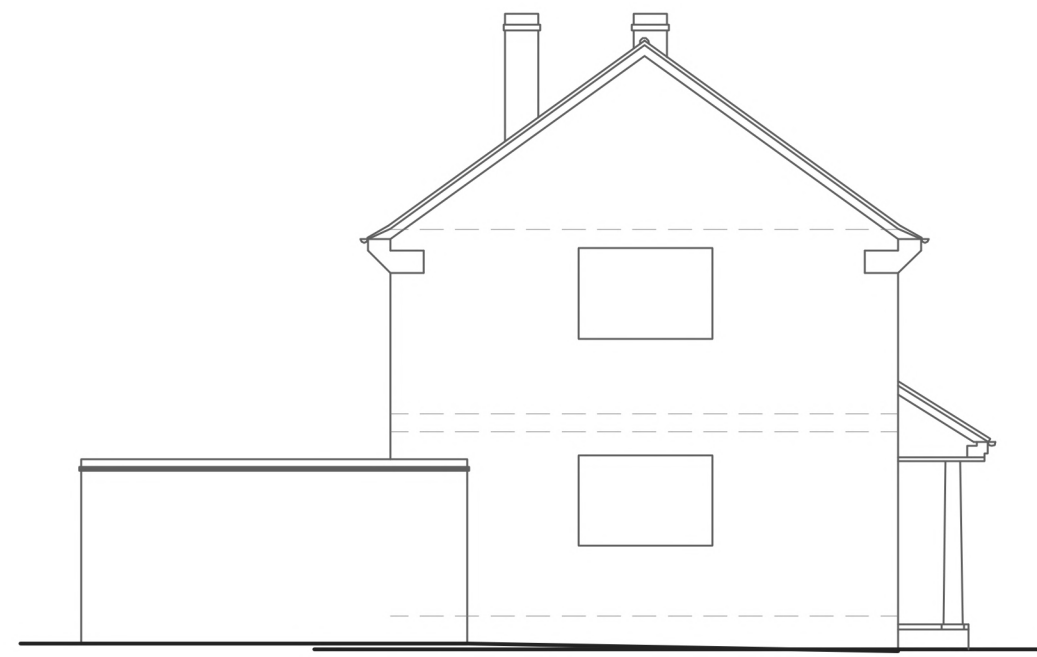
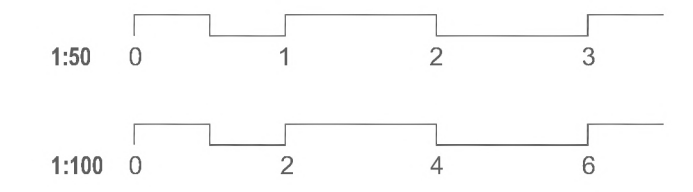


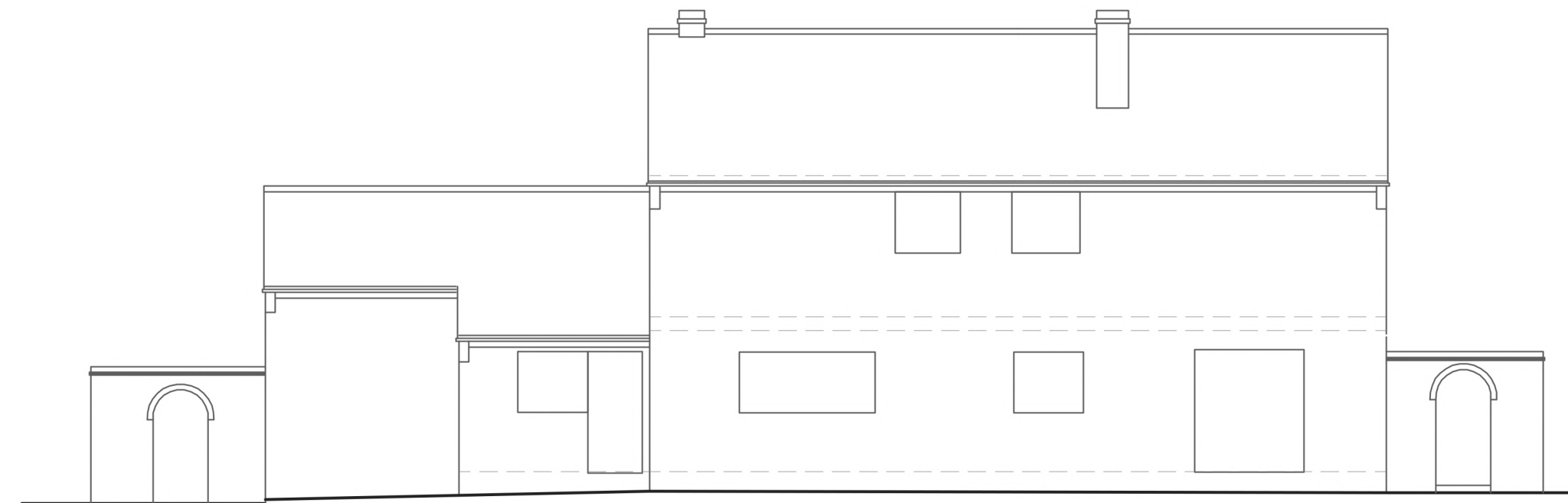
DO NOT SCALE

IF IN DOUBT ASK

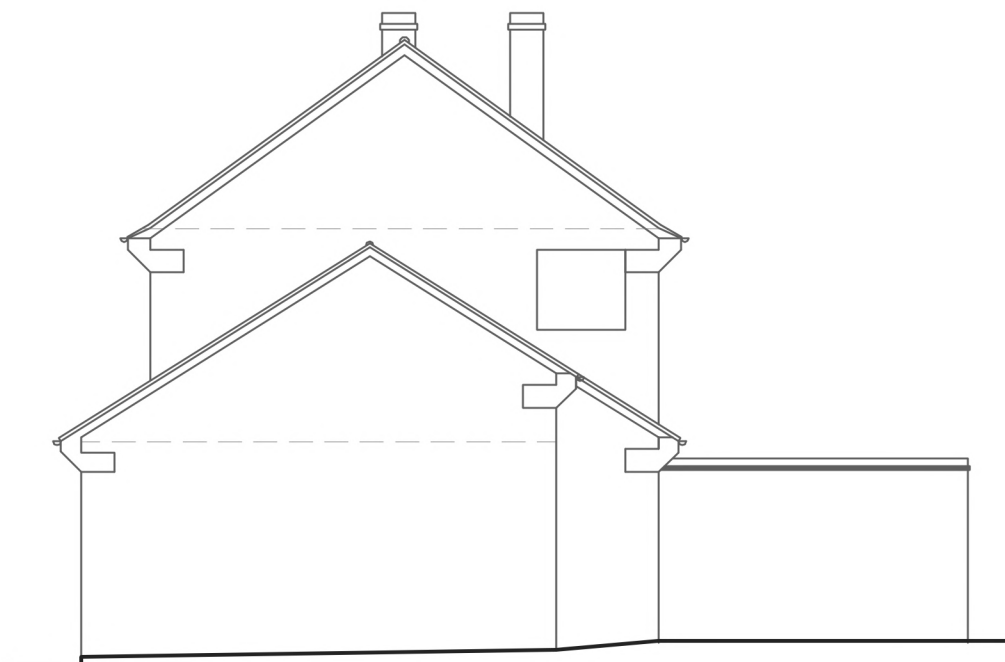
Notes:-
 MEASUREMENTS SHOWN ARE INDICATIVE ONLY - ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCING WORK AND ANY DISCREPANCY REPORTED. Where the building project falls within the CIM regulations 2015 Z Manning Drawing Services Ltd are not designated as principal designer under the terms of the Act. The client is to appoint their own principal designer within the meaning of the Act.



Side elevation (North)

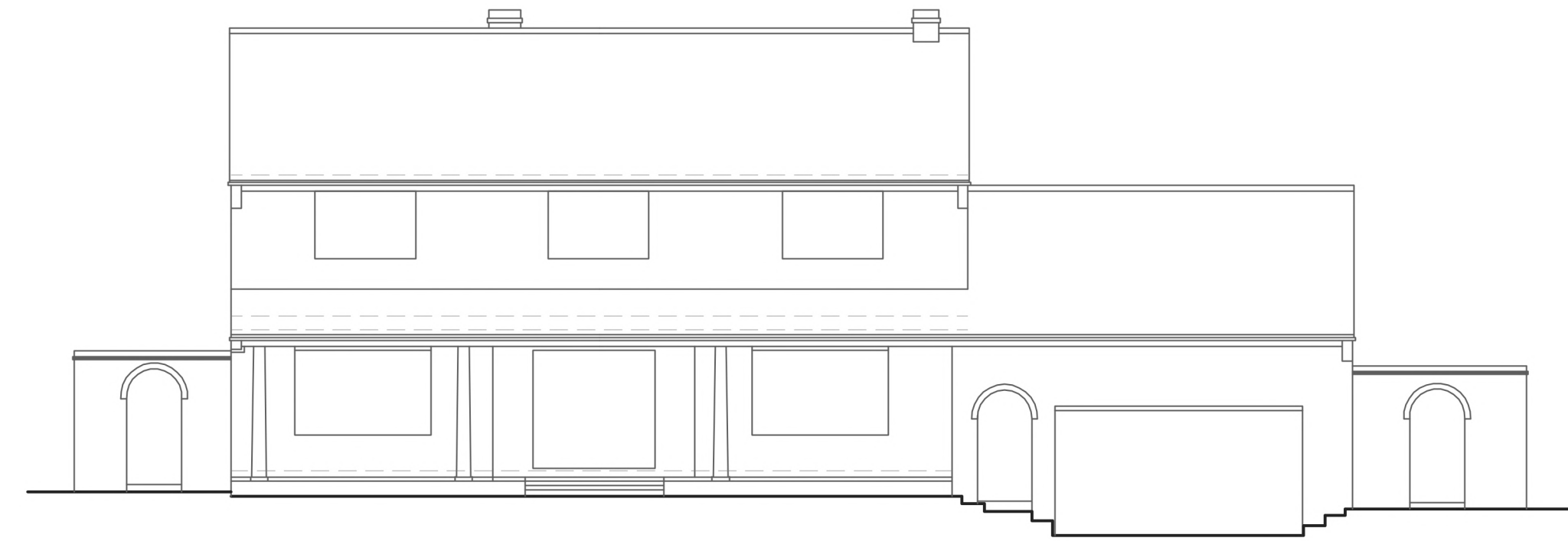


Rear elevation (East)



Side elevation (south)

•ELEVATIONS AS EXISTING 1:100 •



Front elevation (West)

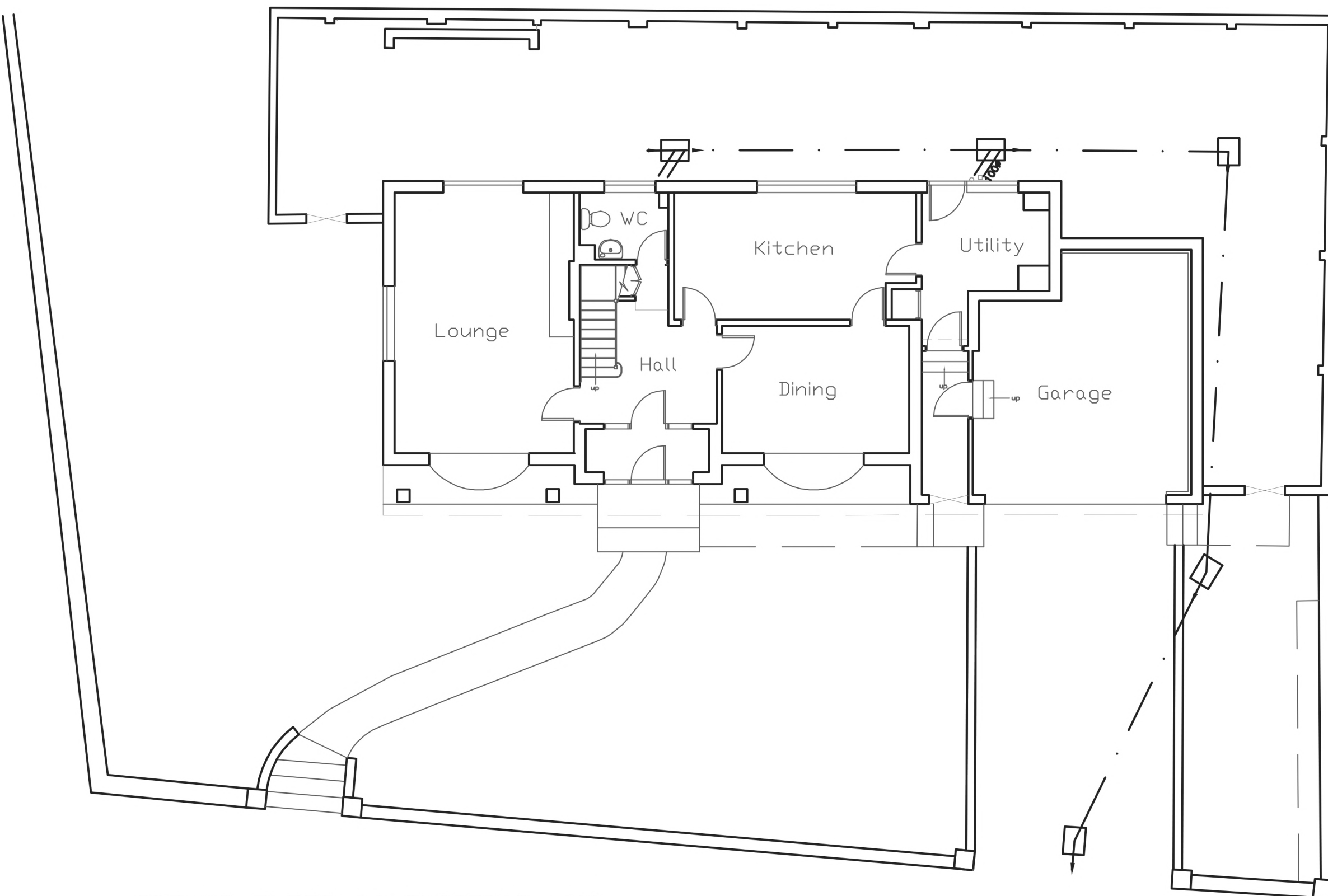


RevNo	Revision note	Date

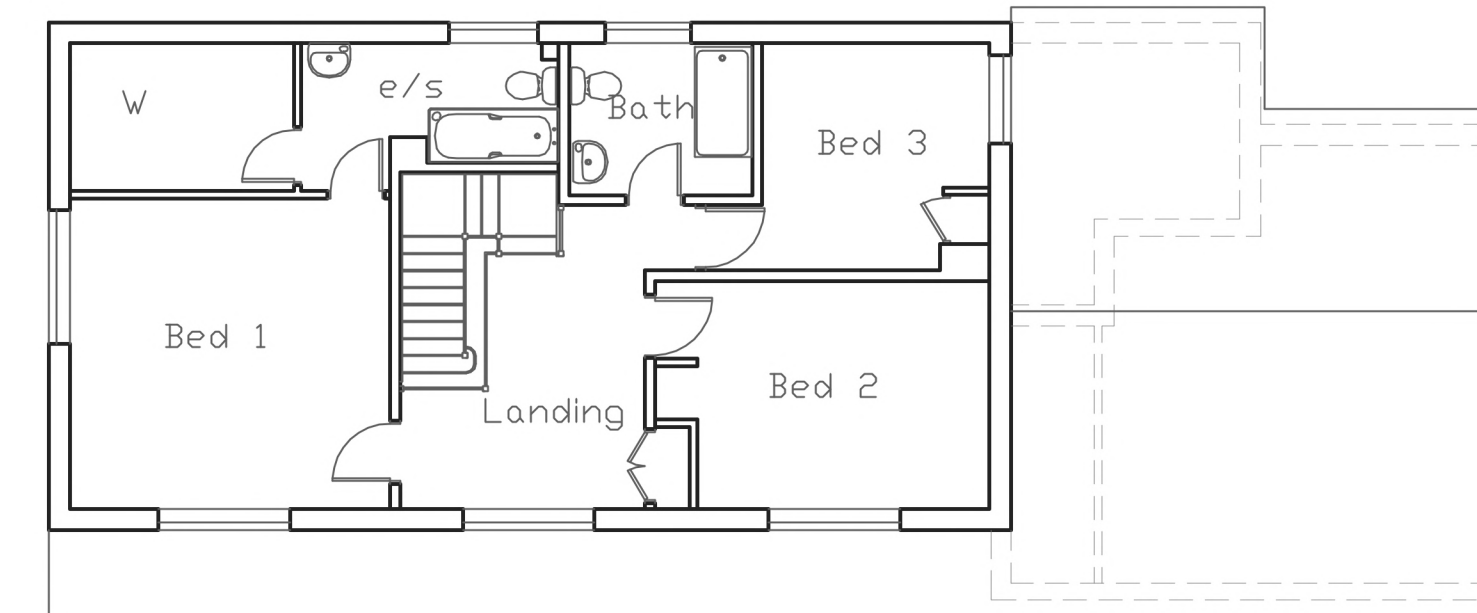
Drawing title As existing	
Description Proposed alterations & extensions	
Address 36 Second Avenue, Frinton-on-Sea, Essex, CO13 9ER	
Client Mr & Mrs Bailey	

Drawn ZM	Sheet no.
Date 09/2023	Scale as indicated @ A1
Drawing No BSA-01	Revision

Zoe Manning BSc.
 Drawing Services Ltd.
 143 Connaught Avenue
 Frinton-on-Sea, Essex,
 CO13 9AB
 Tel/Fax [REDACTED]



•GROUND FLOOR AS EXISTING 1:100•



•FIRST FLOOR PLAN AS EXISTING 1:100•

Do not scale from this drawing. All dimensions to be checked on site prior to commencement of work. Check that this drawing is the latest revision. If in doubt ask. This drawing is copyright. Refer any discrepancies to ZMD Ltd. This plan has been prepared from information provided by Client and from Ordnance Survey plans and as such cannot be relied upon for accuracy of site dimension. The Client is responsible for defining the correct boundaries and site ownership to ZMD Ltd. ZMD Ltd cannot be held responsible for any land ownership disputes.