant policies contained within the NPPF (Chapter 16) and the Local Development Framework in South Cambridgeshire.
32. Regarding the NPPF and the effect(s) of the proposal on the setting and significance of the designated heritage assets adjacent to the site, paragraph 208 of the NPPF states that:

“Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”

33. The works will not cause any level of harm to the significance of these assets and the buildings either side of the site will continue to be just as significant as they are today. For the avoidance of doubt, paragraph 208 of the NPPF is not engaged.
34. With regards to the effects of the proposal on the heritage value of the host building, which is a Non-Designated Heritage Asset, paragraph 209 of the NPPF states:

209. The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

35. A balanced judgement should recognise that there will be no harm to the heritage value of the host building which will continue to be appreciated and experienced in the same way. The elements which contribute to the local heritage value of the building will remain unchanged.

Local Policy Compliance

36. The works comply with the relevant policies contained within the South Cambridgeshire Local Plan, including Policy NH/14 Heritage Assets and NH/15: Heritage Assets and Adapting to Climate Change.

37. In accordance with Policy NH/14, the proposal will sustain the special character and distinctiveness of the district's historic environment including its villages and countryside and its building traditions and details. There is also compliance with Part B of the policy, given that the extension at the rear of the site will respond appropriately to local heritage character.

38. Furthermore, the proposal for a rear extension to the unlisted host building will comply with the requirements of Policy NH/15, given that the scheme will include the retention and re-use of the historic building which is encouraged and supported as part of this policy. The works will improve the energy efficiency of the asset and will adequately safeguard the heritage value of the NDHA.

5.0 - SUMMARY AND CONCLUSION

1. This Heritage Statement and Impact Assessment has been prepared by Cambridge Heritage on behalf of the Applicant in relation to the submission of a planning application for the erection of a single-storey rear extension to 49-51 Church Street, Gamlingay.
2. For the reasons provided in **Chapter 4** of this report, the proposal is assessed as preserving the local heritage value of the host building and the setting and significance of the adjacent statutorily Listed Buildings. The works will preserve the contribution that the host building makes to the Gamlingay Conservation Area.
3. Given that the works will not require the removal of any historic fabric of heritage value and the extension has been appropriately located, designed and detailed, this report concludes that there is preservation for the purposes of the decision makers duty under Sections 66(1) and 72(1) of the Planning Act (Listed Buildings and Conservation Areas) 1990.
4. Paragraph 209 of the NPPF states:

209. The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

5. A balanced judgement should recognise that the works will not lead to any harm to the Non-Designated Heritage Asset and will assist in securing a long-term sustainable use for the building in support of its long-term conservation.
6. The planning application accords with all national and local planning policy and guidance. There is no contravention of the heritage related policies contained within the NPPF (Chapter 16) or the Local Development Framework in South Cambridgeshire.